



Government of the
District of Columbia

APPLICATION AND REFERRAL TO THE US COMMISSION OF FINE ARTS FOR OLD GEORGETOWN REVIEW

OG

HPA

In accordance with the Old Georgetown Act of 1950 (Public Law 808, 81st Congress) this application/transmittal is being transmitted to the US Commission of Fine Arts (CFA) for review and recommendation before a building permit can be issued. Work in Georgetown is also subject to a coordinated historic preservation review under the DC Historic Landmark and Historic District Protection Act of 1978. These reviews are initiated with the completion and submission of this form.

THIS IS A REQUEST FOR THE FOLLOWING REVIEW BY THE COMMISSION OF FINE ARTS:

☒ **CONCEPTUAL REVIEW** to receive guidance at the early stages of design **DESIGN DEVELOPMENT REVIEW**

☐ **PERMIT REVIEW** to receive a recommendation on building permit application No. _____

I have submitted a permit application with the DC Department of Buildings

1. OWNER, APPLICANT, AND PROPERTY INFORMATION

Project Address: 3265 S Street NW, Washington, DC 20007

Square: 1299 Lot: 1010, 0964 (To find your square and lot, see www.propertyquest.dc.gov)

Property Owner's Name: District of Columbia Government (Department of General Services)

Owner Address (if different from project address): 3924 Minnesota Ave NE, 5th Floor, Washington, DC 20019

Owner Phone: 202-746-7040 Owner Email: sean.garganio@dc.gov

Applicant's Name (if different from owner): DLR Group

Agent's Capacity: ☐ Tenant ☒ Architect ☐ Contractor ☐ Contract Purchaser ☐ Expediter ☐ Other

Agent Address (if different from owner): 701 8th Street NW, Suite 700, Washington, DC 20001

Agent Phone: 202-407-8771 Agent Email: mdavitt@dlrgroup.com

- ☐ I am currently the owner of the property
- ☐ I am a homeowner currently receiving the DC homestead deduction for this property
- ☒ I am an authorized representative of the property owner
- ☐ I am or represent a potential purchaser of the property

2. SUBMISSION MATERIALS FOR THE COMMISSION OF FINE ARTS AND HISTORIC PRESERVATION REVIEW

All materials must be submitted electronically via email to historic.preservation@dc.gov.

The following digital materials are included with this application:

- ☒ Scaled drawings, including, as applicable, floor plans, elevations, details, and a site plan sufficient to illustrate the footprint, location, height, massing, design, and materials of the proposed work and its surrounding context; site plans should show the existing footprint of the property and adjacent buildings.
- ☒ Comprehensive exterior photographs of the property, showing area of proposed work, views from the street and the public alley (if applicable) and context photos (e.g., adjacent buildings, immediate surroundings, and the areas of proposed work)

For more information on submission requirements, see www.cfa.gov/project-review/old-georgetown or contact CFA staff at 202-504-2200

3. PROJECT DESCRIPTION (CHECK ALL THAT APPLY)

☐ Addition ☐ Exterior Alteration or Repair ☒ New Construction ☐ Subdivision ☐ Other

Briefly describe the nature of the project: New two-story public recreation building to replace existing and provide ADA accessibility, program spaces including a larger gymnasium to accommodate high school regulation basketball, fitness center, activity rooms, net-zero-energy performance, and related site improvements.

(over)

	YES	NO	UNSURE
Is the proposed work visible from a public street or alley?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Will there be work on the front of the building or in the front yard?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the project include work in public space?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the project include removal of roof or floor framing or bearing walls?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is this a Fair Housing Act request for "reasonable accommodation"?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

4. ADDITIONAL INFORMATION FOR LARGER PROJECTS

For renovation or new construction projects exceeding 20,000 square feet, attach a full narrative description indicating the general nature of the project, program of uses, estimated gross floor area by use, number of residential units, scope of preservation work, and any other pertinent features or benefits, including aspects of sustainability. *Homeowners proposing work on their own house do not need to provide this information.*

5. EASEMENTS

	YES	NO	UNSURE
Is there a conservation easement on the property?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the easement holder?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

6. COMMUNITY CONSULTATION

	YES	NO	UNSURE
Have you shared project information with abutting neighbors?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Have you contacted the affected Advisory Neighborhood Commission (ANC 2E)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Have you contacted any neighborhood community organizations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

For more information about project review by ANC 2E, see www.anc2E.com or call the ANC at 202-338-7427

7. ZONING REGULATIONS AND CONSTRUCTION CODE

	YES	NO	UNSURE
Will the project cause a change in building footprint or lot occupancy?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are any zoning variances or special exceptions required for the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the Zoning Administrator?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the Office of Planning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is any building code relief required for the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Briefly describe the nature of any zoning variances or code relief being sought: N/A

8. CERTIFICATION

I hereby certify that the information given in this application is true and accurate. If applying as an agent of the owner, I certify that I have the owner's permission to make this application.

Signature: _____ Date: 09.09.2025

When completed, submit this form with all plans, photographs, and other attachments to the Historic Preservation Office (HPO) via email to historic.preservation@dc.gov. Upon review of this submission, CFA or HPO staff may contact the owner or agent for consultation, and may request additional information if determined necessary to review the project.

Referral to CFA or the Historic Preservation Review Board, if required, may be deferred if information is not received within sufficient time to allow staff evaluation and preparation for review. All application materials are part of the public record and are made available to the public for inspection. For more information, see www.cfa.gov or www.preservation.dc.gov.



Historic Preservation Office
DC Office of Planning
(202) 442-8800
historic.preservation@dc.gov

District of Columbia
Office of Planning



Secretary Thomas Luebke, FAIA
U.S. Commission of Fine Arts
401 F Street, NW, Suite 312
Washington, DC 20001

Dear Secretary Luebke,

As the agency responsible for the implementation of the Jelleff Recreation Center project, the Department of General Services ("DGS") respectfully requests a Design Development review at the upcoming OGB meeting scheduled for October 1, 2025.

If you have any comments or questions, please contact the DGS Project Manager, Sean Garganio, at sean.garganio@dc.gov. For questions regarding the Design Development drawings, please contact Matthew Davitt with DLR Group at mdavitt@dlrgroup.com.

We appreciate your assistance with this project and look forward to the opportunity to present this exciting project.

Sincerely,

Margaret Thacker
Executive Program Manager
DGS Capital Construction Services Division

Jelleff Recreation Center Modernization

Old Georgetown Board Design Development Submission

SEPTEMBER 11, 2025

PROJECT SUMMARY

The existing DC Department of Parks and Recreation Jelleff Community Center is located in the Georgetown neighborhood of Ward 2 and is currently managed by the Boys & Girls Club of Greater Washington. The facility generally consists of the community center building, an artificial turf athletic field, outdoor pool and deck, and related parking area. The building was constructed in the early 1950s and has aged to the point where it no longer meets the spatial or performance requirements for DPR, particularly with respect to accessibility, sustainability, and size/quantity of various recreation spaces, particularly the gymnasium.

After studying the programmatic goals in the context of the various site constraints and consulting with the community, the project team determined that the best development option is to provide a replacement building. The proposed facility was presented to the Old Georgetown Board in November 2024 and received Concept Approval, provided the vestibule design was refined and natural copper cladding was used on the façade.

Since that approval, recent costing information has required the team to make additional adjustments to bring the project within budget. This has included removing the playground, slightly reducing the overall building length, eliminating the utility basement, and eliminating the auxiliary gymnasium by replacing it with a mechanical courtyard (which could allow the gymnasium to be added in the future).

The proposed 19,500 gross square foot building remains two stories and includes a welcoming lobby, large gymnasium, fitness room, locker rooms, meeting rooms, and activity rooms. Proposed site improvements include an entry plaza, refinished outdoor pool with screened equipment yard, bio-retention areas, new parking lot, and outdoor shade/photovoltaic structures. The new facility will be designed to accommodate a wide range of activities to serve a multigenerational user group, will be fully accessible, and will be representative of the District’s commitment to sustainability as a Net Zero Energy design.

Maintaining the character and design of the proposed building as approved by the Board was an important part of the redesign effort. Additionally, the vestibule has been refined, including a thinner copper canopy which aligns with the adjacent cast stone trim as discussed in the last review meeting. Additional detail and materials have been provided in this Design Development submission.

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ENLARGED ELEVATIONS, WALL SECTIONS & DETAILS	

01

EXISTING CONDITIONS

AERIAL VIEW

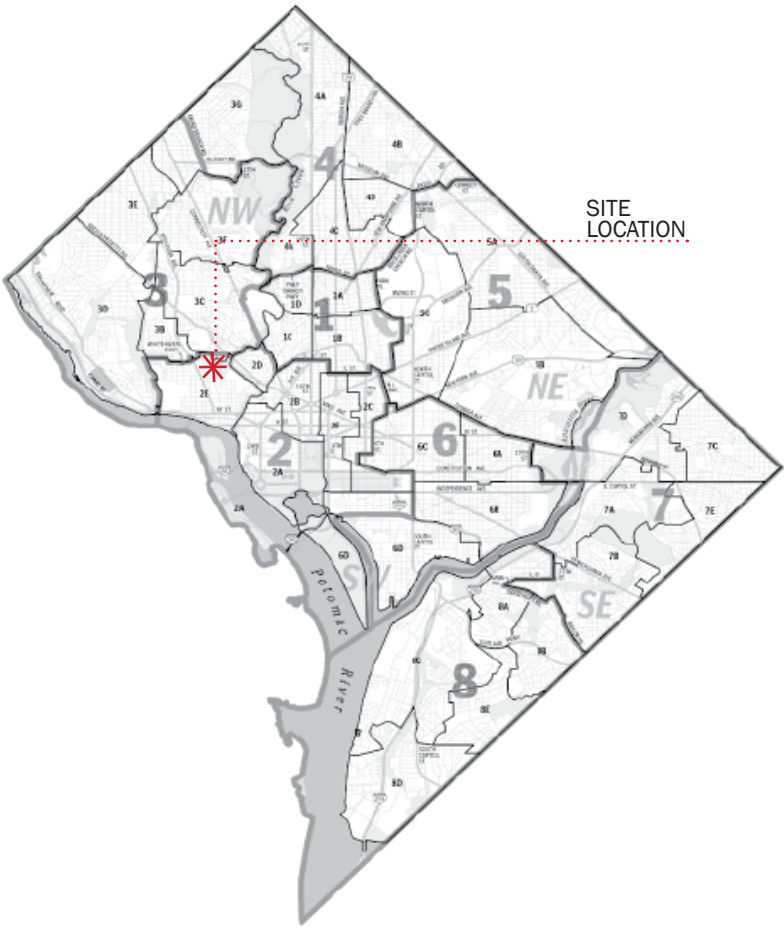
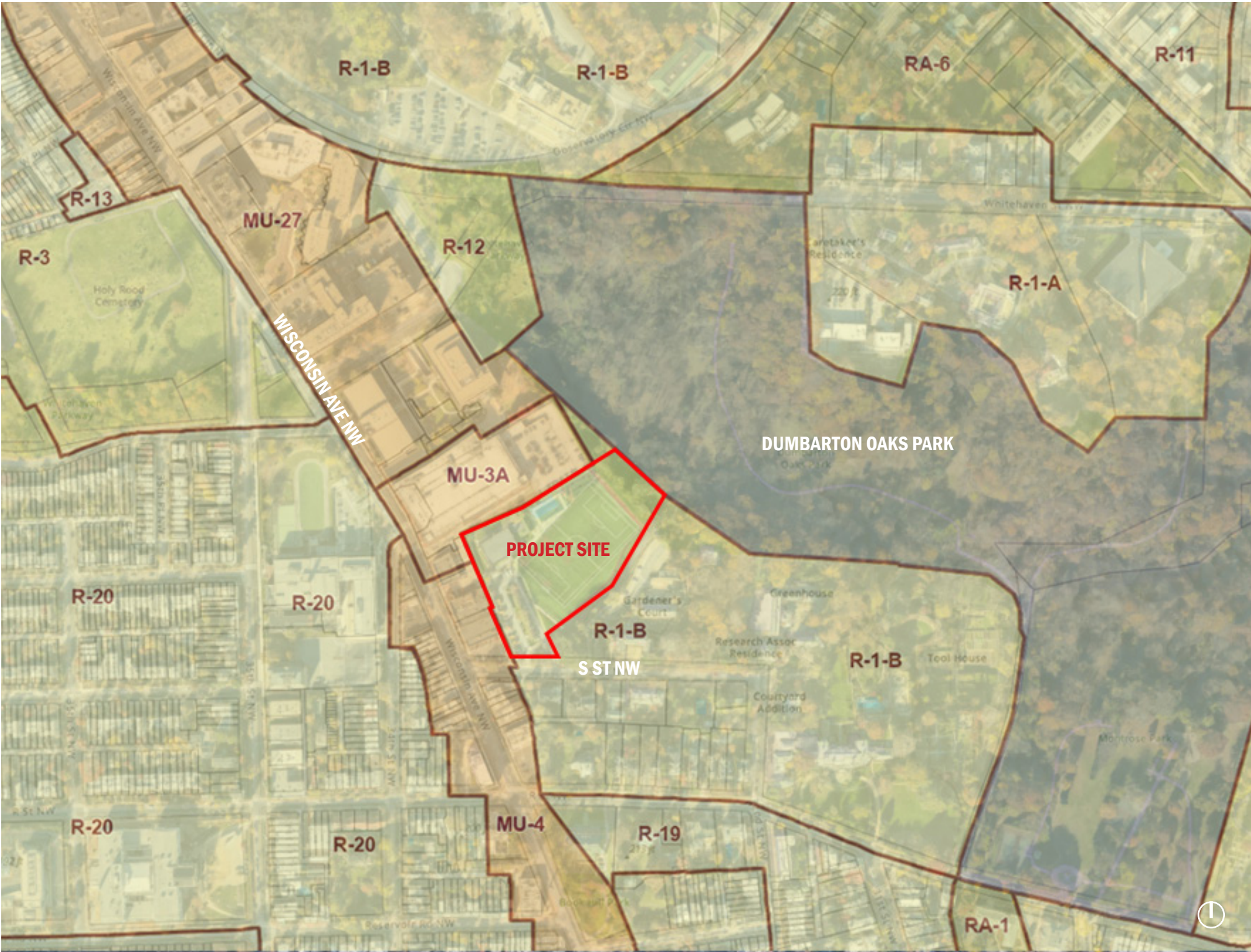
SITE PLAN

HISTORY

BUILDING & SITE PHOTOGRAPHS

EXISTING CONDITIONS

SURROUNDINGS



LOCATION: 3265 S ST. NW
SQUARE: 1299
LOTS: 1010, 964
SITE AREA: 180,515 SF
(179,729 SF + 786 SF)
ZONE: R-1-B

EXISTING CONDITIONS

AERIAL VIEW



LOCATION

The site for the Jelleff Recreation Center facility is located on the north side of the 3200 block of S Street NW, Washington, DC 20007. The property consists of two adjacent lots, both owned by the District of Columbia. The total area is 180,515 square feet and is comprised of the primary lot (Square 1299, Lot 1010), recorded as 179,729 square feet, and the smaller lot (Square 1299, Lot 0964), situated to the southwest and recorded as 786 square feet.

CONTEXT

The site is situated along Wisconsin Avenue NW at the north end of Georgetown and is bordered by Commercial uses to the north and west, residential to the south, and National Park Service land to the east. The existing Jelleff Recreation Center has been an important element in the neighborhood for decades. In the recent past, the current multi-purpose field was built providing an enhanced outdoor use. The pool is one of three (3) outdoor public pools within Ward 2 (Francis Pool and Volta Park Pool are the others).

EXISTING SITE ELEMENTS

- Currently, a variety of site elements are scattered throughout the site. Primarily these include:
- A synthetic turf multi-purpose field which will remain. The field has a tall sports fence around it.
 - An asphalt parking lot is situated between the entry from S Street NW and the building. This parking lot has several existing canopy trees that will need to be removed to accommodate the new parking lot. None of these trees falls into the 'Special' or 'Heritage' category per DDOT standards.
 - The existing pool will remain in the initial phase of the project with a new 25 yard pool and accompanying splash pad being planned for future phases.
 - The site is bordered by a 7ft metal fence on the west and north. The north border of the site includes a significant grade change to the adjacent Safeway. This fence is in poor condition. The concept scheme will include a new 7ft metal picket fence per DPR specifications.
 - There is a utility easement that runs across the existing athletic field and through the northern-most section of the parking lot.

EXISTING CONDITIONS

HISTORY

HISTORICAL INFORMATION

The Boys and Girls Club of Greater Washington was established in 1886 and was originally known as the Newsboys and Children’s Aid Society. Over the next few decades, the club would undergo several name changes and would relocate to a number of different areas throughout Georgetown. With the support of the Rotary Club of Washington, D.C., a board of trustees was established, and the name changed to Boys Clubs of Washington. (www.bgcgw.org)

In 1931, the Jelleff Recreation Center Branch was established. Originally called the Georgetown Boys Club, it consisted of two rooms over a grocery store at 31st and M Streets, NW. Eight years later, with the assistance of the Rotary Club once more, a new home was created a couple of blocks away at 28th and M St, NW and with it came another name change, the Georgetown Branch of the Boys Club of Washington. The building at 28th and M street was eventually abandoned, and the club temporarily relocated to Linthicum Hall at 3116 O St, NW (Currently Christ Church Georgetown).

Through private solicitation, funds were raised to relocate the club to a new site adjacent to Dumbarton Oaks Garden, and the club began constructing a recreational center which was completed in 1953. The images on the grand opening flyer (Above Left) and the photograph of the building following completion (Bottom Left) show two different designs which suggests that there was a redesign at some point, but the cause of that is unclear. There is an existing memorial currently located on the front of the building which will be relocated on the new site.



Boys' Club Branch Opens
The Washington Post (1923-1954); Oct 26, 1953; ProQuest Historical Newspapers: The Washington Post pg. 18



At the dedication yesterday of the Washington Boys Club's new \$250,000 Jelleff branch.

Boys' Club Branch Opens

The Washington Boys Club yesterday opened its new \$250,000 Jelleff branch at Wisconsin ave. and S st. nw., adjacent to the Dumbarton Oaks gardens.

Frank R. Jelleff, Washington businessman and Boys Club president for 20 years, participated in the dedication by opening the front door with a golden key. An open house followed.

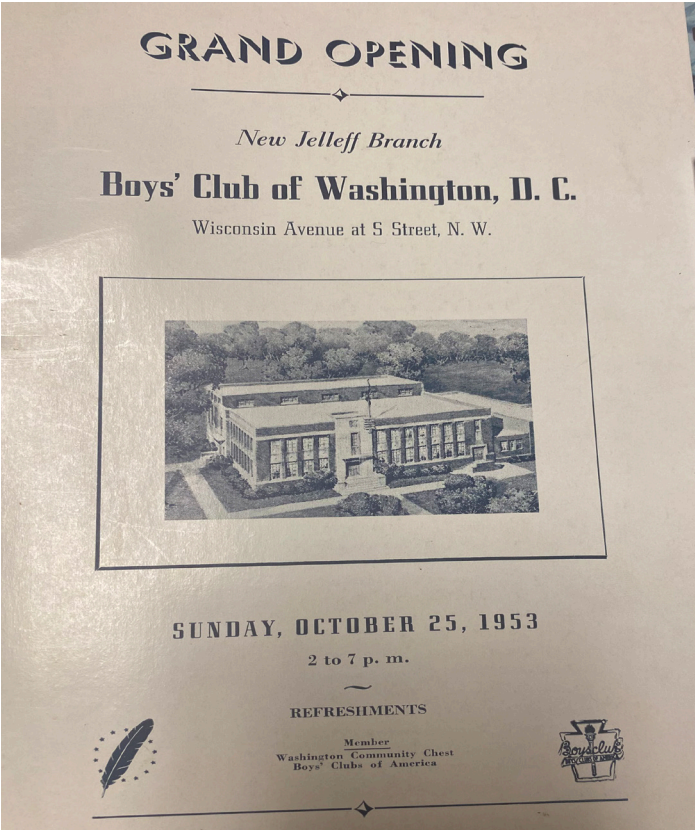
The Boys Club is a Red Feather agency, but funds for its 4 1/2-acre site were raised by private solicitation. The club has been occupying temporary quarters at Linthicum Hall, 3116 O st. nw., following abandonment of its old building at 28th and M sts. nw.

The new accommodations are sufficient for 2000 boys, instead of the 800 currently belonging to the Boys Club's Georgetown branch.

The new center includes a football field, baseball diamond, tennis courts, basketball court, double-sized gymnasium, shops, a photographic laboratory, game rooms, a kitchen, dining room, two sound-proof music room and locker rooms and showers.

Pick Heads Hotelmen

Albert Pick, jr., president of the Pick Hotel Corp., owner of the Lee House, 15th and L sts. nw., was elected president of the American Hotel Association yesterday at its annual meeting in Montreal, Canada. It was announced by his office here.



MEMORIAL TO BE RELOCATED ON NEW SITE

EXISTING CONDITIONS

SITE LOCATION & ANALYSIS



DUMBARTON OAKS PARK

PEDESTRIAN ACCESS THROUGH
NEIGHBORING SITE

VEHICULAR ACCESS OFF OF S ST. TO PARKING
LOT AND DROP OFF AREA

EXISTING CONDITIONS

EXISTING SITE | EXTERIOR



EXISTING CONDITIONS

EXISTING SITE | EXTERIOR



EXISTING CONDITIONS

SETBACKS & DEVELOPMENT AREA



8 FT. SETBACKS AT WEST AND NORTH

EXISTING POOL TO REMAIN AND BE RESURFACED

EXISTING STORM WATER EASEMENT RUNS ACROSS TURF FIELD AND THROUGH PARKING LOT

EXISTING FENCE LINE / BACKSTOP AROUND FIELD TO REMAIN

DEVELOPMENT ZONE IS LIMITED DUE TO SITE RESTRICTIONS

02

SCHEMATIC DESIGN

PREVIOUS SITE PLAN

DESIGN REVISIONS SITE PLAN

PROPOSED SITE PLAN

PROPOSED SITE RENDERINGS

AERIAL VIEW & SITE SECTIONS

PROPOSED SITE SPECIALTY FEATURES

PROPOSED SITE FURNITURE

ADDITIONAL SITE DRAWINGS

PREVIOUS BUILDING DESIGN

PROPOSED FLOOR PLANS

PROPOSED ELEVATIONS & RENDERINGS

MATERIALS PALETTE

ENLARGED ELEVATIONS, WALL SECTIONS &
DETAILS

DESIGN DEVELOPMENT

PREVIOUS SITE PLAN (CONCEPT APPROVED 11/2024)



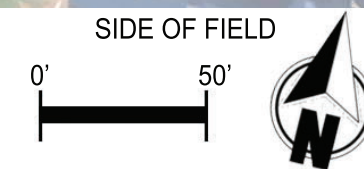
1. EXISTING BATTING CAGE TO REMAIN W/ NEW PHOTOVOLTAIC STRUCTURE.
2. RENOVATED POOL DECK AND POOL TO INCLUDE NEW SPLASH PAD (FUTURE) AND PHOTOVOLTAIC STRUCTURES OVER PART OF DECK.
3. EXISTING SYNTHETIC MULTI-SPORT FIELD AND FIELD FENCING TO REMAIN W/ NEW PHOTOVOLTAIC STRUCTURES.
4. NEW ENTRY PLAZA
5. SERVICE AREA
6. NEW PARKING LOT WITH BIO-RETENTION AREAS
7. NEW EXERCISE AREA AND 2-4 / 5-12 PLAYGROUNDS WITH PHOTOVOLTAIC COVER
8. FRONT ENTRY PLANTING TO SCREEN PARKING FROM ROAD
9. CONTINUOUS PLANTING HEDGE AND DECORATIVE WOOD FENCE ALONG WEST PROPERTY LINE
10. GREEN ROOF OVER NEW REC CENTER BUILDING AND POOL EQUIPMENT BUILDING.
11. RELOCATED STONE MEMORIAL
12. PROPOSED PHOTOVOLTAIC STRUCTURES ALONG EAST SIDE OF FIELD.
13. EXISTING BUILDING FOOTPRINT - SHOWN DASHED

DESIGN DEVELOPMENT

SITE PLAN WITH PROPOSED DESIGN REVISIONS



1. 6' REDUCTION TO EAST PORTION OF BUILDING
2. AUXILIARY GYM REMOVED, SPACE REPLACED WITH MECHANICAL COURTYARD
3. PARKING LOT WITH BIO-RETENTION REDESIGN
4. PLAYGROUND REMOVED - REPLACED WITH MULTI-PURPOSE LAWN
5. POOL EQUIPMENT BUILDING REPLACED WITH OPEN-AIR EQUIPMENT YARD WITH MASONRY WALL ENCLOSURE AND PV SHELTER



DESIGN DEVELOPMENT

PROPOSED SITE PLAN



1. EXISTING BATTING CAGE TO REMAIN W/ NEW PHOTOVOLTAIC STRUCTURE.
2. RENOVATED POOL DECK AND POOL TO INCLUDE NEW SPLASH PAD (FUTURE) AND PHOTOVOLTAIC STRUCTURES OVER PART OF DECK.
3. EXISTING SYNTHETIC MULTI-SPORT FIELD AND FIELD FENCING TO REMAIN W/ NEW PHOTOVOLTAIC STRUCTURES.
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10. GREEN ROOF OVER NEW REC CENTER BUILDING
11. RELOCATED STONE MEMORIAL
12. PROPOSED PHOTOVOLTAIC STRUCTURES ALONG EAST SIDE OF FIELD.
13. POOL EQUIPMENT BUILDING REPLACED WITH OPEN-AIR EQUIPMENT YARD WITH MASONRY WALL ENCLOSURE AND PV SHELTER
14. EXISTING BUILDING FOOTPRINT - SHOWN DASHED

DESIGN DEVELOPMENT

PROPOSED SITE RENDERINGS



ENTRY PLAZA



ENTRY PLAZA



PARKING PLANTING AND BIO-RETENTION



FACING PARKING & PLAYGROUND FROM ENTRY PLAZA

DESIGN DEVELOPMENT

PROPOSED SITE RENDERINGS



POOL DECK



PARKING LOT ENTRANCE FROM S STREET NW



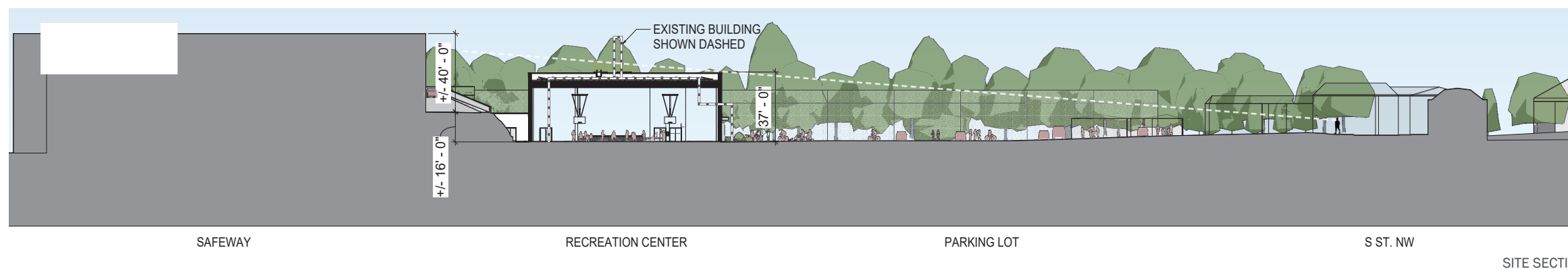
FRONT ENTRANCE FROM S STREET NW



DECORATIVE WOOD SCREEN FROM S STREET NW

DESIGN DEVELOPMENT

AERIAL VIEW AND SITE SECTION



DESIGN DEVELOPMENT

SPECIALTY FEATURES SITE PLAN



- A. DUMPSTER ENCLOSURE**
- B. PHOTOVOLTAIC STRUCTURES**
- C. SCREEN**
- D. EXISTING FENCE**
- E. PLAZA AREA CONCRETE**
- F. 7FT PERIMETER FENCING**

DESIGN DEVELOPMENT

SPECIALTY FEATURES

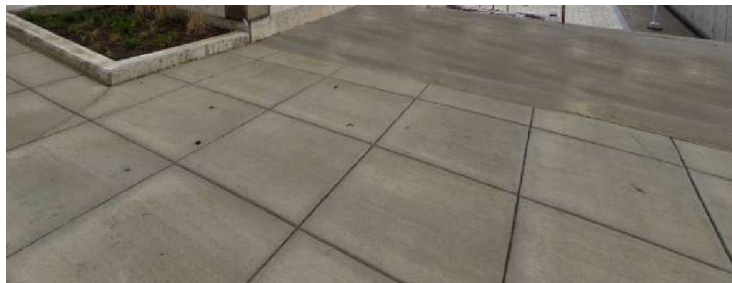
- A**
- DUMPSTER ENCLOSURE:**
 - METAL FRAME WITH ENGINEERED WOOD BOARDS SET HORIZONTALLY
 - 7FT HEIGHT



- C**
- SCREEN:**
 - METAL FRAME WITH ENGINEERED WOOD BOARDS SET HORIZONTALLY
 - 7FT HEIGHT



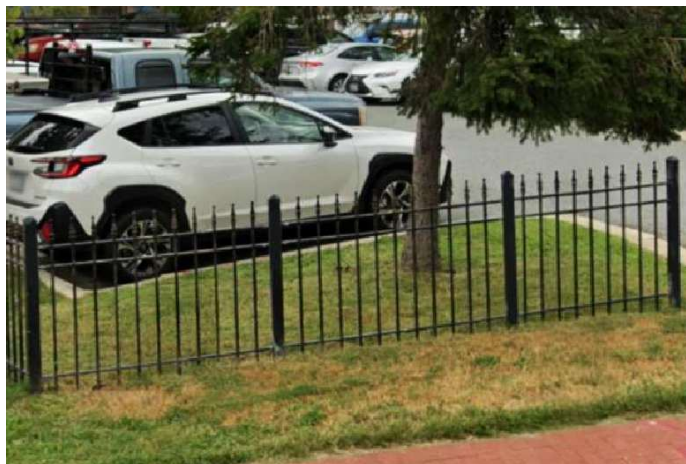
- E**
- PLAZA AREA CONCRETE:**
 - 3FT SQ. SCORED CONCRETE WITH BROOM FINISH



- B**
- PHOTOVOLTAIC STRUCTURES:**
 - PRE-FABRICATED BY LUMIS, INC.
 - METAL FRAME WITH PV CELL ROOF
 - PAINTED WHITE OR LIGHT GRAY
 - HEIGHT VARIES - 9-16FT CLEAR



- D**
- EXISTING FENCE:**
 - RETAIN/ REPAIR EXISTING METAL PICKET FENCING ALONG S STREET, NW



- F**
- 7FT PERIMETER FENCING:**
 - DPR STANDARD 7FT METAL PICKET FENCING
 - POWDERCOATED BLACK



DESIGN DEVELOPMENT

SITE FURNITURE SITE PLAN



- i. TRASH/RECYCLE BINS
- ii. BIKE RACK
- iii. BOLLARDS
- iv. EXISTING PARK SIGN
- v. SITE LIGHT
- vi. BENCH

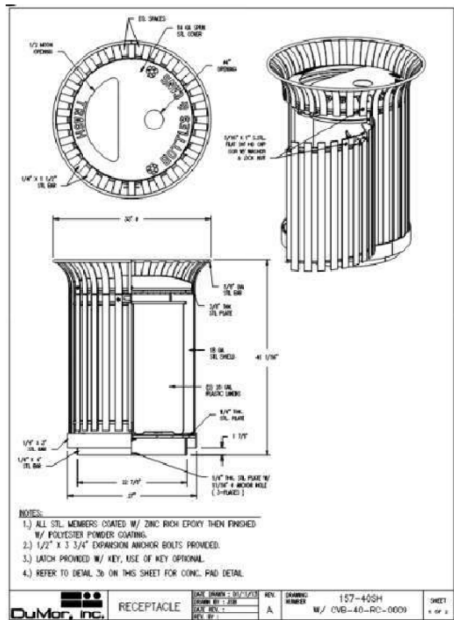
DESIGN DEVELOPMENT

SITE FURNITURE

- i

TRASH/ RECYCLE BINS:

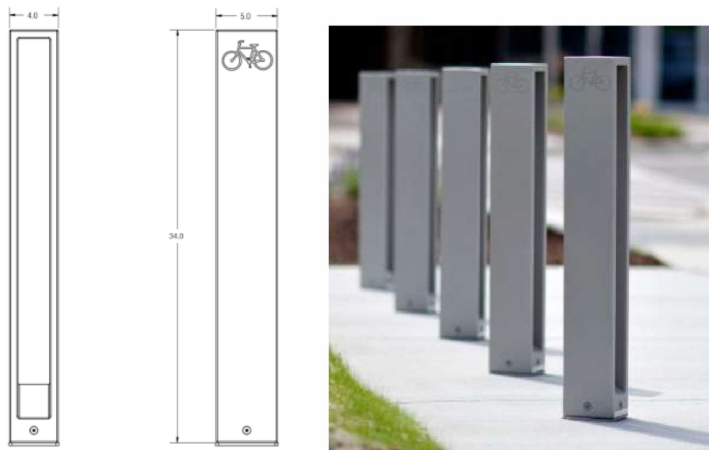
 - DPR STANDARD
 - METAL RIBBON
 - PAINTED BLACK (TRAHS) / BLUE (RECYCLE)
 - SURFACE MOUNTED



- ii

BIKE RACK

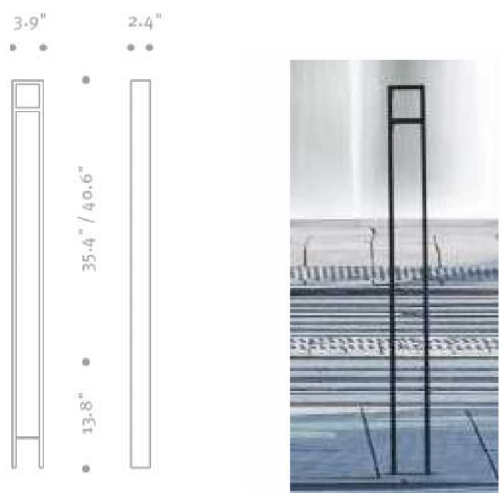
 - 'CAPITOL' BIKE RACK BY FORMS + SURFACES
 - ALUMINUM ALLOY
 - 4" W X 5" T X 40" T
 - POWDER COATED LIGHT GRAY
 - SURFACE MOUNTED



- iii

BOLLARD

 - 'RAGOR' BOLLARD BY HESS AMERICA
 - ALLOMINUM ALLOY
 - 4" W X 2.5" T X 40" H
 - POWERCOATED DARK GRAY
 - DURECT BURRY



- iv

EXISTING PARK SIGN

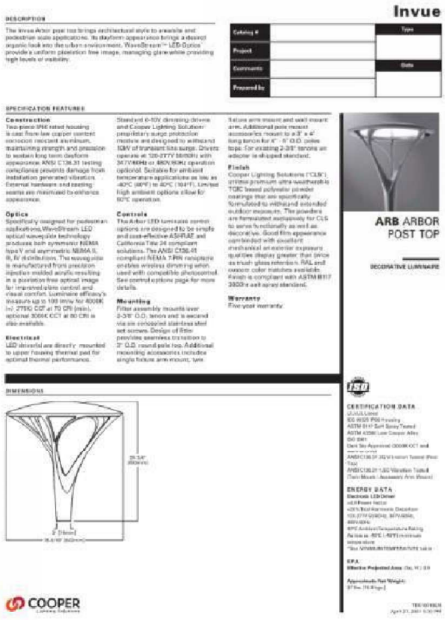
 - RETAIN EXISTING PARK SIGN



- v

SITE LIGHT:

 - 'INVUE' BY COOPER LIGHTING
 - 12FT MOUNTING HEIGHT
 - POWDERCOATED LIGHT GRAY
 - DIRECT BURRY



- vi

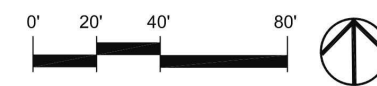
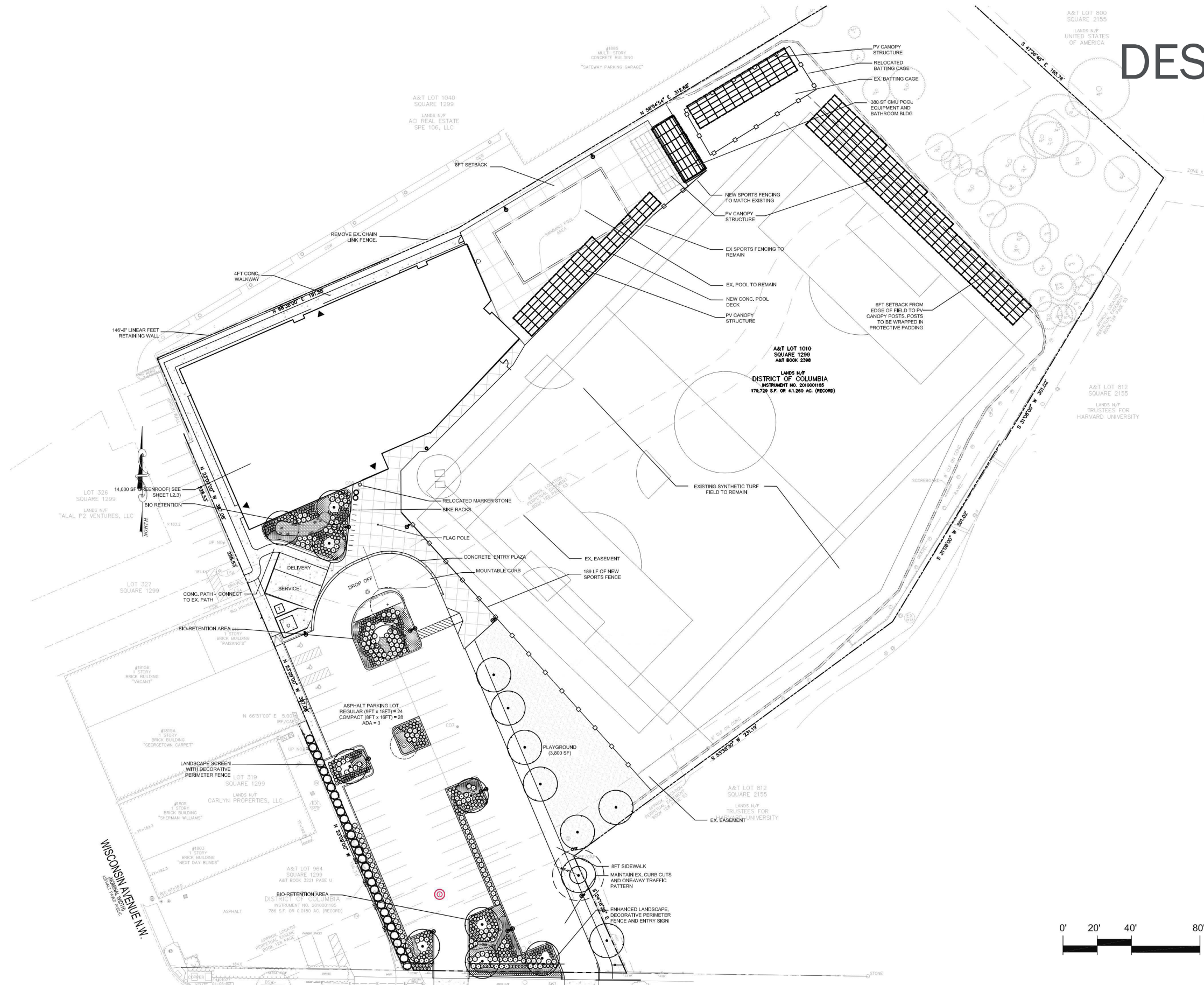
BENCH

 - 'KNIGHT' BENCH BY FORMS + SURFACES
 - 72" L X 22" W X 22" H
 - ALUMINUM FRAME AND ENGINEERED WOOD SEAT
 - SURFACE MOUNT



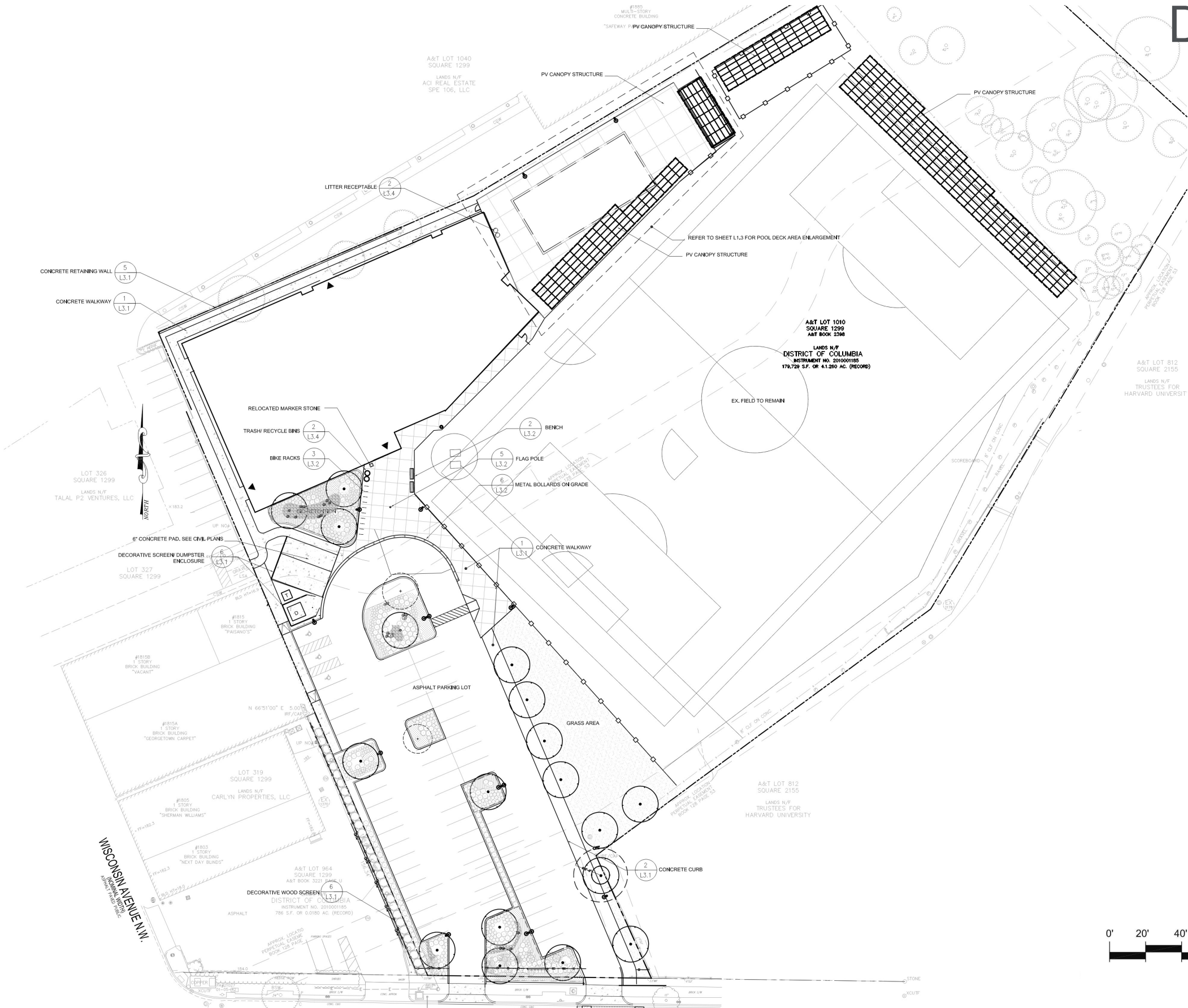
DESIGN DEVELOPMENT

DETAILED SITE PLAN



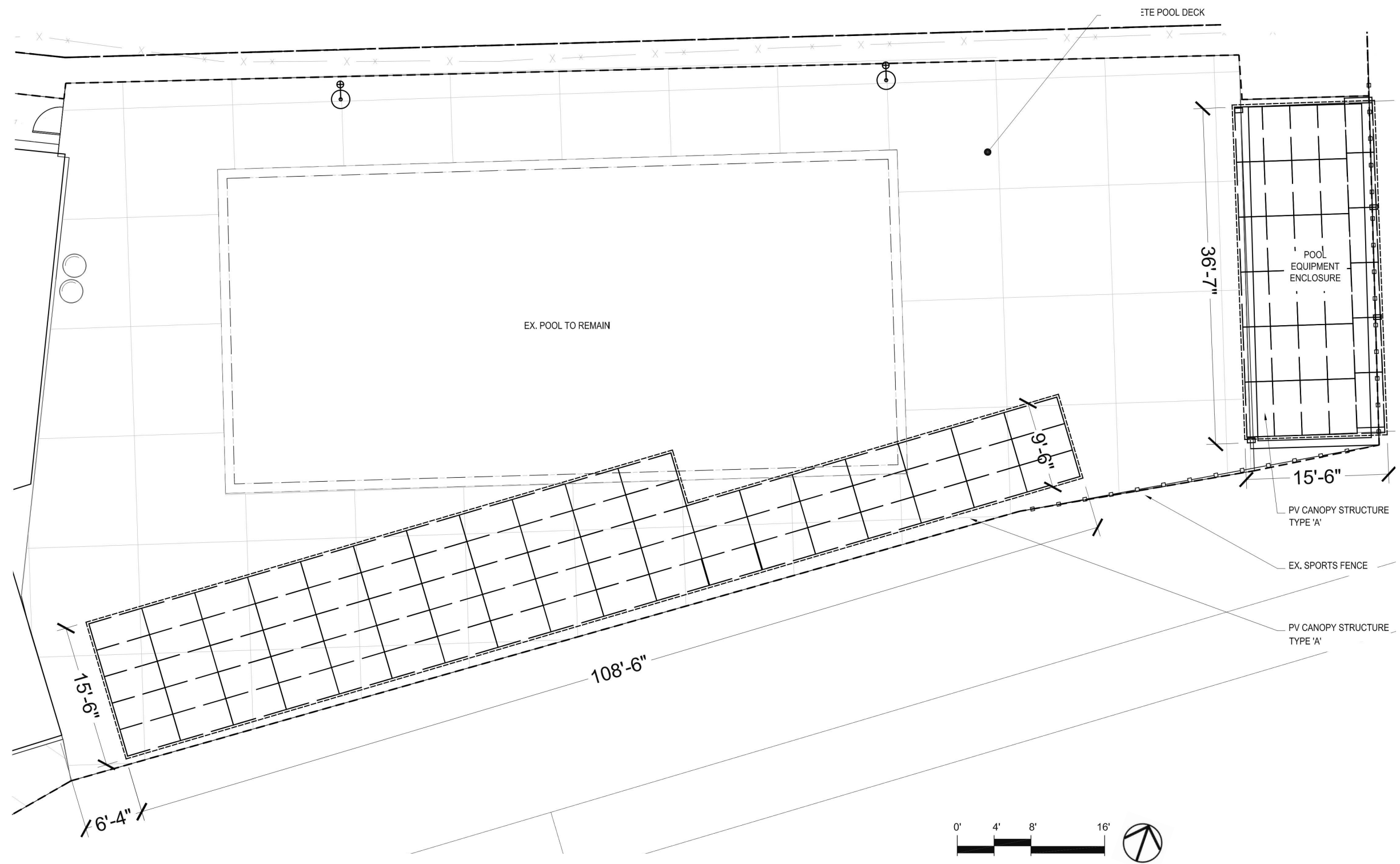
DESIGN DEVELOPMENT

SITE HARDSCAPE PLAN



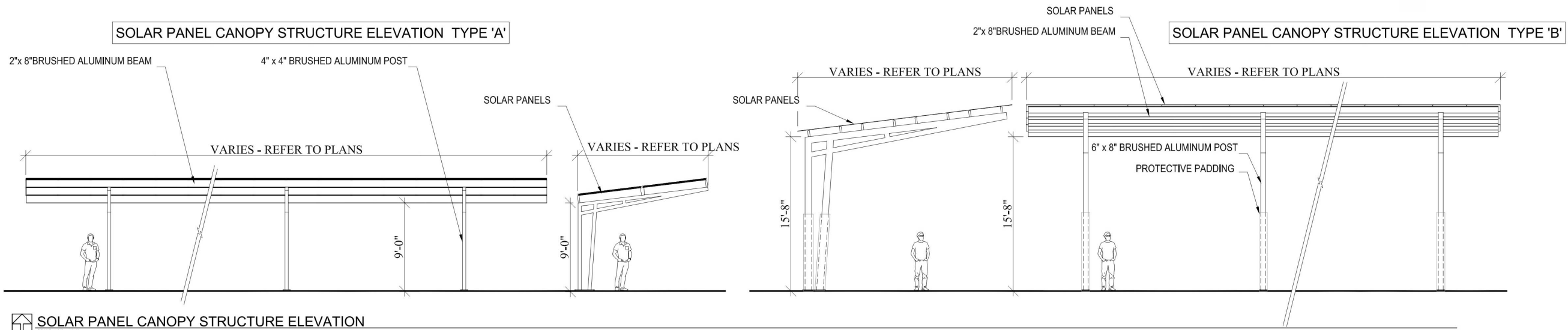
DESIGN DEVELOPMENT

POOL DECK ENLARGED PLAN

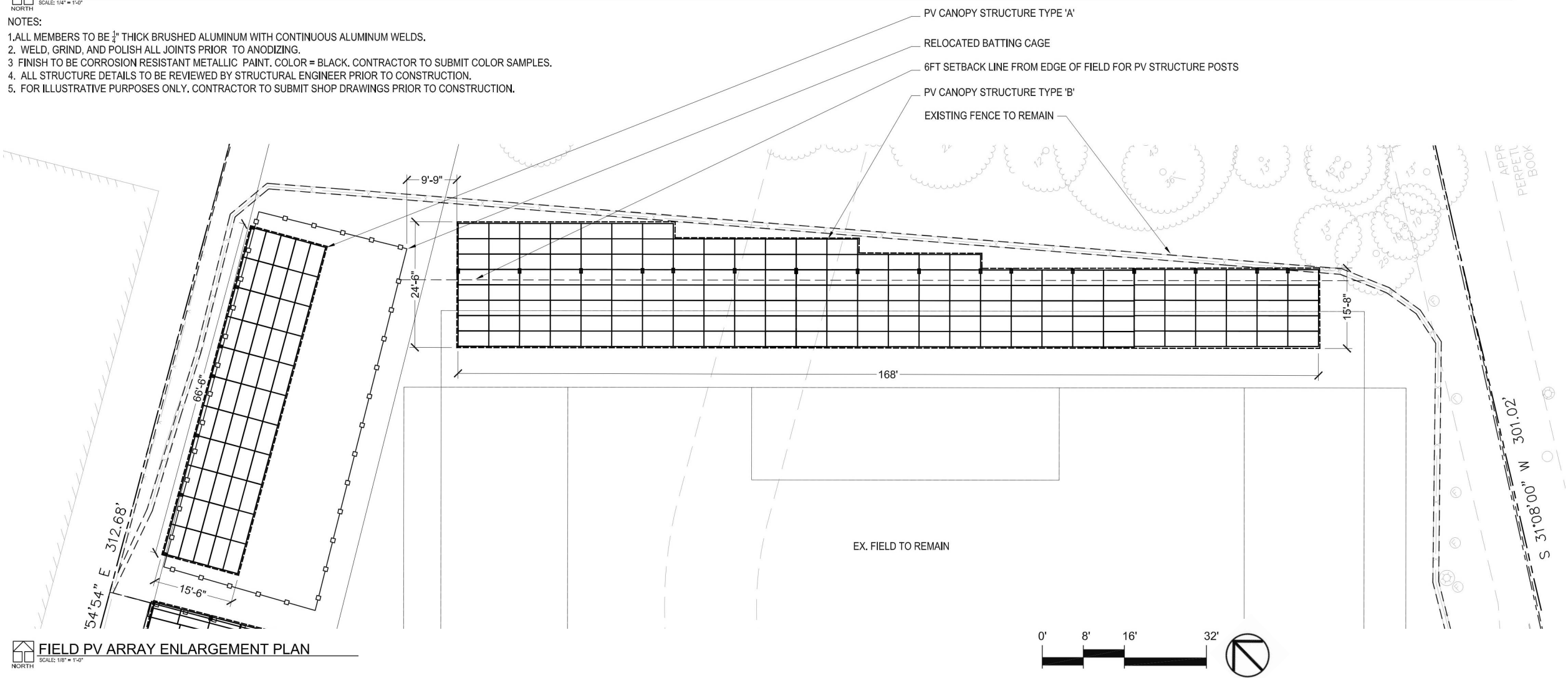


DESIGN DEVELOPMENT

SOLAR CANOPY STRUCTURE

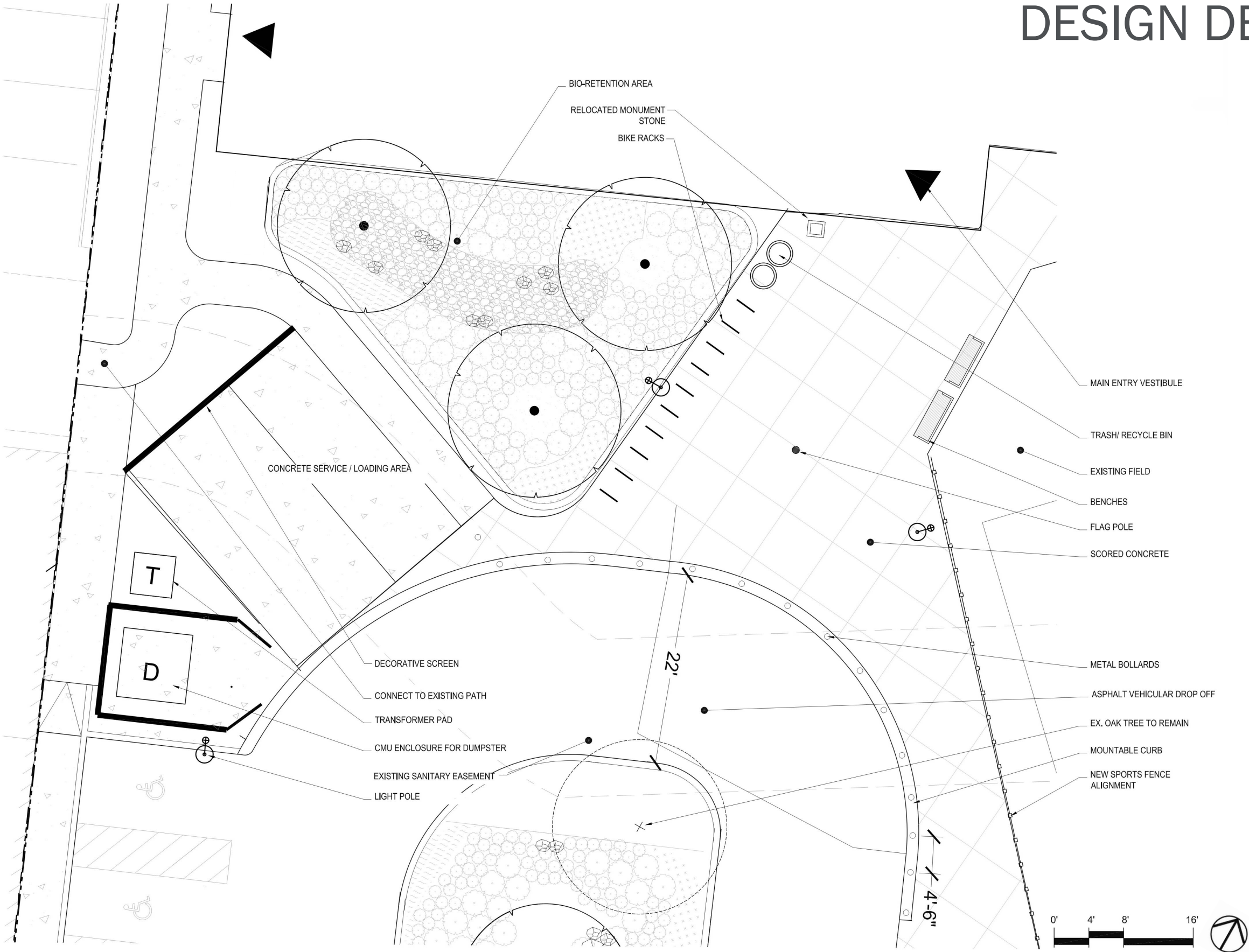


- SOLAR PANEL CANOPY STRUCTURE ELEVATION**
- NORTH
- SCALE: 1/4" = 1'-0"
- NOTES:
1. ALL MEMBERS TO BE 1/4" THICK BRUSHED ALUMINUM WITH CONTINUOUS ALUMINUM WELDS.
 2. WELD, GRIND, AND POLISH ALL JOINTS PRIOR TO ANODIZING.
 3. FINISH TO BE CORROSION RESISTANT METALLIC PAINT. COLOR = BLACK. CONTRACTOR TO SUBMIT COLOR SAMPLES.
 4. ALL STRUCTURE DETAILS TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
 5. FOR ILLUSTRATIVE PURPOSES ONLY, CONTRACTOR TO SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION.



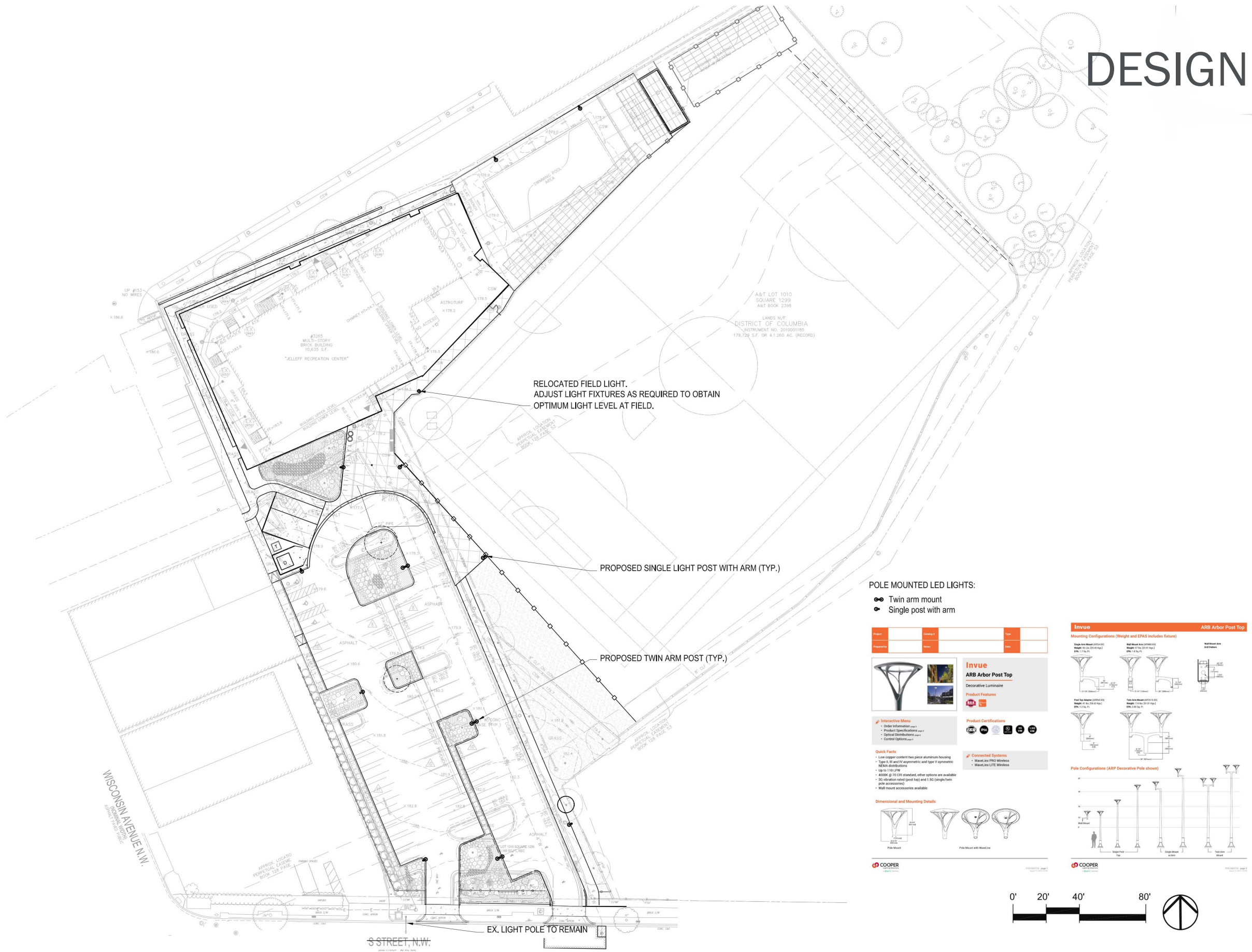
DESIGN DEVELOPMENT

ENTRY PLAZA ENLARGED PLAN



DESIGN DEVELOPMENT

SITE LIGHTING PLAN



POLE MOUNTED LED LIGHTS:

- Twin arm mount
- Single post with arm

Project	Location	Type
Project Name	Location	Type

Invue ARB Arbor Post Top

Decorative Luminaire

Product Features

- Interactive Menu
 - Order Information
 - Product Specifications
 - Optical Distribution
 - Control Options
- Quick Facts
 - Low copper content two piece aluminum housing
 - Type R, R1 and R2 asymmetric and type V symmetric A&M distributions
 - Up to 110 LPW
 - 4000K & 5700K standard, other options are available
 - 30 vibration rated (post top) and 150 (single/twin pole accessories)
 - Wall mount accessories available
- Product Certifications
 - UL ENEC
 - ETL
 - CE
 - RoHS
 - REACH
- Connected Systems
 - Wavelet, via PRO Wireless
 - Wavelet, via LTE Wireless

Dimensional and Mounting Details

Invue ARB Arbor Post Top

Mounting Configurations (Weight and SPAS includes fixture)

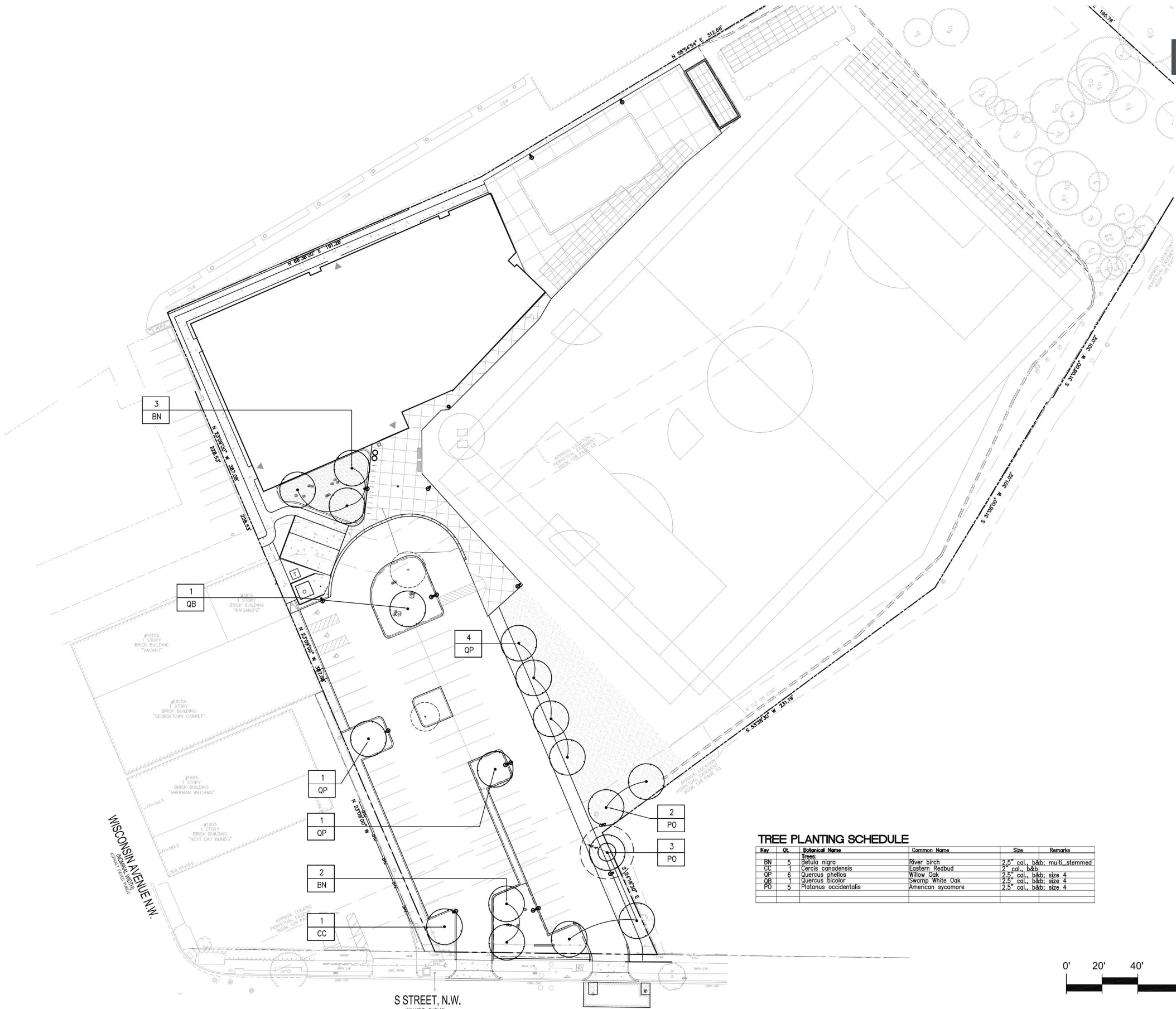
Single Arm Mount (AR10A-R)	Wall Mount Arm (AR10A-R)
Height: 10' to 12' (10' to 12' HPS)	Height: 10' to 12' (10' to 12' HPS)
Weight: 10' to 12' (10' to 12' HPS)	Weight: 10' to 12' (10' to 12' HPS)

Pole Configurations (ARP Decorative Pole shown)



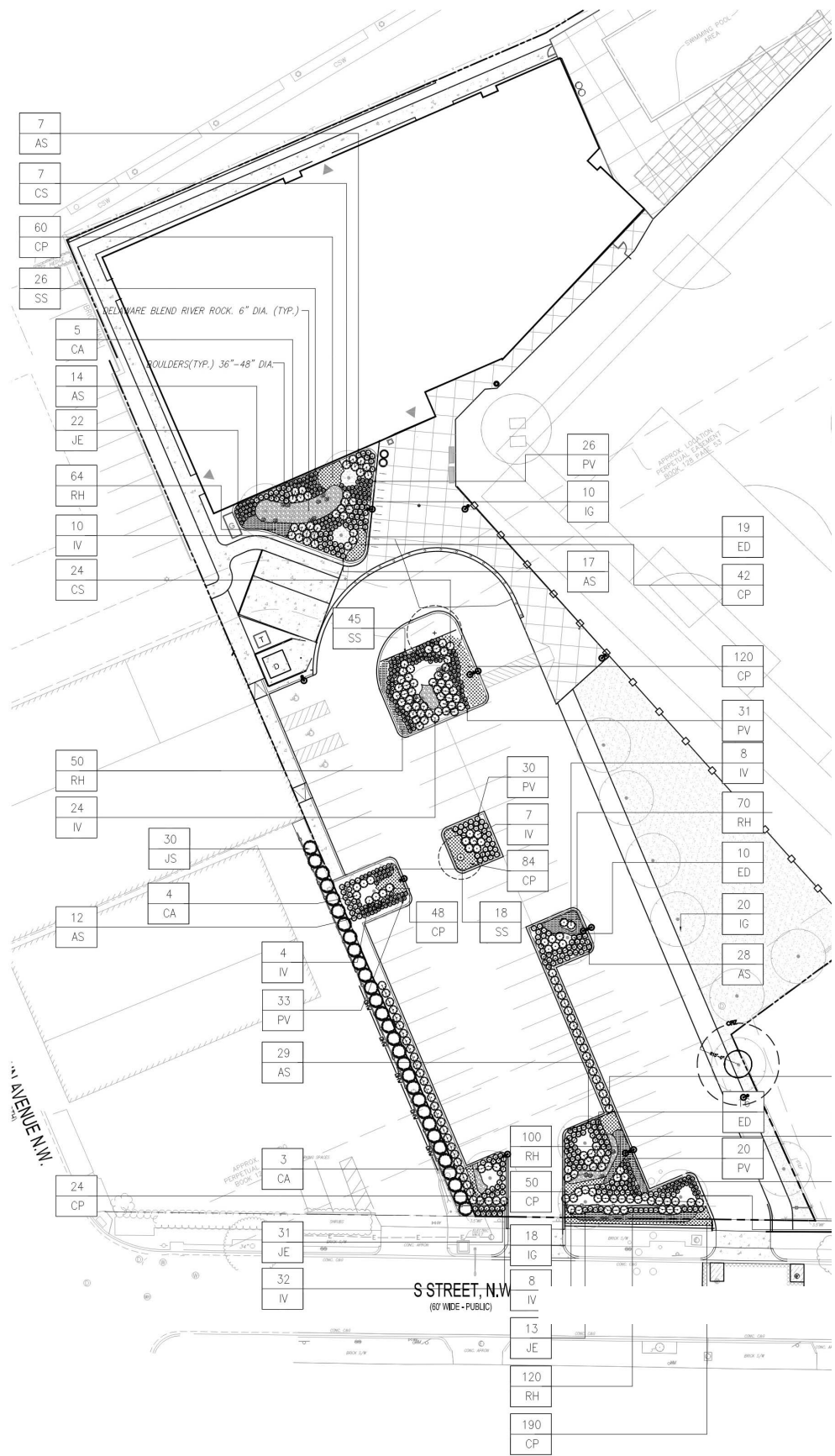
DESIGN DEVELOPMENT

TREE PLANTING PLAN



DESIGN DEVELOPMENT

SHRUBS & GROUNDCOVER PLANTING PLAN



PLANT SCHEDULE

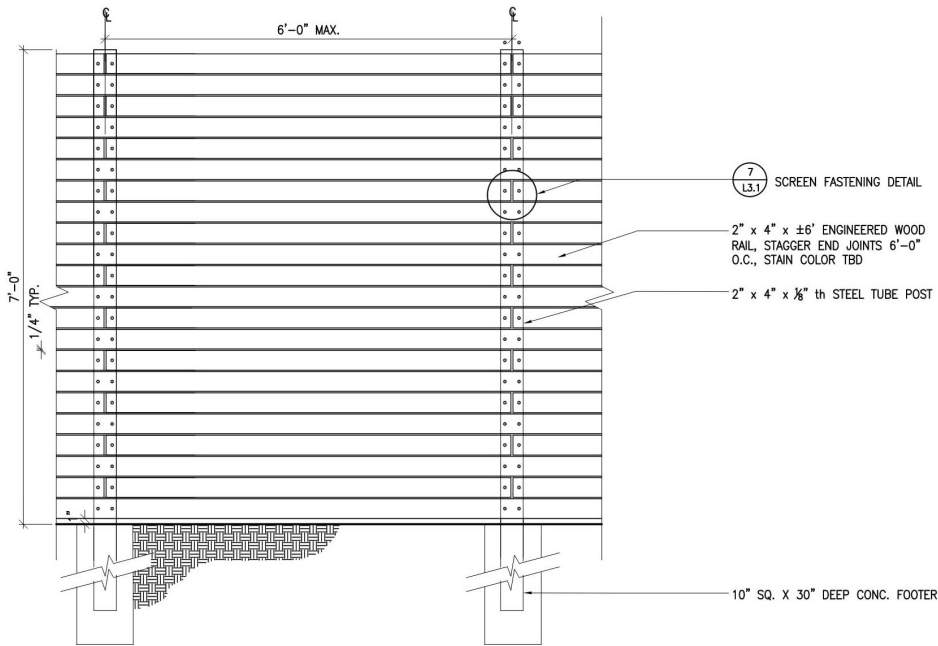
Key	Qty	Botanical Name	Common Name	Size	Remark
Shrubs:					
CA	12	Clethra alnifolia	Summersweet Clethra	5 gal. cont. plant 36"	
CS	37	Cornus sericea	Red Osier Dogwood	7 gal. cont. plant 48"	
HA	15	Hydrangea arborescens	Smooth Hydrangea	5 gal. cont. plant 36"	
IG	49	Ilex Glabra	inkberry Holly	5 gal. cont. plant 36"	
IV	115	Itea Virginica	Virginia Sweetspire	5 gal. cont. plant 36"	
JS	30	Juniperus Scopulorum 'Skyrocket'	Skyrocket juniper	7 gal. cont. plant 60"	
Groundcovers:					
CP	618	Carex Pennsylvanica	Pennsylvania Sedge	1 qt. cont. plant 12"	
Herbaceous Perennials:					
AS	131	Asclepias syriaca	Common Milkweed	3 gal. cont. plant 24"	
ED	45	Eupatorium dubium	Joe Pye Weed	3 gal. cont. plant 24"	
JE	66	Juncus effusus	Soft Rush	3 gal. cont. plant 18"	
PV	140	Panicum Virgatum	Switchgrass	3 gal. cont. plant 24"	
SS	111	Schizachyrium scoparium	Little Blue Stem Grass	3 gal. cont. plant 24"	
RH	395	Rudbeckia Hirta	Black Eyed Susan	1 qt. cont. plant 12"	

1. All proposed plants are native or adaptive species to the Chesapeake Bay region.
2. All new plant material must meet the standards in the ANLA American Standards for Nursery Stock (ANSI A633.1-2017).
3. All trees and shrubs must have a species identification tag from the nursery to remain on 2 of each planted species until the landscape checklist is signed. Tags must be removed after final inspection to prevent confusion.

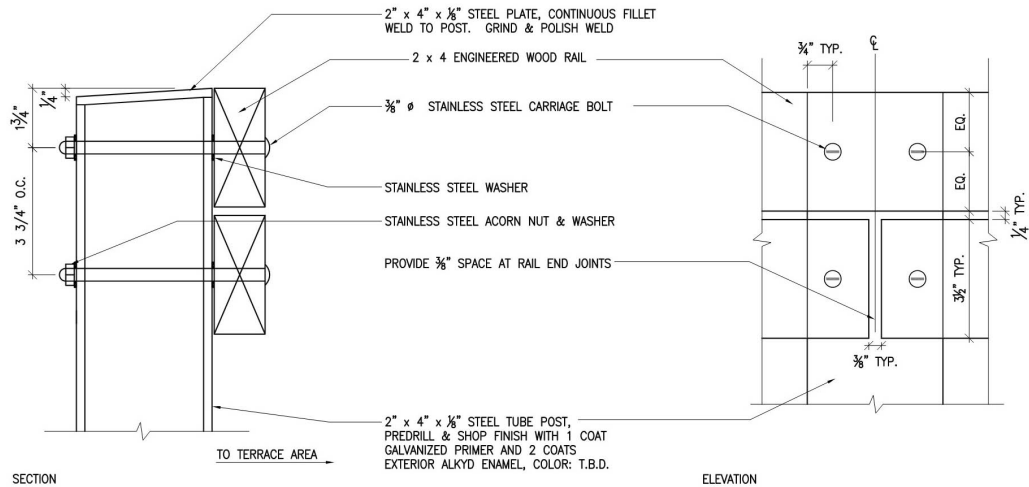


DESIGN DEVELOPMENT

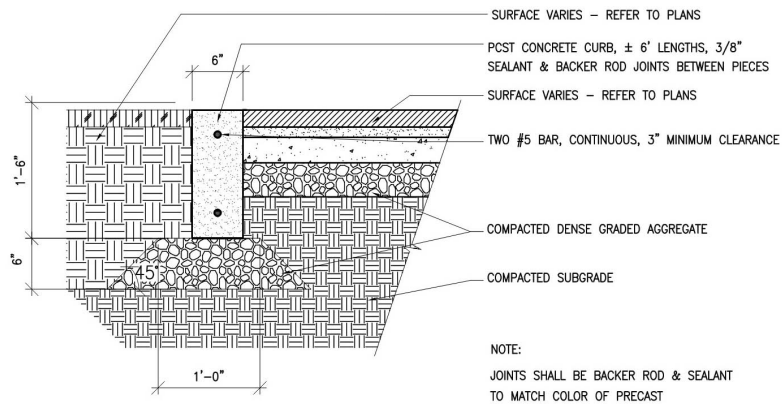
SITE DETAILS



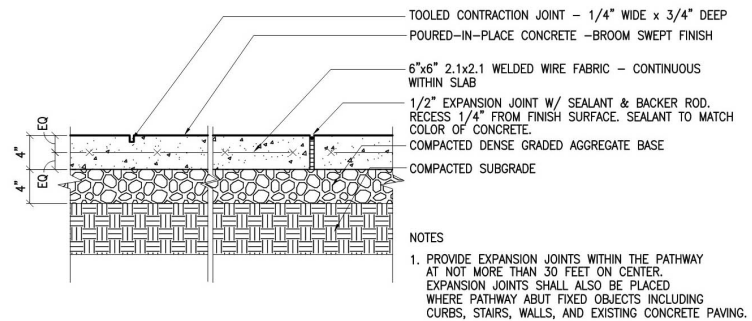
6 ENGINEERED WOOD SCREEN + DUMPSTER ENCLOSURE
SCALE: 1"=1'-0" (screen01E)



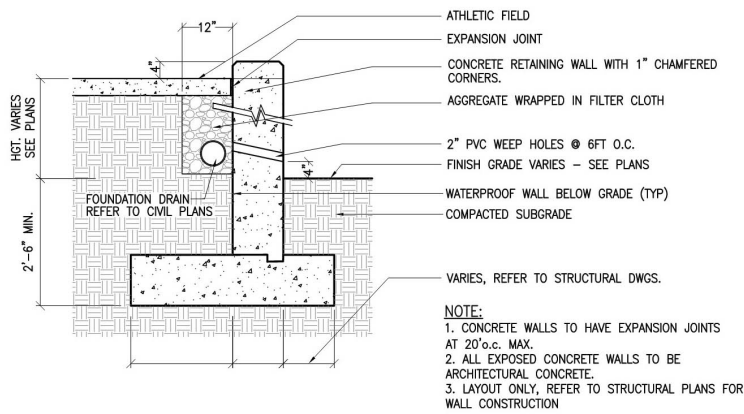
7 WOOD SCREEN DETAIL
SCALE: 6"=1'-0" (screen02b)



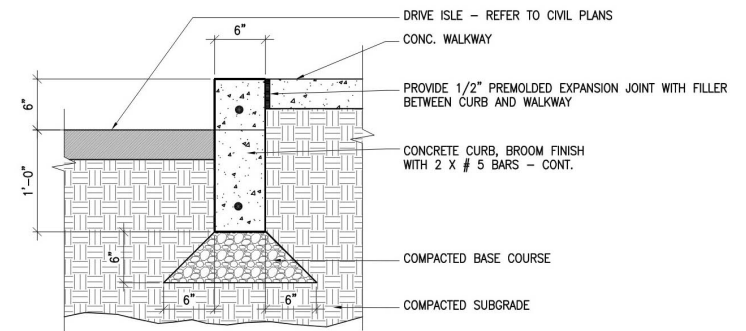
3 6" HEADER CURB ON GRADE
SCALE: 1 1/2"=1'-0" (FLUSH HEADER CURB 030.DWG)



1 SITE CONCRETE WALKWAY
SCALE: 1 1/2"=1'-0" (pave02D)



5 CONCRETE RETAINING WALL (TYP)
SCALE: 3/4"=1'-0" (wall01f)



2 6" CONCRETE CURB
SCALE: 1 1/2"=1'-0" (curb01D)

PLAN VIEW

1'-0"

ASPHALT ROADWAY
REFER TO CIVIL PLANS

METAL BOLLARD, EMBED IN CONC. FOOTER PER MANUFACTURER'S SPECIFICATIONS

24" SQ. X 2" THICK TRUNCATED DOME CONC. PAVER, BASIS OF DESIGN: HANOVER ARCHITECTURAL PRODUCTS, INC. CONC. PAVER COLOR: CHARCOAL

CONCRETE PLAZA

24" D X 8" DIA. CONC. FOOTER

SECTION

METAL BOLLARD, EMBED IN CONC. FOOTER PER MANUFACTURER'S SPECIFICATIONS

24" SQ. X 2" THICK TRUNCATED DOME CONC. PAVER MORTAR TO SLAB WITH 1" MORTAR BED

4" THICK REINF. CONCRETE PLAZA

4" COMPACTED DENSE GRADED AGGREGATE

COMPACTED SUBGRADE

1/2" EXPANSION JOINT

24" D X 8" DIA. CONC. FOOTER

Bancale

Product Drawing

Blacked Bench, 88in. Embedded, Wood, w/ Arms

WOOD SEATING AND BACK

209
8 1/4"

510
20"

1935
76 1/4"

90
3 3/4"

2238
88"

2238
88"

202
8"

442
17 1/2"

103
4"

2030
80"

THREADED RODS INCLUDED

599
23 1/2"

781
30 3/4"

569
22 1/2"

330
13 3/4"

GRADE

Drawing: BA681-02
Date: 8/15/2012
Dimensions are in inches/mm
Spanish Industrial Design 231.243

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PLAN VIEW

- METAL BOLLARD, EMBED IN CONC. FOOTER PER MANUFACTURER'S SPECIFICATIONS
- 24" SQ. X 2" THICK TRUNCATED DOME CONC. PAVER, BASIS OF DESIGN: HANOVER ARCHITECTURAL PRODUCTS, INC. CONC. PAVER COLOR: CHARCOAL
- CONCRETE PLAZA
- 24" D X 8" DIA. CONC. FOOTER
- 1'-0"
- ASPHALT ROADWAY REFER TO CIVIL PLANS

SECTION

- METAL BOLLARD, EMBED IN CONC. FOOTER PER MANUFACTURER'S SPECIFICATIONS
- 24" SQ. X 2" THICK TRUNCATED DOME CONC. PAVER MORTAR TO SLAB WITH 1" MORTAR BED
- 4" THICK REINF. CONCRETE PLAZA
- 4" COMPACTED DENSE GRADED AGGREGATE
- COMPACTED SUBGRADE
- 1/2" EXPANSION JOINT
- 24" D X 8" DIA. CONC. FOOTER

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5 **FLAGPOLE**
SCALE: 1" = 1'-0" (FLAGPOLE BASE 01E.DWG)

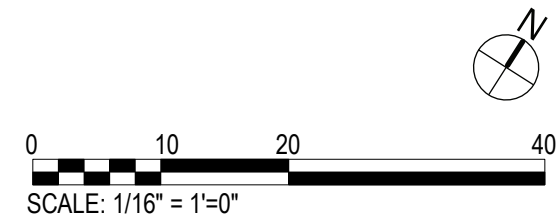
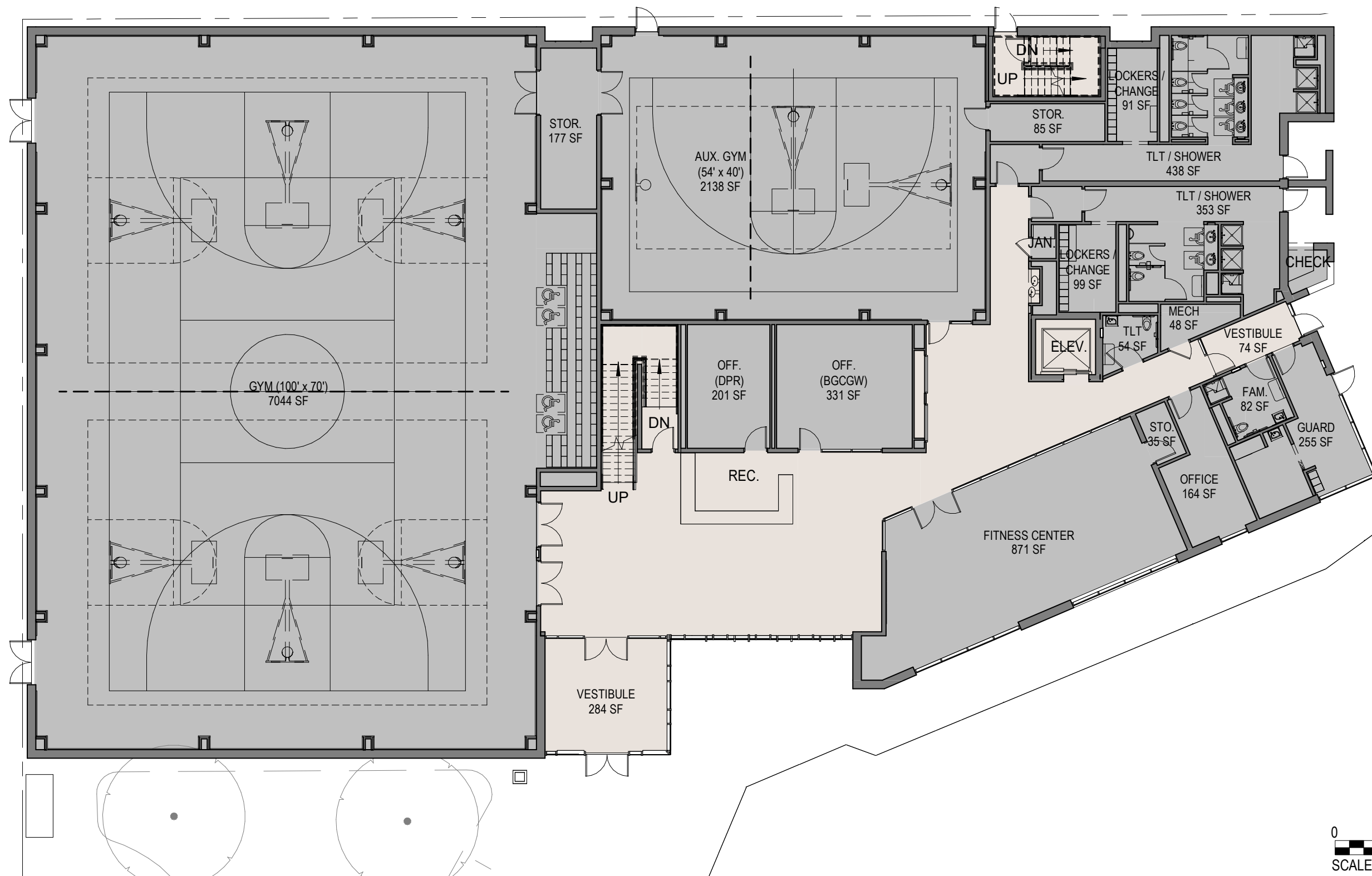


Technical drawing of the Capitol Bike Rack showing three views: side, front, and top.

- Side View:** Shows a vertical profile with a total height of 54.0 and a width of 4.0. A small rectangular detail is shown at the bottom.
- Front View:** Shows a vertical profile with a total height of 54.0 and a width of 5.0. A bicycle icon is positioned at the top, and a small circular detail is at the bottom.
- Top View:** Shows a square footprint with a side length of 1.8. It includes two circular mounting holes, each with a diameter of 1.2, and two rectangular slots.

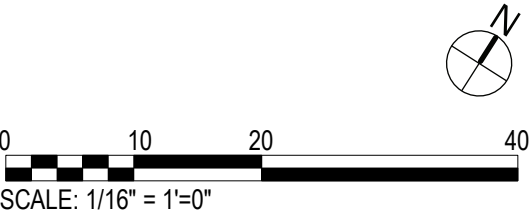
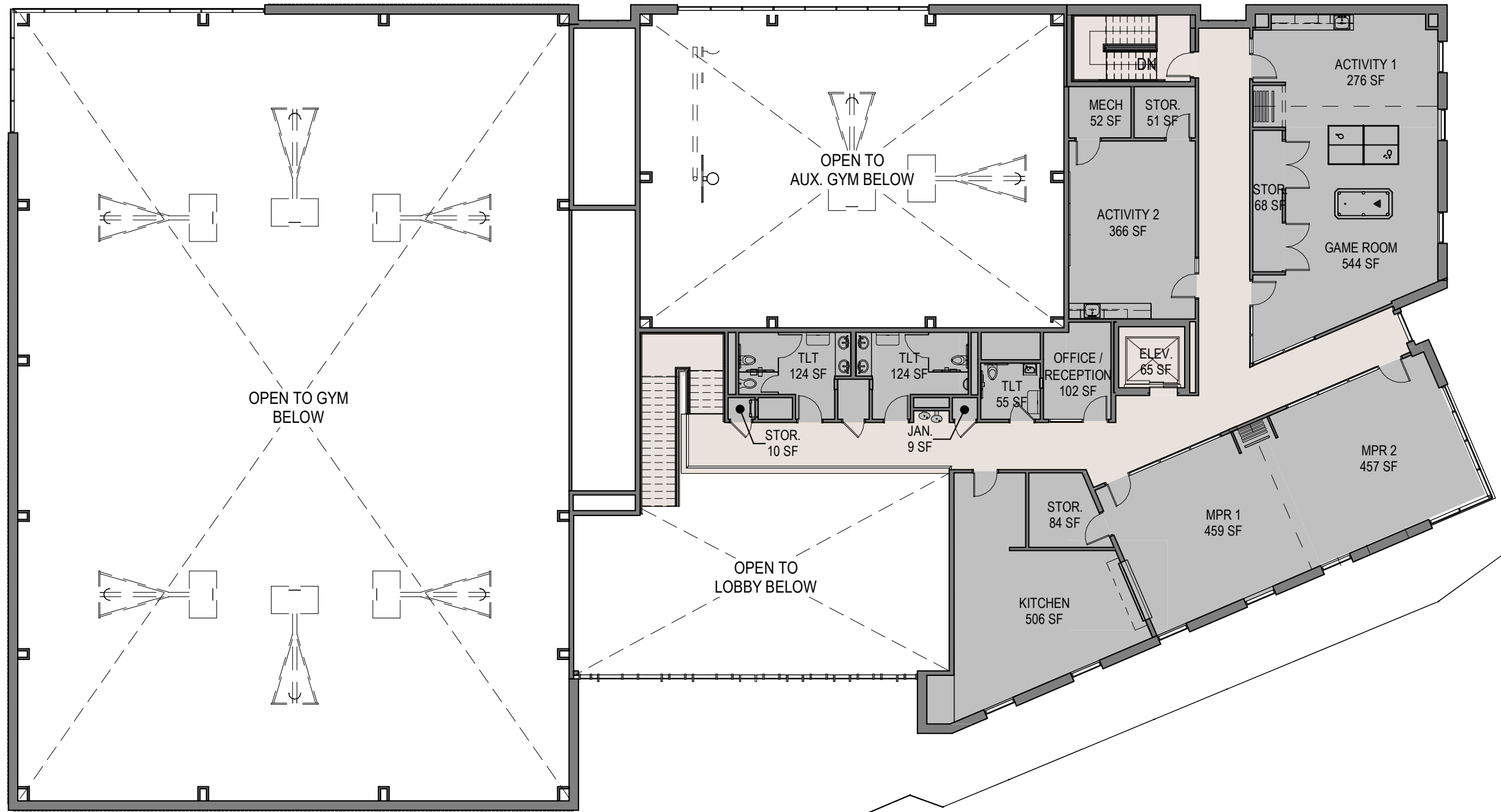
DESIGN DEVELOPMENT

PREVIOUS FIRST FLOOR PLAN (CONCEPT APPROVED 11/2024)



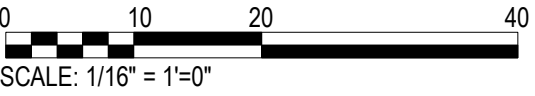
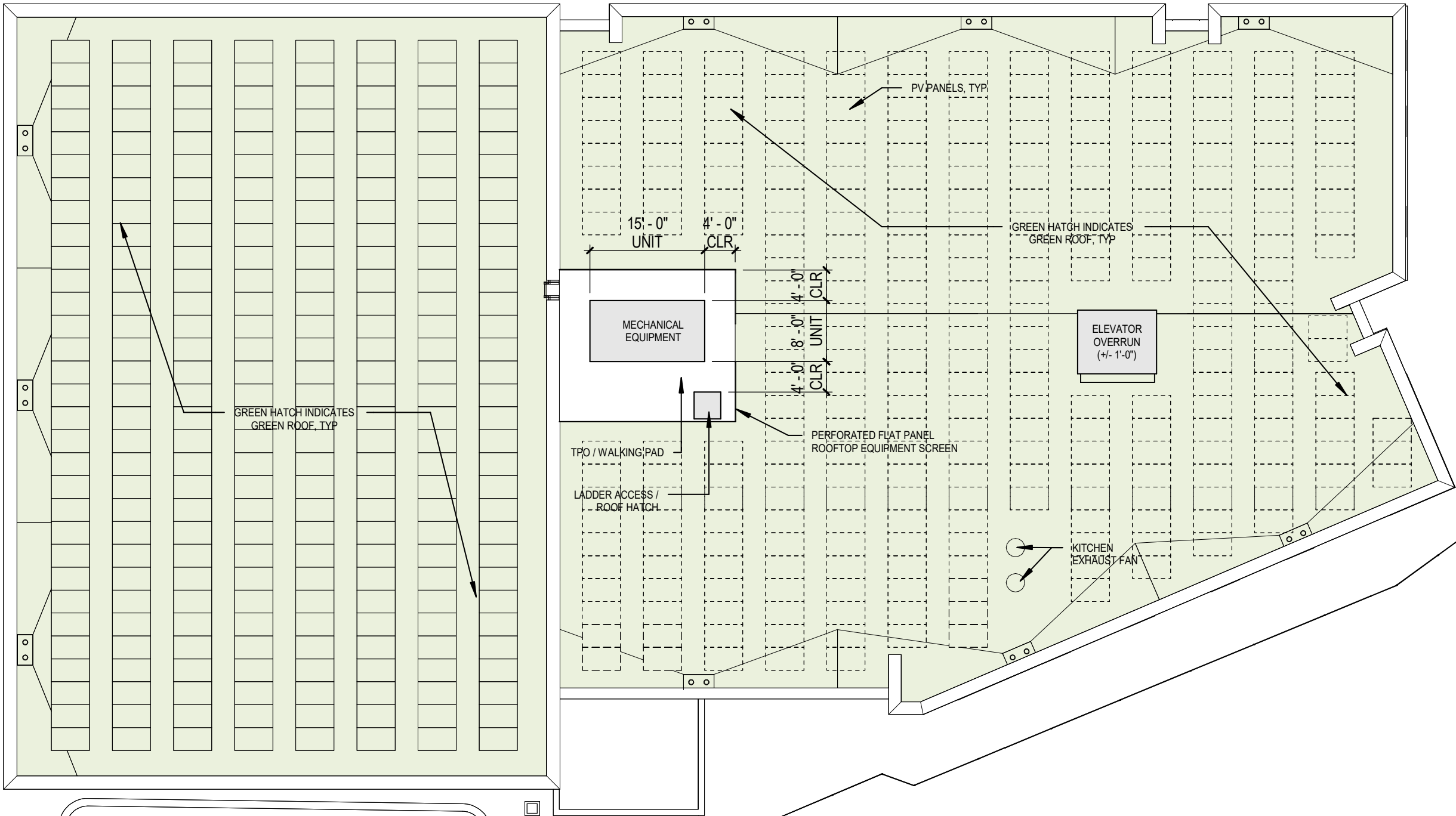
DESIGN DEVELOPMENT

PREVIOUS SECOND FLOOR PLAN (CONCEPT APPROVED 11/2024)



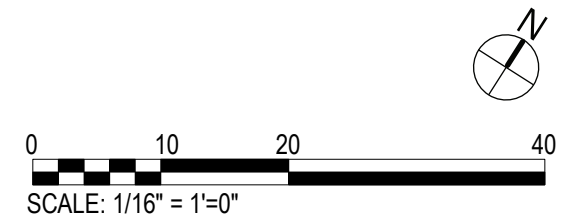
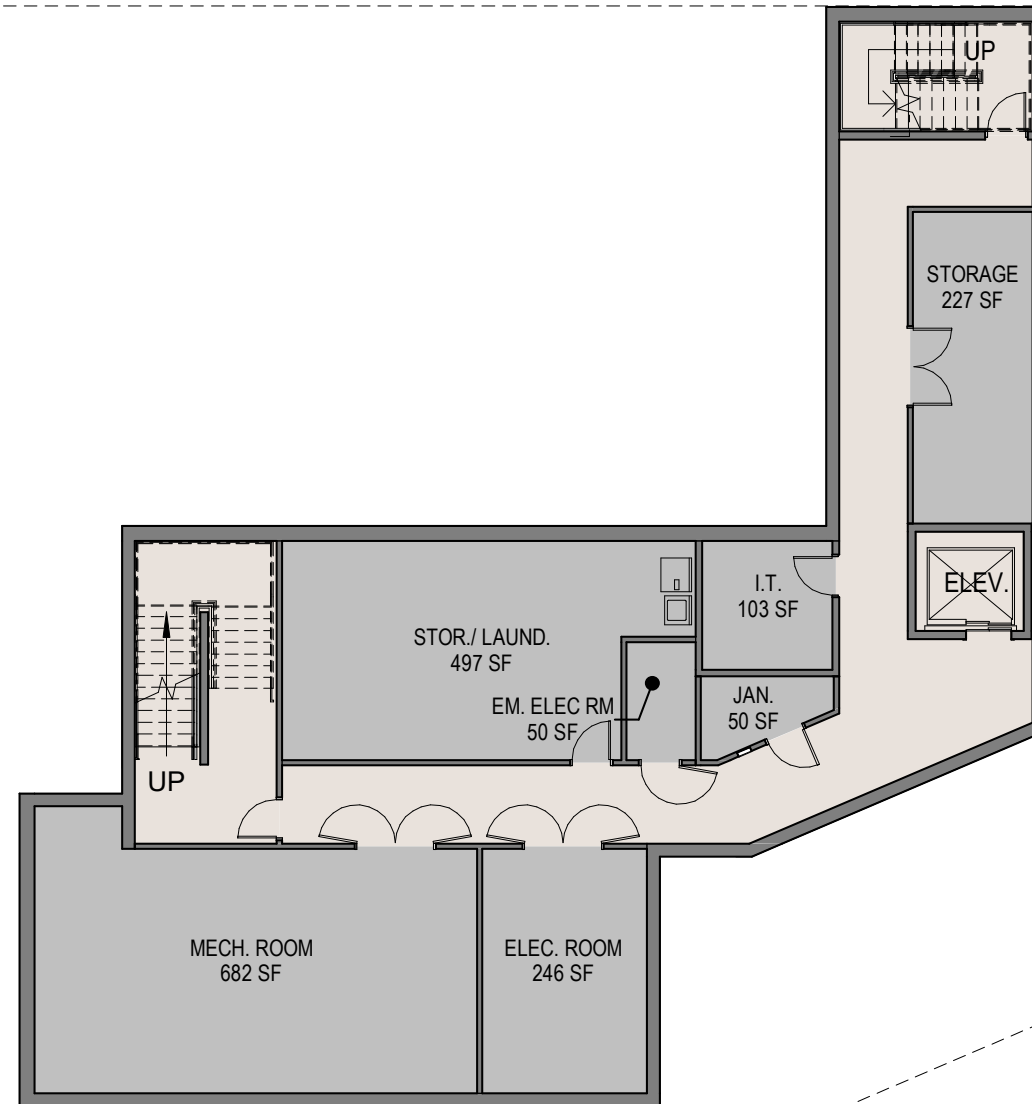
DESIGN DEVELOPMENT

PREVIOUS ROOF PLAN (CONCEPT APPROVED 11/2024)



DESIGN DEVELOPMENT

PREVIOUS BASEMENT FLOOR PLAN (CONCEPT APPROVED 11/2024)

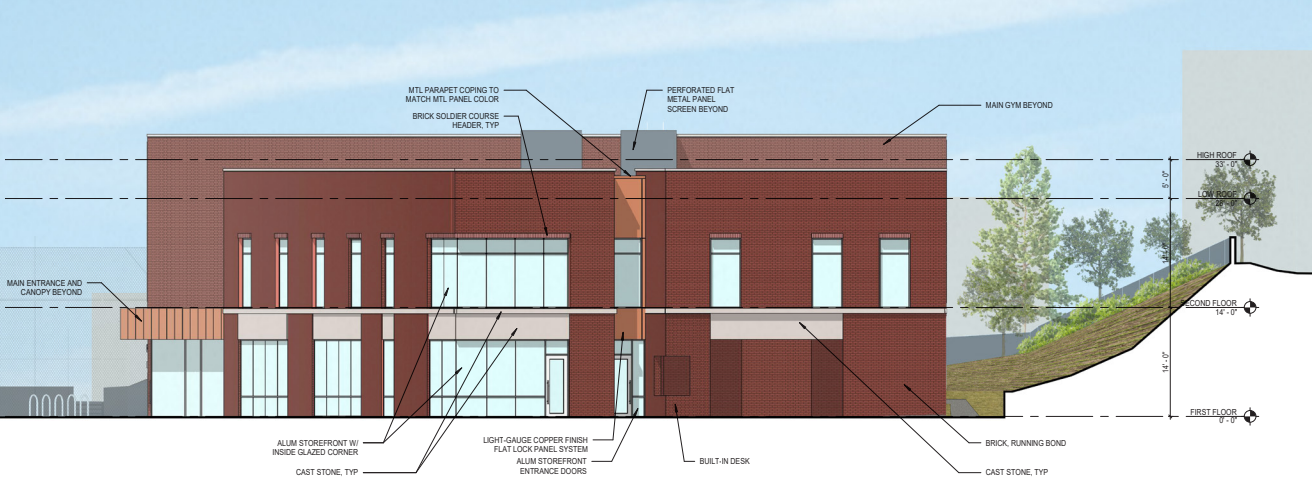


DESIGN DEVELOPMENT

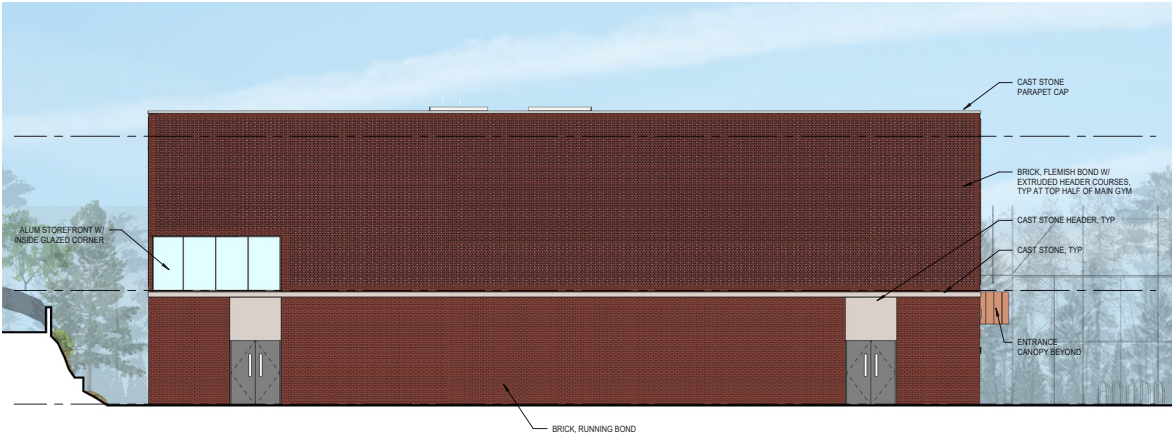
PREVIOUS ELEVATIONS (CONCEPT APPROVED 11/2024)



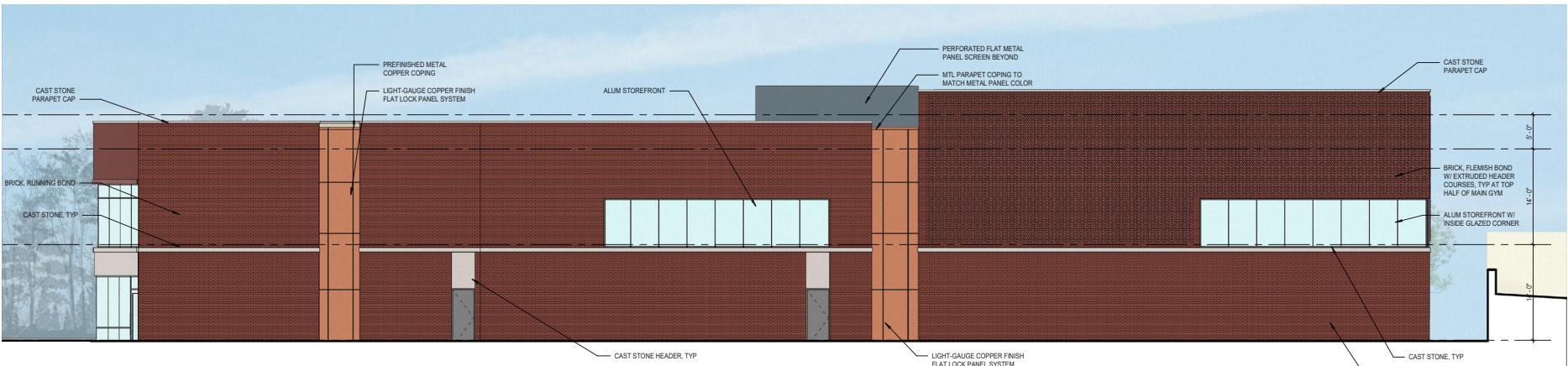
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

DESIGN DEVELOPMENT

PREVIOUS RENDERINGS (CONCEPT APPROVED 11/2024)



VIEW FROM PARKING LOT

DESIGN DEVELOPMENT
PREVIOUS RENDERINGS (CONCEPT APPROVED 11/2024)



VIEW FROM ATHLETIC FIELD

DESIGN DEVELOPMENT

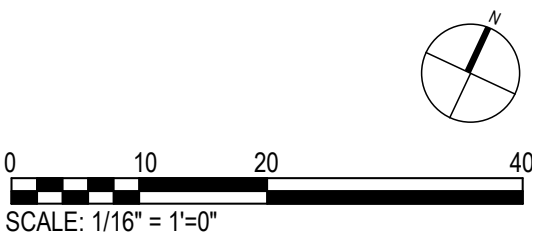
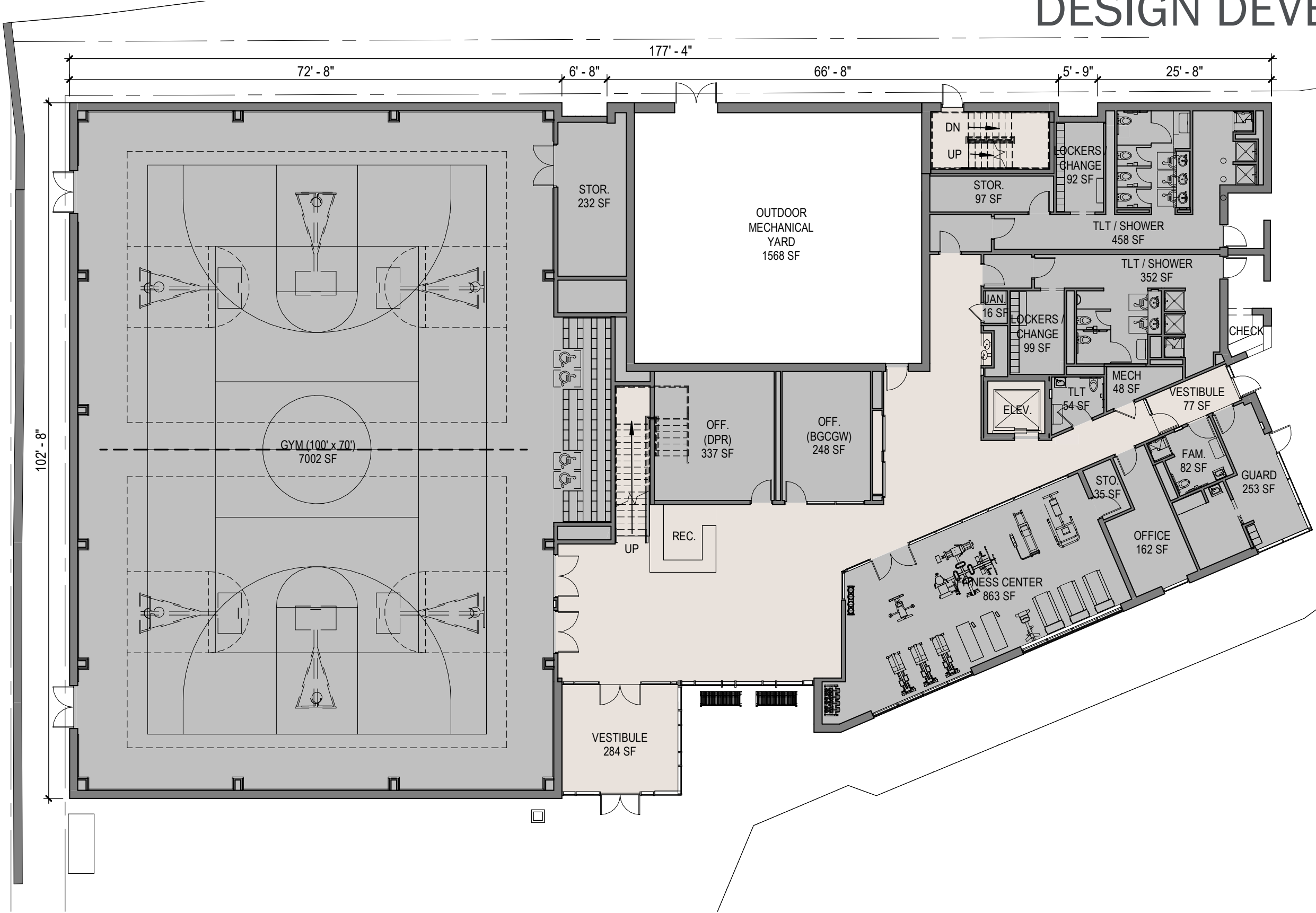
PREVIOUS RENDERINGS (CONCEPT APPROVED 11/2024)



VIEW FROM RAMP ALONG
NORTH SIDE OF BUILDING

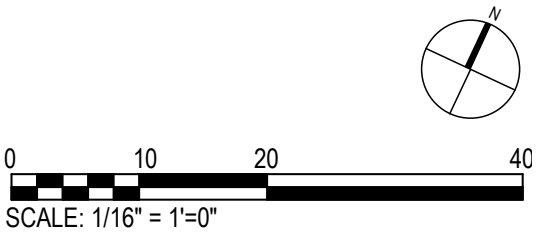
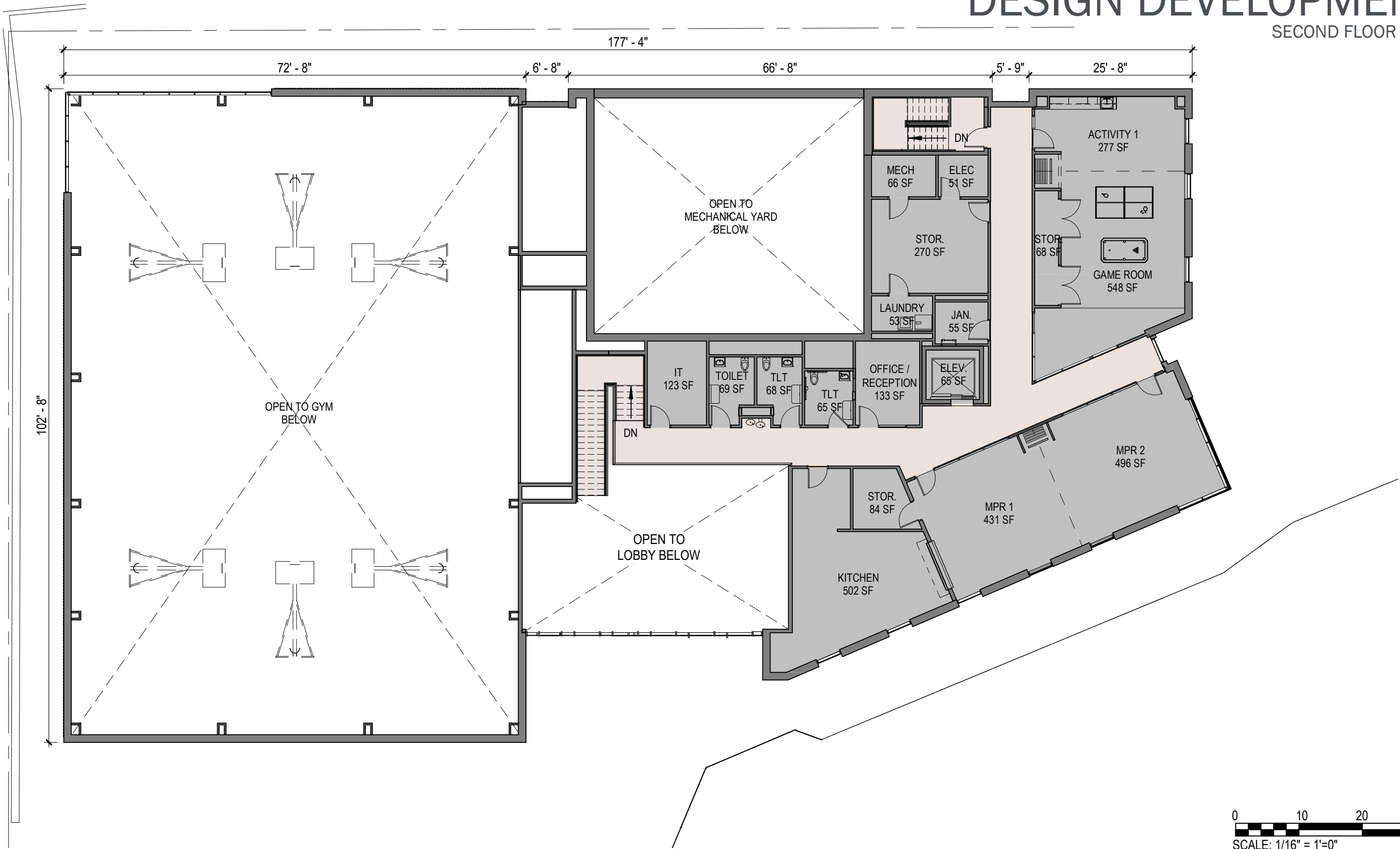
DESIGN DEVELOPMENT

FIRST FLOOR PLAN



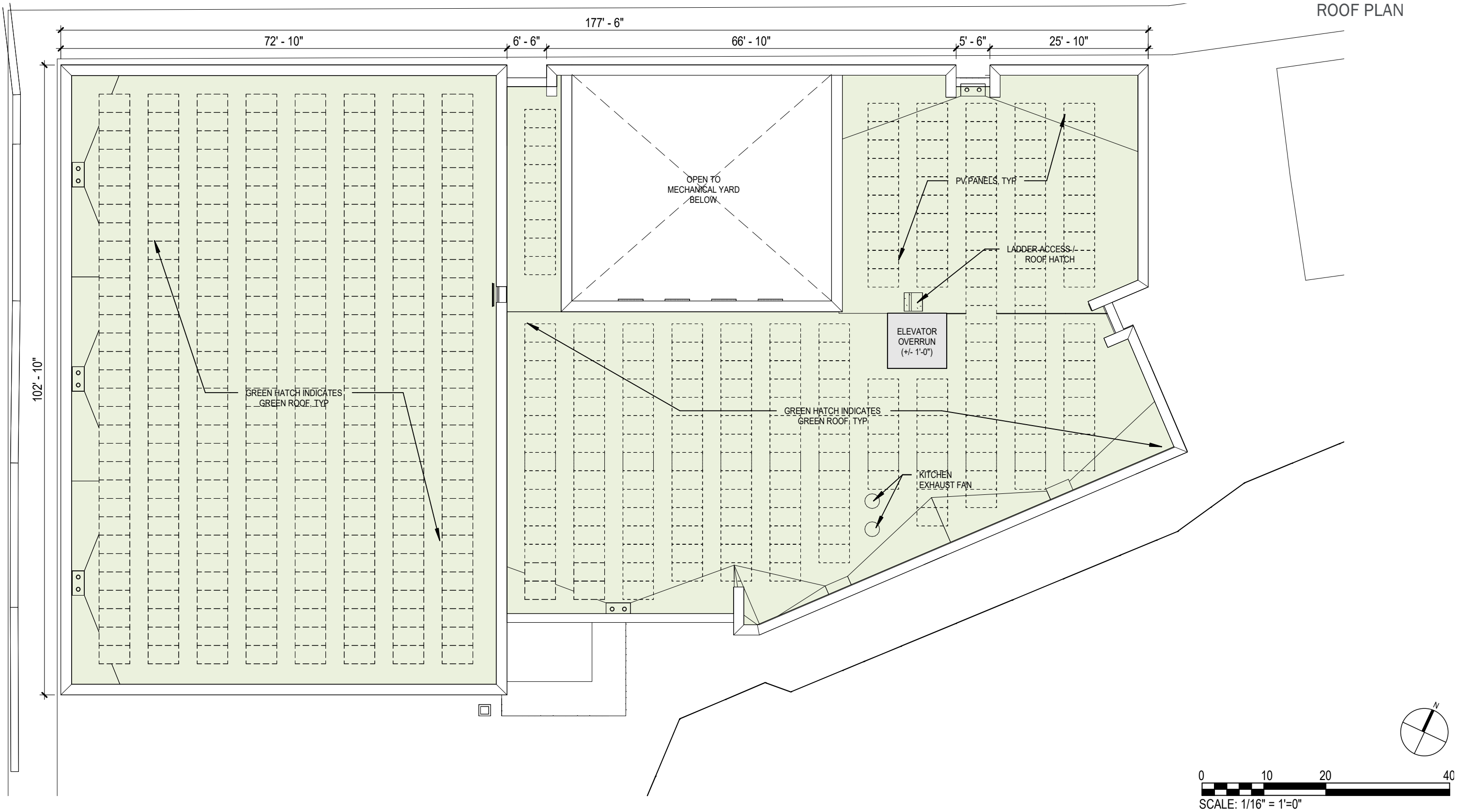
DESIGN DEVELOPMENT

SECOND FLOOR PLAN



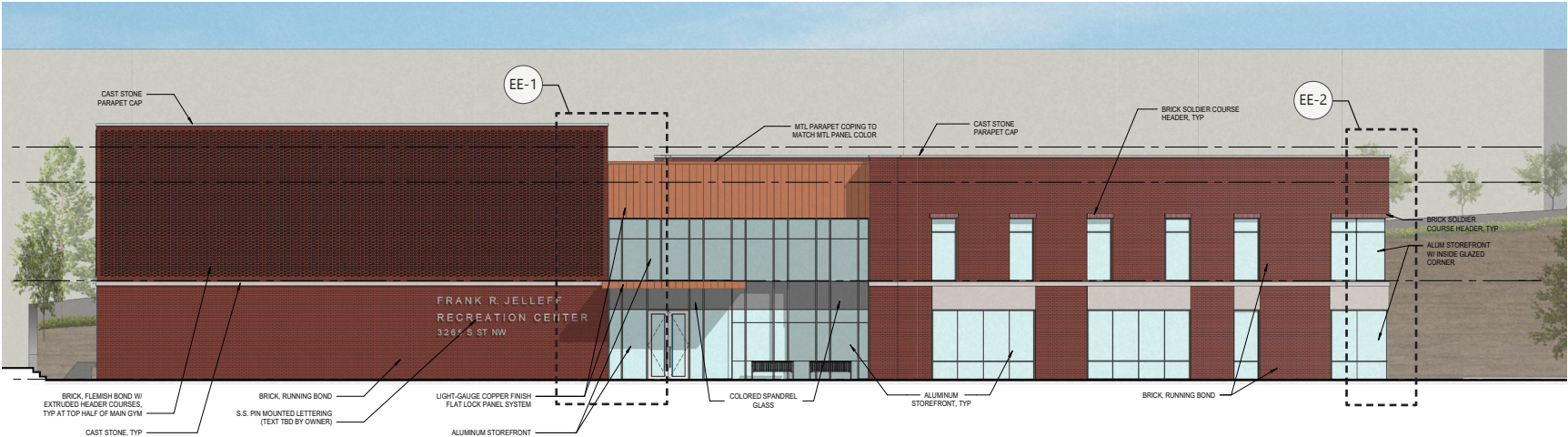
DESIGN DEVELOPMENT

ROOF PLAN

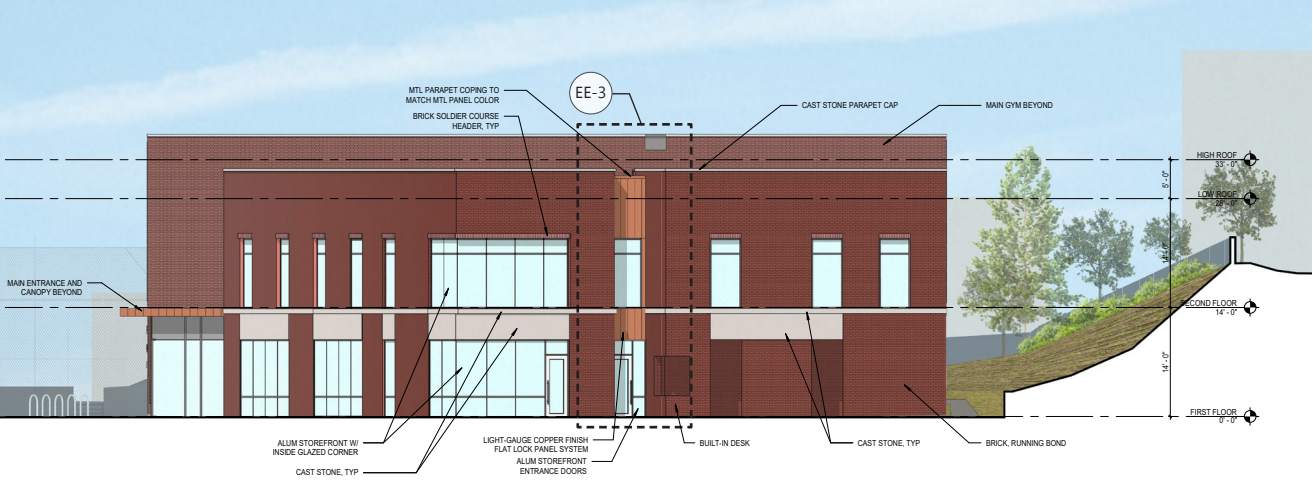


DESIGN DEVELOPMENT

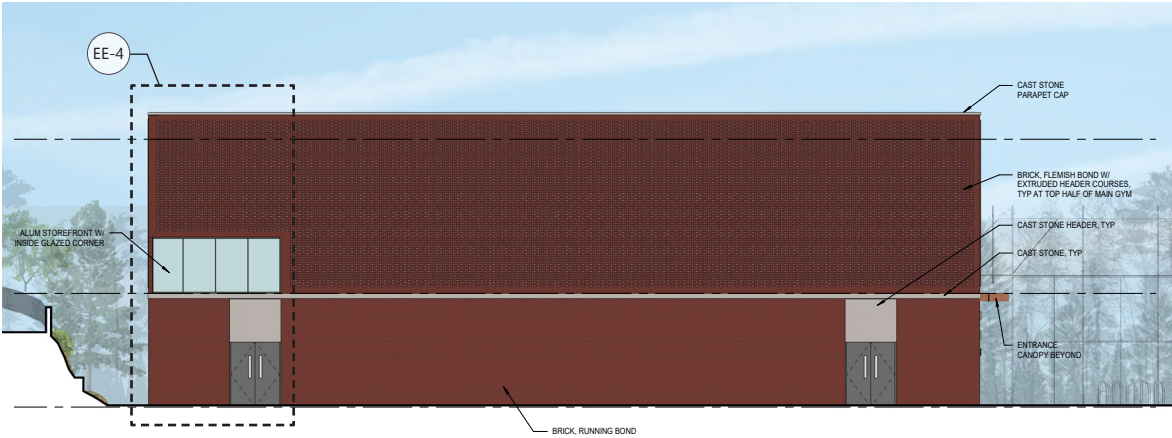
ELEVATIONS



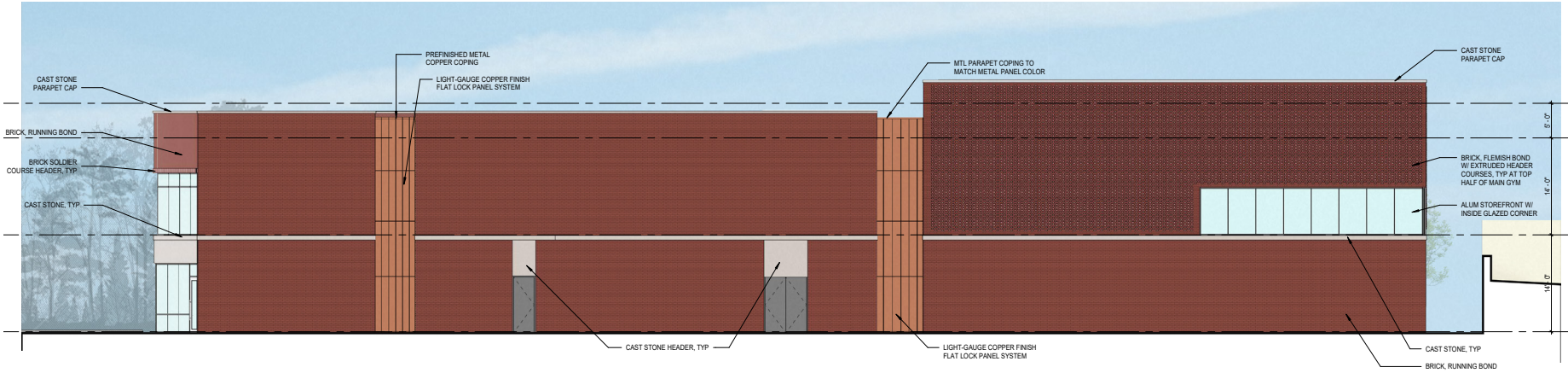
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

DESIGN DEVELOPMENT

RENDERINGS



VIEW FROM PARKING LOT

DESIGN DEVELOPMENT

RENDERINGS



VIEW FROM ATHLETIC FIELD

DESIGN DEVELOPMENT

RENDERINGS



VIEW FROM RAMP ALONG
NORTH SIDE OF BUILDING

DESIGN DEVELOPMENT

MATERIAL PALETTE



① BRICK + MORTAR



② CAST STONE



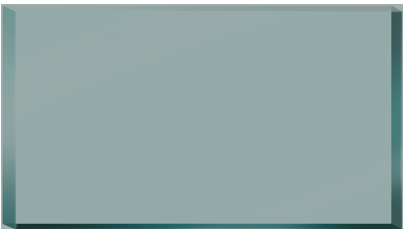
③ LIGHT-GAUGE COPPER
FINISH PANEL



④ METAL SOFFIT



⑤ GLASS



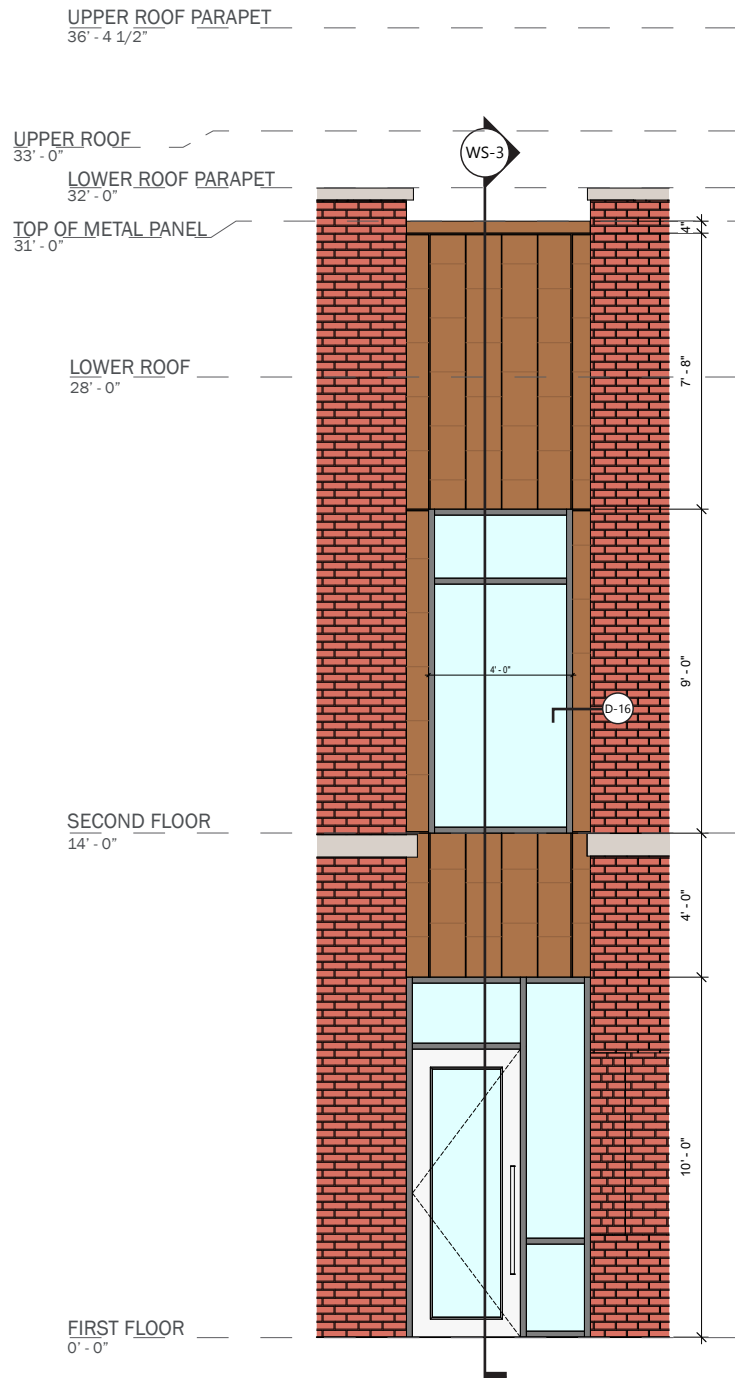
⑥ SPANDREL GLASS



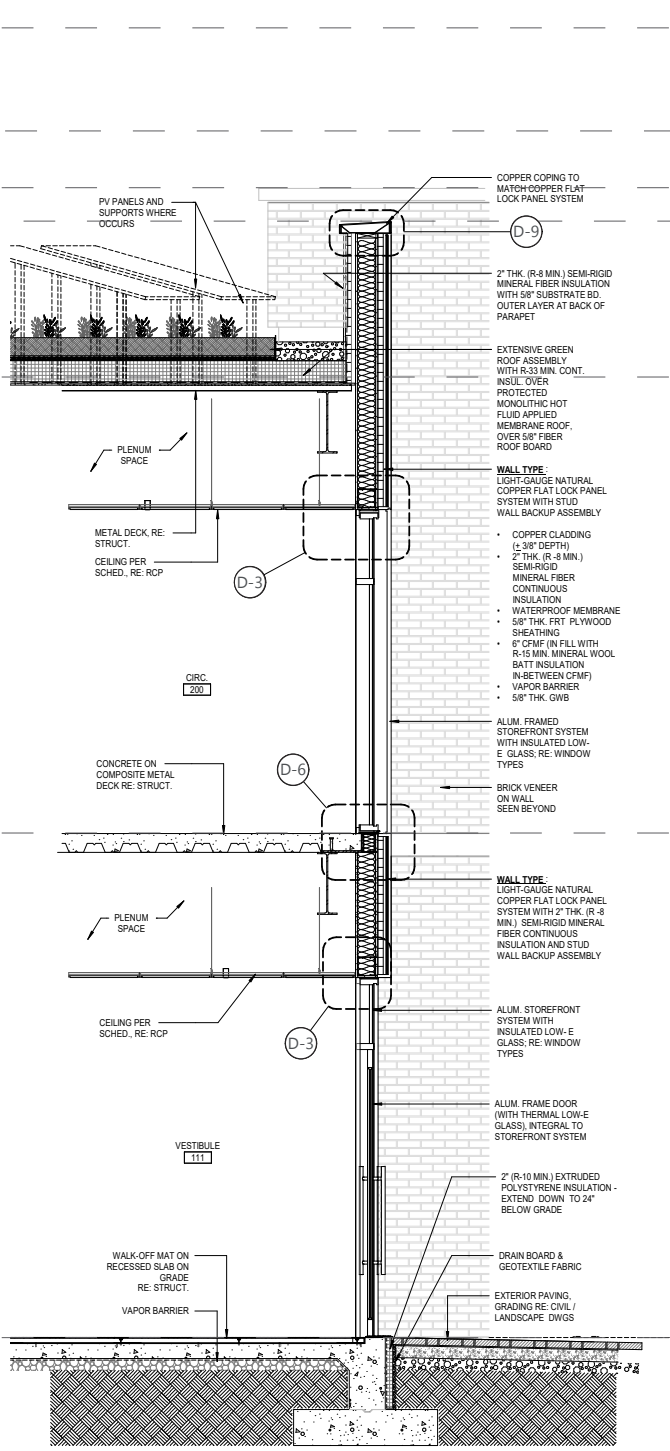
⑦ ALUMINUM STOREFRONT

DESIGN DEVELOPMENT

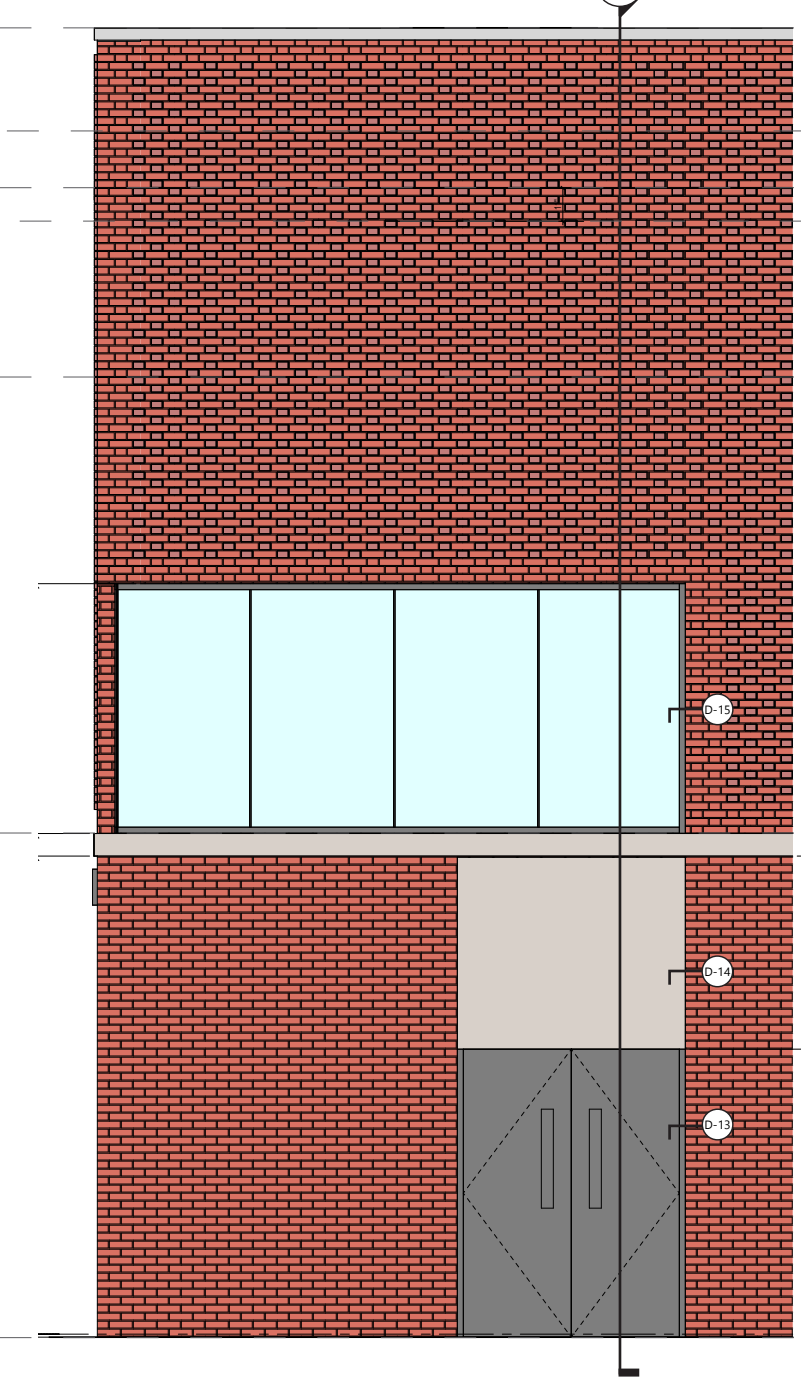
ENLARGED ELEVATIONS AND WALL SECTIONS



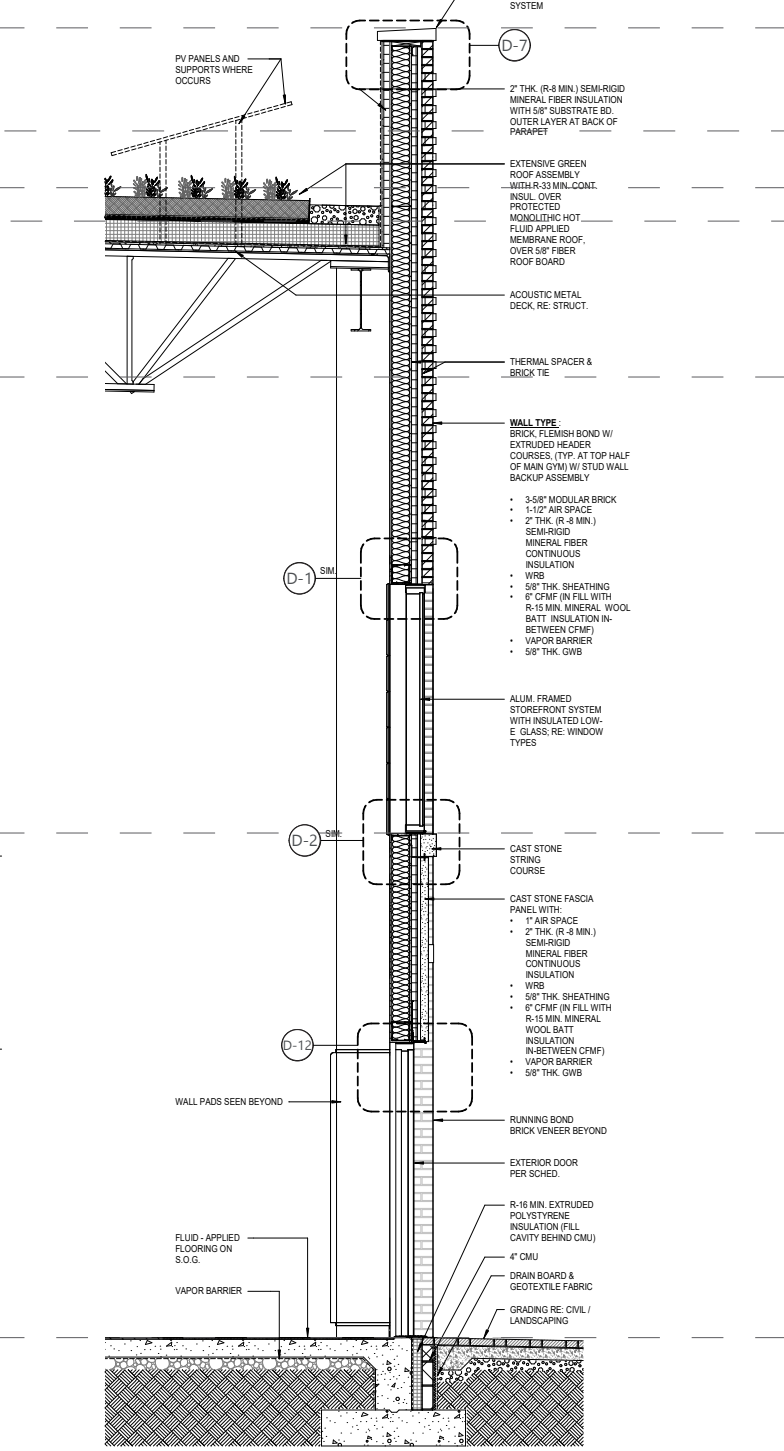
EE-3 ENLARGED ELEVATION - METAL PANEL
SCALE: 3/8" = 1'-0"



WS-3 WALL SECTION - METAL PANEL
SCALE: 3/8" = 1'-0"



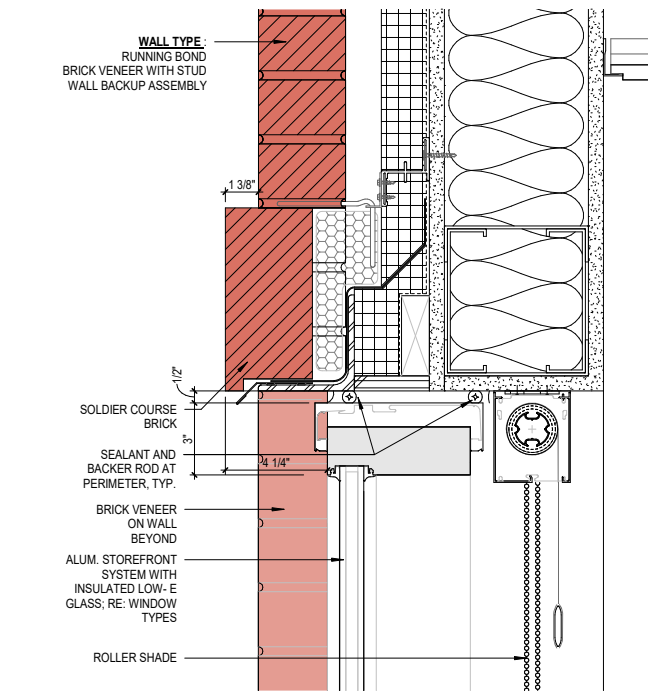
EE-4 ENLARGED ELEVATION - GYM
SCALE: 3/8" = 1'-0"



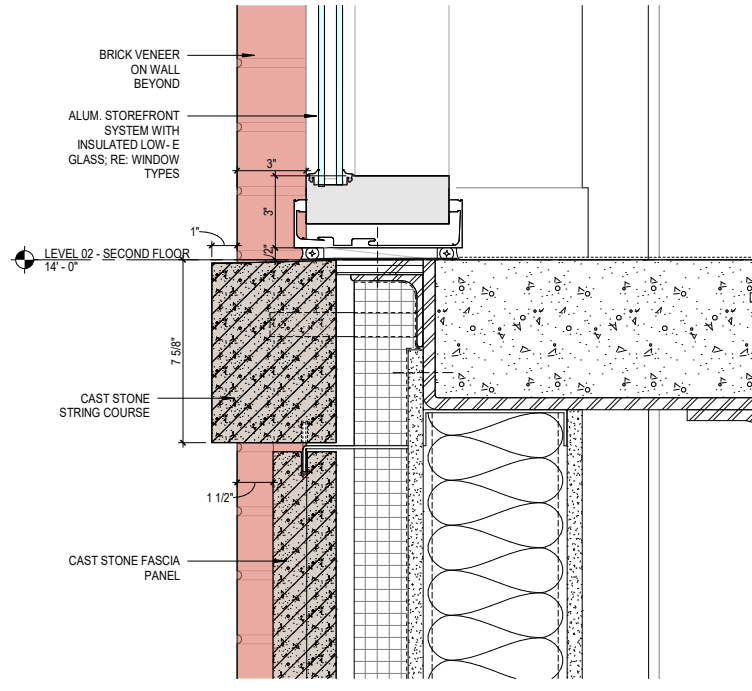
WS-4 WALL SECTION - GYM
SCALE: 3/8" = 1'-0"

DESIGN DEVELOPMENT

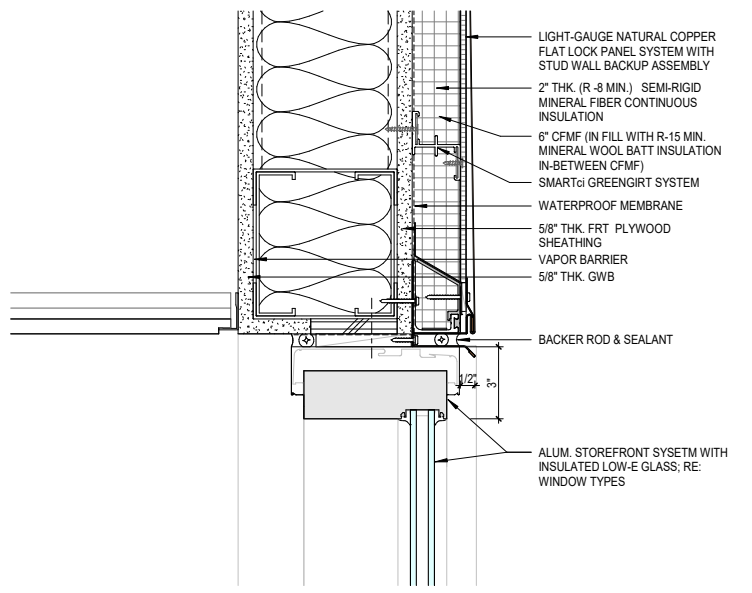
DETAILS



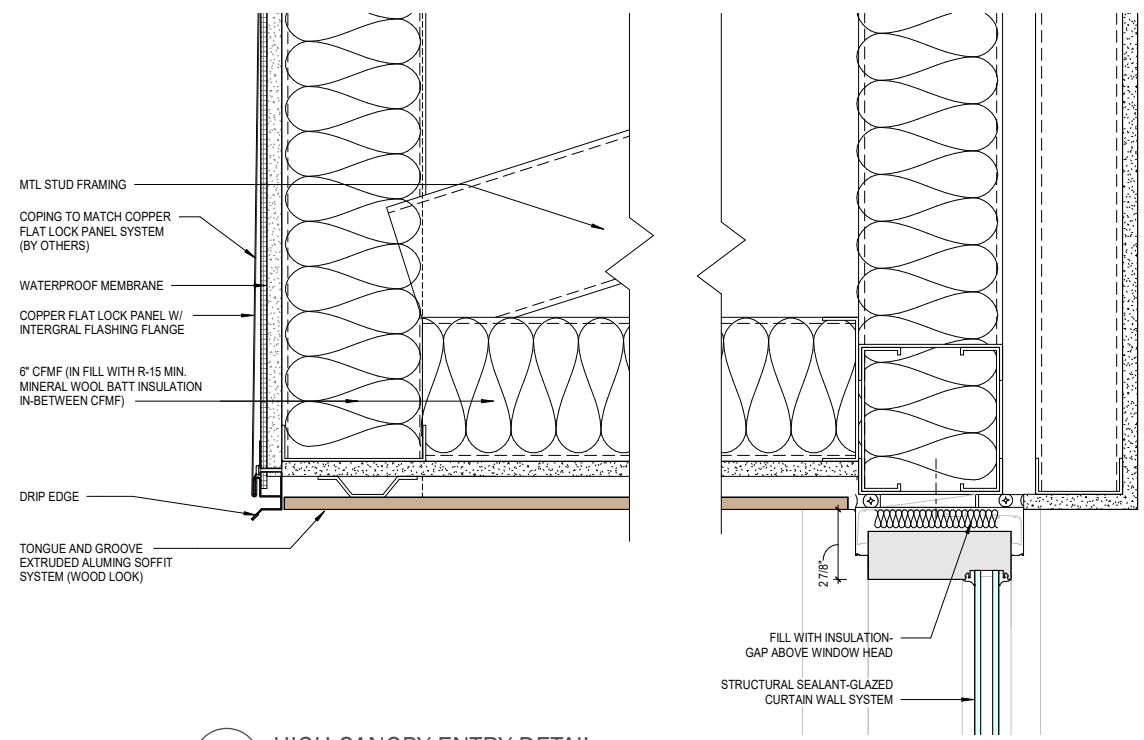
D-1 WINDOW HEAD AT BRICK WALL
SCALE: 1 1/2" = 1'-0"



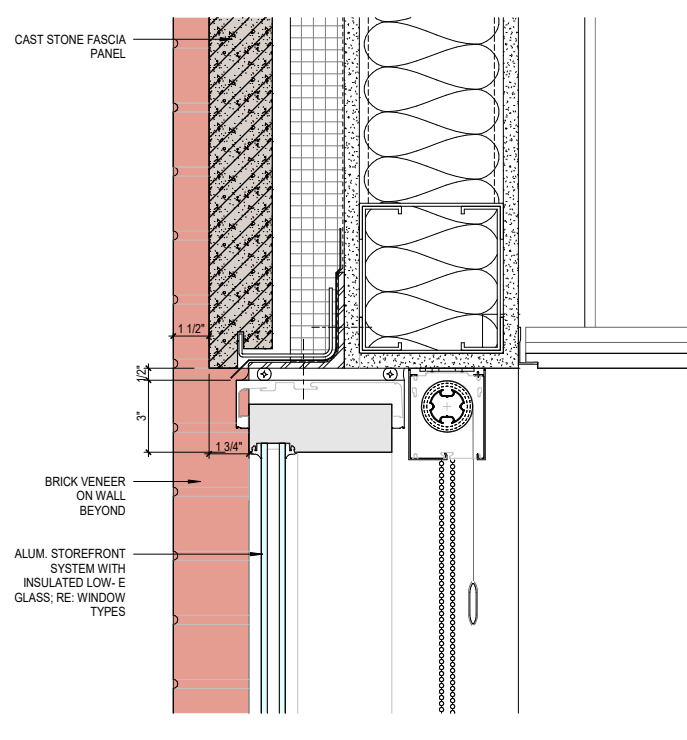
D-2 WINDOW SILL AT CAST STONE
SCALE: 1 1/2" = 1'-0"



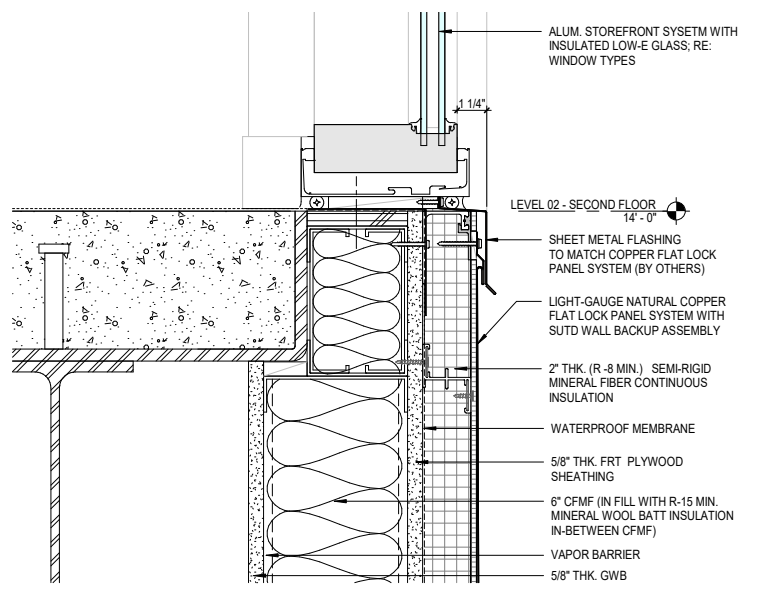
D-3 WINDOW HEAD AT METAL PANEL
SCALE: 1 1/2" = 1'-0"



D-4 HIGH CANOPY ENTRY DETAIL
SCALE: 1 1/2" = 1'-0"



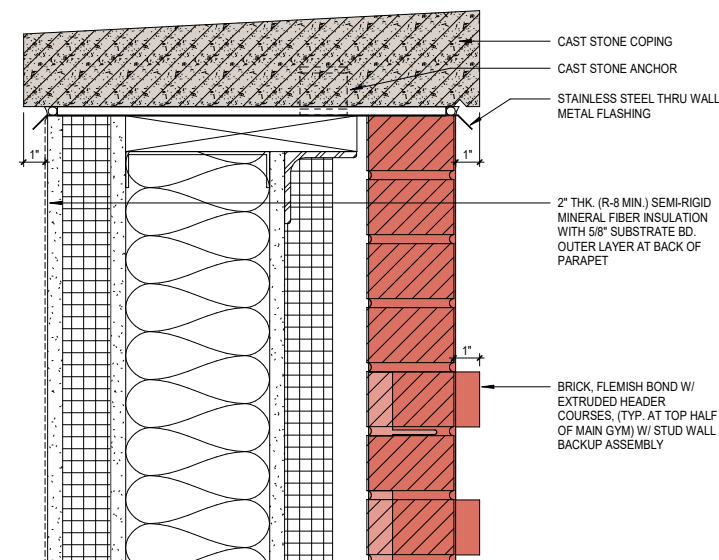
D-5 WINDOW HEAD AT CAST STONE
SCALE: 1 1/2" = 1'-0"



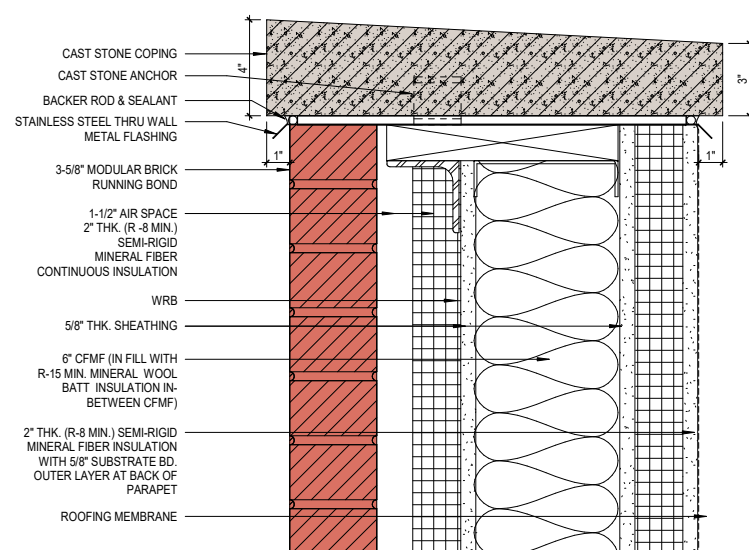
D-6 WINDOW SILL AT METAL PANEL
SCALE: 1 1/2" = 1'-0"

DESIGN DEVELOPMENT

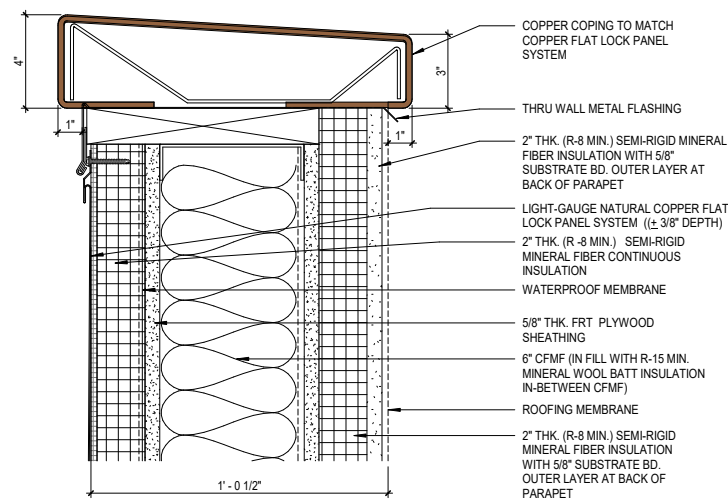
DETAILS



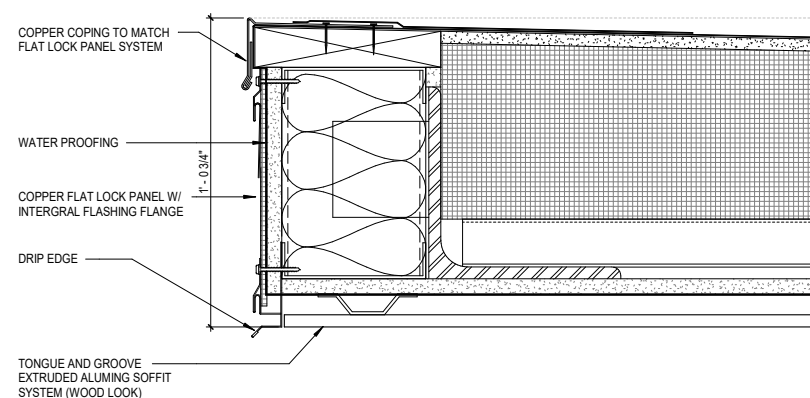
D-7 PARAPET DETAIL AT BRICK WALL GYM
SCALE: 1 1/2" = 1'-0"



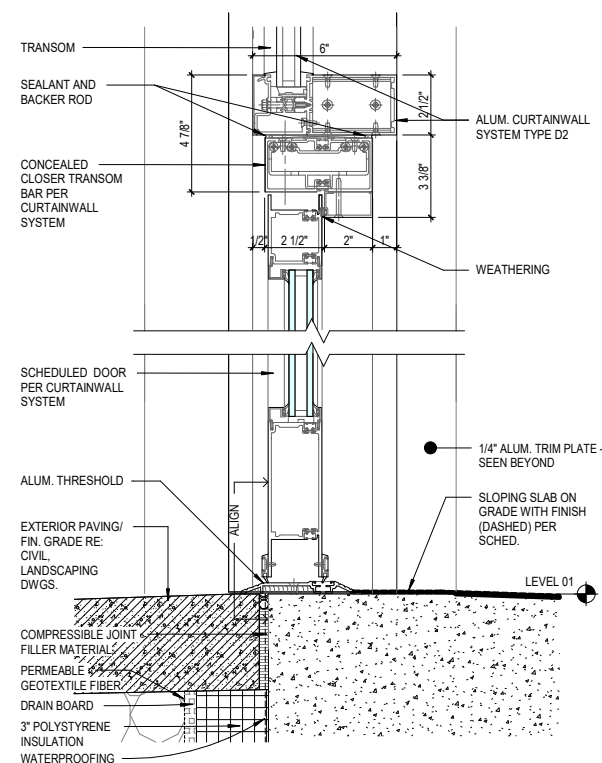
D-8 PARAPET DETAIL AT BRICK WALL
SCALE: 1 1/2" = 1'-0"



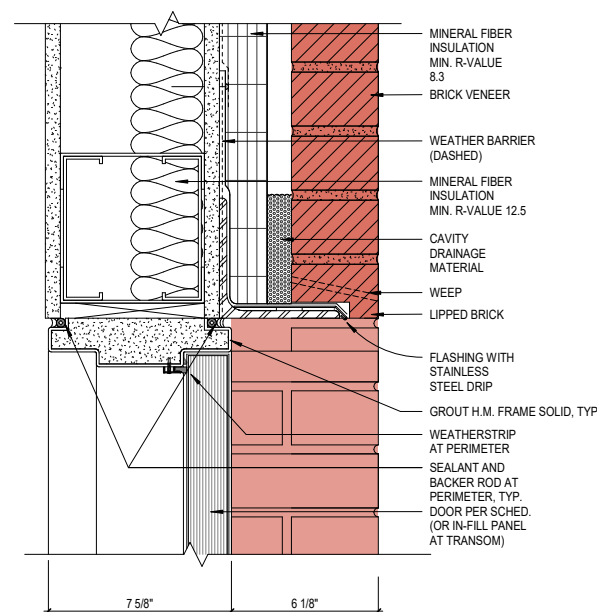
D-9 PARAPET DETAIL AT METAL PANEL
SCALE: 1 1/2" = 1'-0"



D-10 CANOPY ENTRY DETAIL
SCALE: 1 1/2" = 1'-0"



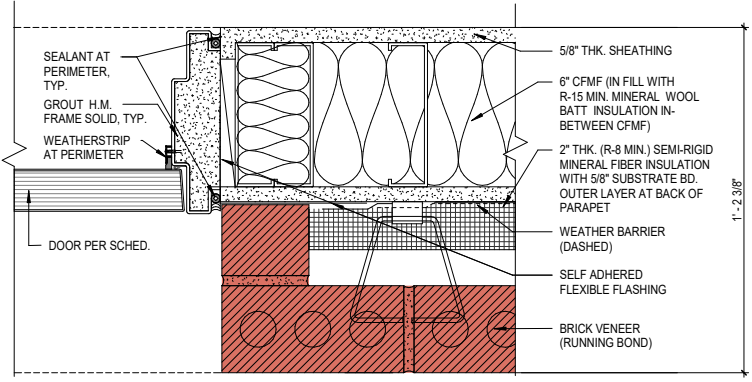
D-11 TYPICAL CURTAINWALL DOOR SILL/HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



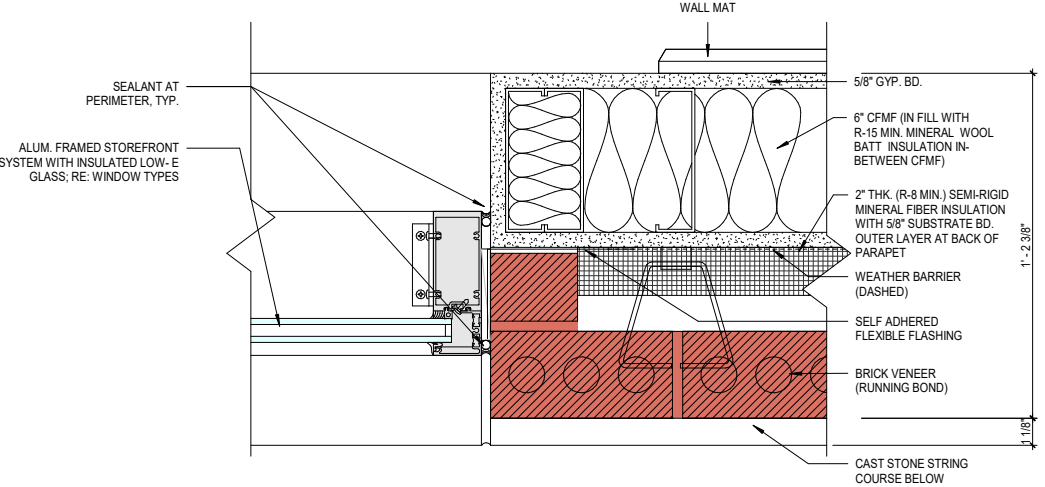
D-12 TYPICAL SECTION DETAIL - HM DOOR HEAD
SCALE: 1 1/2" = 1'-0"

DESIGN DEVELOPMENT

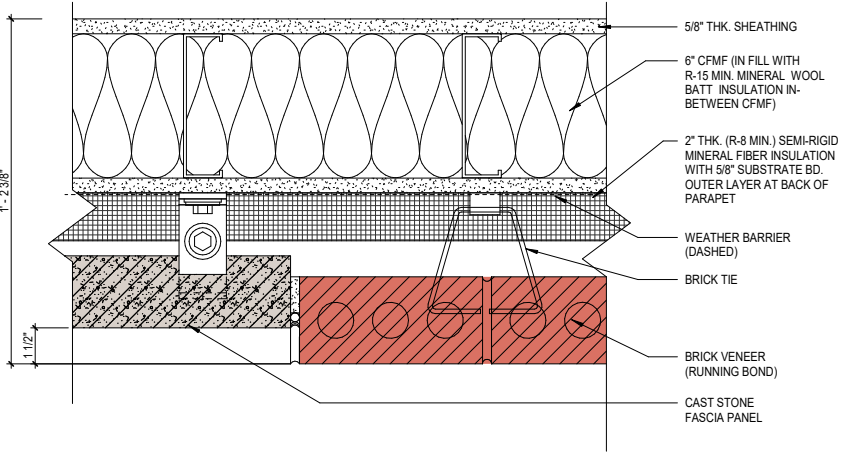
DETAILS



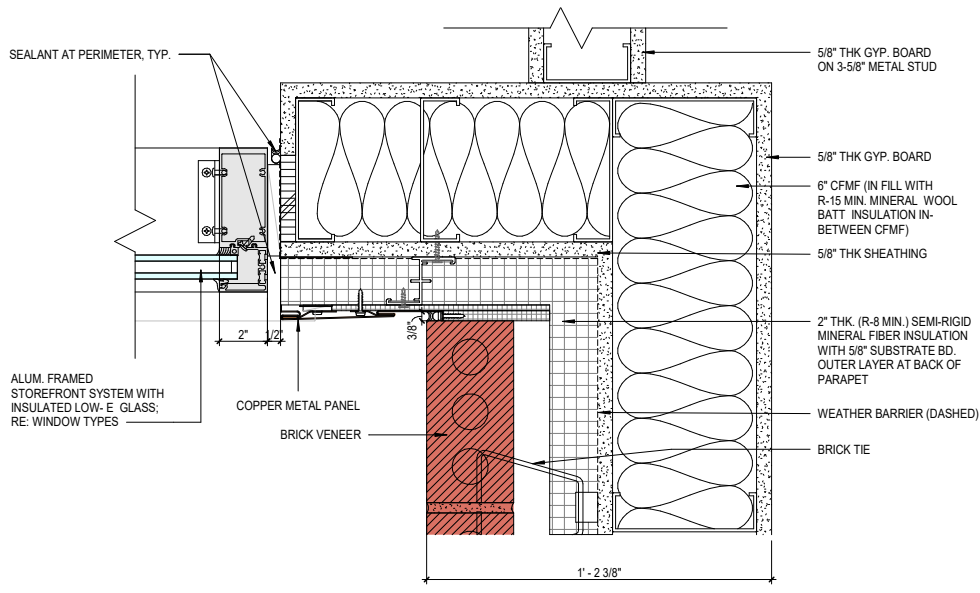
D-13 H.M. DOOR JAMB AT BRICK
SCALE: 1 1/2" = 1'-0"



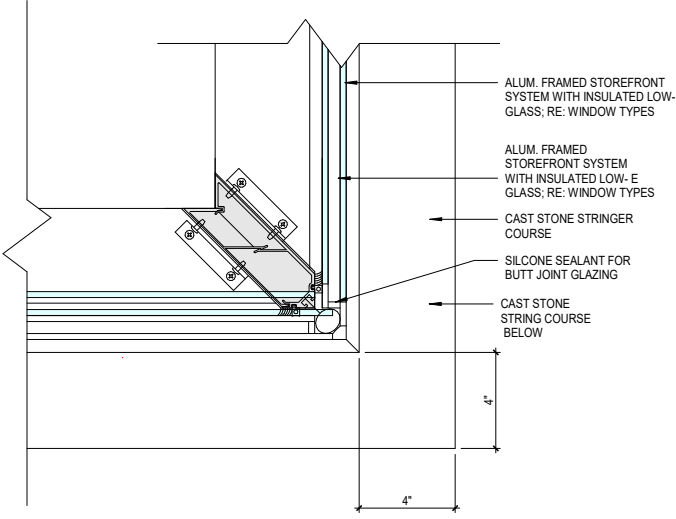
D-14 WINDOW JAMB AT BRICK
SCALE: 1 1/2" = 1'-0"



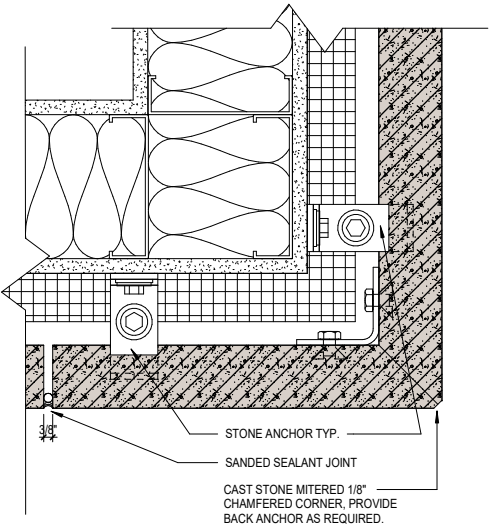
D-15 CAST STONE FASCIA PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



D-16 WINDOW JAM AT METAL PANEL CORNER
SCALE: 1 1/2" = 1'-0"



D-17 GLAZED CORNER
SCALE: 1 1/2" = 1'-0"



D-18 CAST STONE CORNER
SCALE: 1 1/2" = 1'-0"