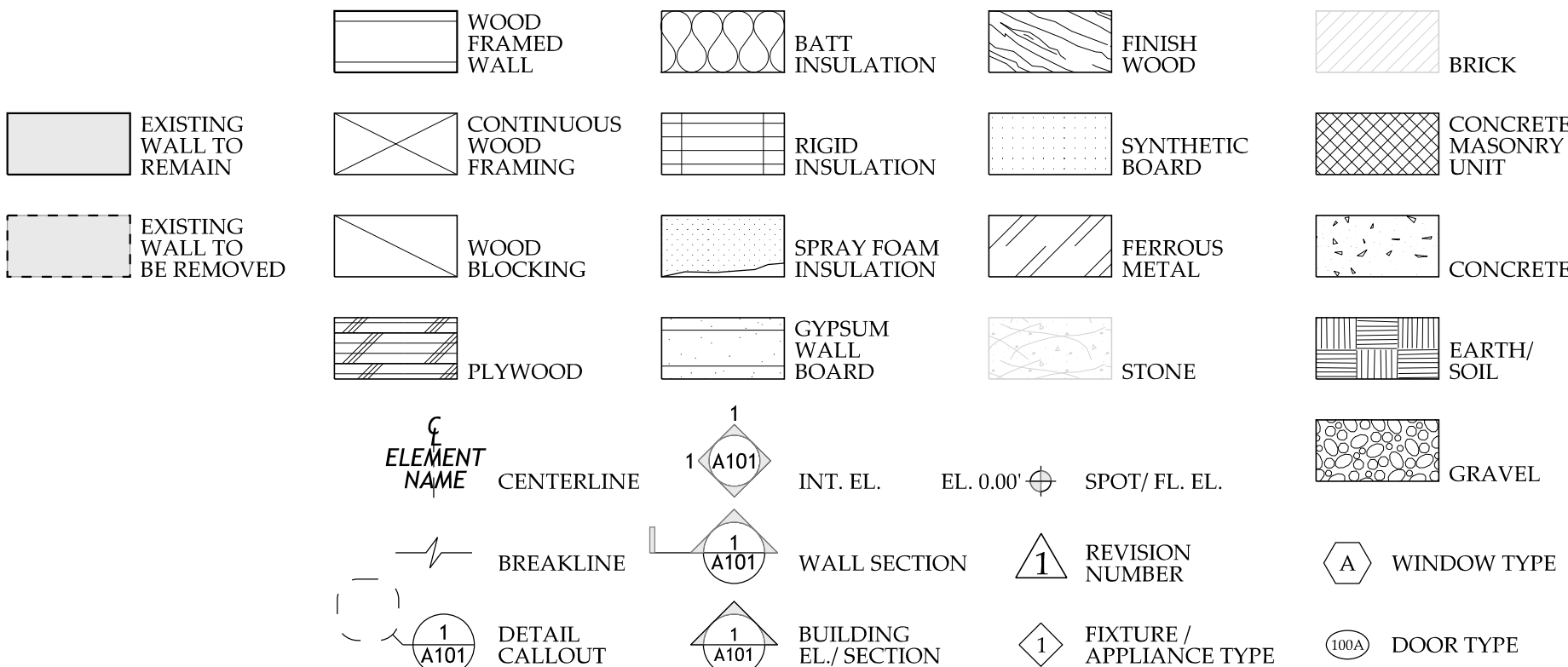


RENOVATION OF A WASHINGTON, DC RESIDENCE

KEY TO MATERIALS AND SYMBOLS



LIST OF ABBREVIATIONS

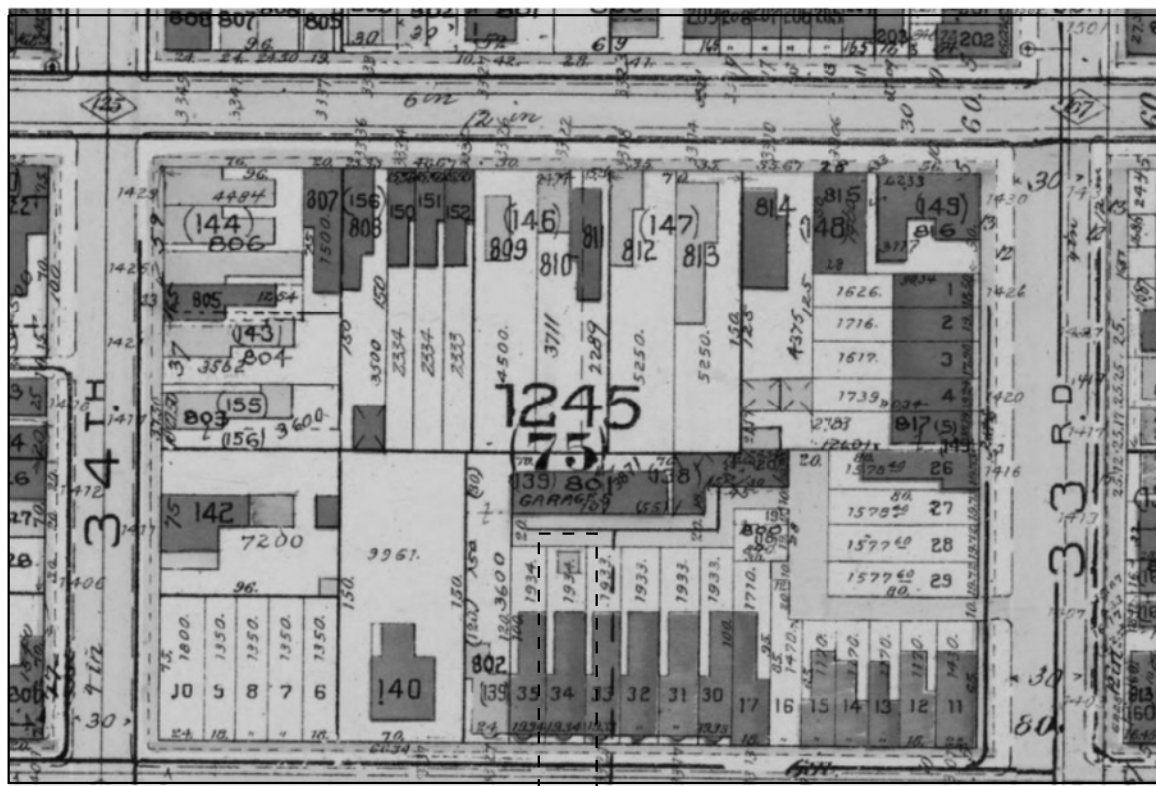
Abbreviation	Item	Abbreviation	Item	Abbreviation	Item
@	At	FLR.	Floor	PLY., PLYWD	Plywood
A.F.F.	Above Finish Floor	FLRG.	Flooring	P.T.	Pressure Treated
ABV.	Above	F.O.	Face of	PTD.	Painted
A.H.U.	Air Handling Unit	F.O.S.	Face of Stud	R.	Riser(s)
APPROX.	Approximate	F.O.M.	Face of Masonry	R.O.	Rough Opening
BD.	Board (or Bead, if applicable)	FRMG.	Framing	REINF.	Reinforcing
Bldg.	Building	FT.	Foot	SHTG.	Sheathing
BLKG.	Blocking	FTG.	Footing	SIM.	Similar
BM.	Beam	GALV.	Galvanized	STD.	Standard
C.	Concrete	GWB.	Gypsum Wall Board	STL.	Steel
CL	Center Line	HB	Hose Bib	ST. STL.	Stainless Steel
CLG.	Ceiling	HT.	Height / Heat	STOR.	Storage
C.J.	Ceiling Joist	H.W.	Hot Water	STRUC.	Structure
CMU	Concrete Masonry Unit	IN.	Inch	SW.	Switch
COL.	Column	JST.	Joist	T	Tread(s)
CONC.	Concrete	JT.	Joint	T&G	Tongue and Groove
CONT.	Continuous	M., MAS.	Masonry	TJI	Truss Joists
CPR.	Copper	MDO	Medium Density Overlay	T.O.	Top of
DS.	Downspout	MDF	Medium Density Fiberboard	T.O. ARCH	Top of Arch
DWG.	Drawing	MEM.	Membrane	T.O.W.	Top of Wall
E.T.R.	Existing to Remain	M.O.	Masonry Opening	U.N.O.	Unless Noted Otherwise
EQ.	Equal	MECH.	Mechanical	W	With
EX.	Existing	MIL.	1/1000 inch	WD.	Wood
EXT.	Exterior	MIN.	Minimum	WIN., WDW.	Window
F.D.	Floor Drain	O.C.	On Center	WPFG	Waterproofing
FIN.	Finish	O.W.T.	Open Web Truss	WWF	Welded Wire Fabric
FLASHG	Flashing				

GENERAL NOTES

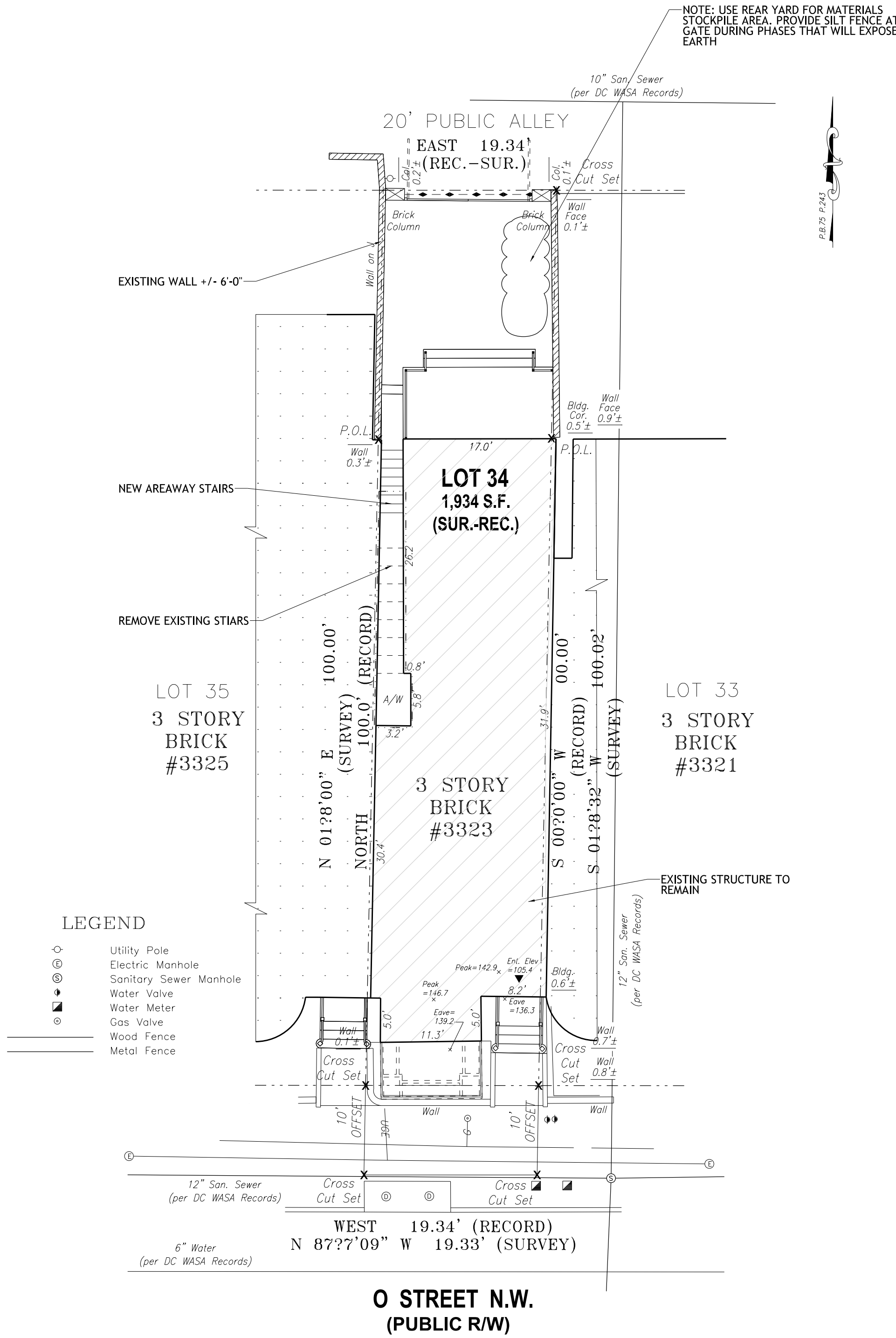
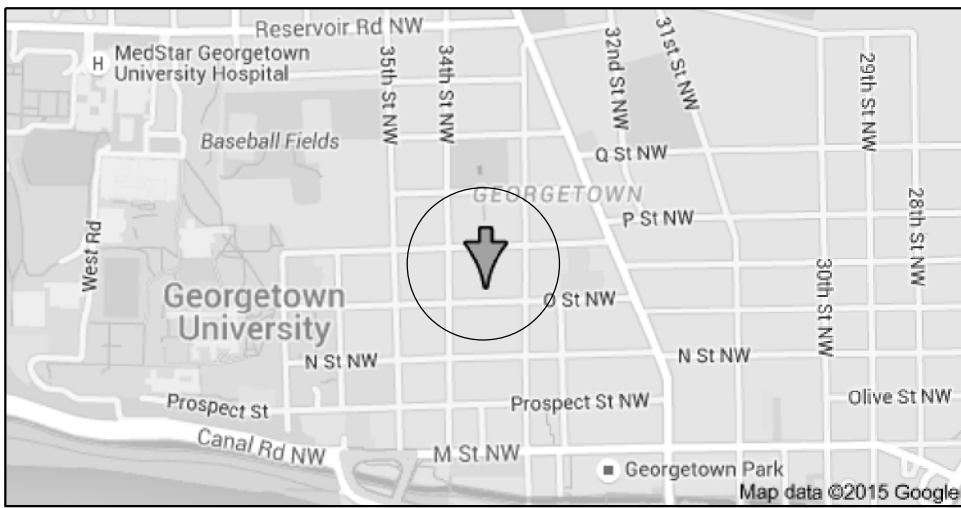
The following notes shall apply to all drawings made as part of the Contract for construction for this project, including those drawings listed in the INDEX on this sheet:

- Contractor to field verify all dimensions.
- DO NOT SCALE DRAWINGS to obtain dimensions.
- Dimensions shown are to face of structure (i.e. face of stud, masonry, or existing construction) unless noted otherwise on drawings.
- All construction resulting from execution of this work shall conform to the current District of Columbia Construction Code [DCMR 12B 2017], 2017 DC Energy Conservation Code, incorporation with the current 2015 International Residential Code with any supplements.
- All work represented in the drawings for this project shall be considered part of the work required by the Contract Documents for the project and shall be executed in a manner consistent with the provisions described in the Specifications and General Notes.
- The construction work described in these drawings is applicable only to this project. The Architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general Contract.
- Contractor shall comply with current requirements for District of Columbia for radon mitigation.
- All hardwired and interconnected smoke alarm & carbon monoxide detectors w/ battery backup shall be installed in accordance w/ the District of Columbia Code (2017) and the District of Columbia Property Maintenance Code (2017).
- Structural plans certified as provided in section 106.1.4.1 of the D.C. Construction Code.
- All electrical work resulting from execution of this work shall conform to the Current District of Columbia's adoption of NFPA's 2014 NEC as set fourth in the 2017 Construction Codes Supplement.

1919 BAIST MAP



VICINITY MAP



PROPOSED SITE PLAN

SCALE: 1" = 10'-0"

- EXISTING STRUCTURE
- MATERIAL STOCKPILE AREA
- LIMIT OF DISTURBANCE (L.O.D.)
- SILT FENCE

INDEX OF DRAWINGS

Sheet	Drawing Title
A001	COVER SHEET
CFA01	EXISTING ELEVATIONS
CFA02	PROPOSED ELEVATION
CFA03	PHOTOGRAPHS OF EXIST. COND.
CFA04	EXISTING PLANS
D101	DEMOLITION PLANS
A101	FLOOR PLANS
A102	FLOOR PLANS

PROJECT NARRATIVE

Interior renovations to the existing structure include:
1. Reconfiguration of the basement to provide a bathroom, laundry room, mechanical room and a gym with egress window.
2. A reorganization of the first floor shifting the kitchen to the rear and the living area to the front of the house, adding a powder room and butler's pantry between.
3. Restoration of two brick chimneys and fireplaces @ first floor to original wood burning capabilities.
4. The second floor renovation includes the addition of a Jack & Jill bathroom and an expanded primary bathroom and closet.
5. The third floor bathroom and bedroom closets will be reconfiguration.

Exterior work is limited to new stairs from the rear garden down to the areaway of the basement, a new egress window at the basement gym, a new first floor window at the areaway, and the removal of the inboard and rear chimneys upon approval by the OGB.

ZONING SUMMARY

LOT DESCRIPTION:	Lot 1245, Square 0034
	3323 O Street NW Washington, DC 20007
ZONE:	R-3 Residential District/Row Dwelling
LOT SIZE:	ALLOWABLE: 2,000 sq. ft. minimum required ACTUAL: 1,1934 sq. ft. -existing to remain FRONT SET BACK: None SIDE YARD SET BACK: None REAR YARD SET BACK: 20' (+/- 27'-11" existing to remain)
308.1 BUILDING HEIGHT:	ALLOWABLE: 3 stories, 40 feet PROPOSED: 3 stories, -existing to remain
311.1 LOT OCCUPANCY:	ALLOWABLE: 60% maximum; 1,160 sq. ft. ACTUAL: 61%; 1,182 sq. ft. (Existing) PROPOSED: No Change
607.1 GREEN AREA RATIO (GAR):	n/a
500.1 PERVIOUS SURFACE:	ALLOWABLE: n/a PROPOSED: no change

MUSE KIRWAN ARCHITECTS
ARCHITECTURE AND INTERIOR DESIGN
7401 Wisconsin Avenue, Suite 500, Bethesda, MD 20814
Phone 301.718.8118
www.musekirwan.com

RENOVATION OF THE
EASTRIGHT RESIDENCE

21.12

OGB SUBMISSION
2022 APRIL 06

COVER SHEET
SCALE: AS NOTED

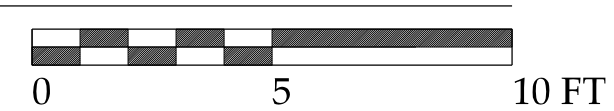
SHEET NO.
A001



2
CFA01
EXIST. EAST
ELEVATION
SCALE: 1/4" = 1'-0"



1
CFA01
EXIST. WEST ELEVATION
SCALE: 1/4" = 1'-0"



MUSE | KIRWAN
ARCHITECTS
ARCHITECTURE AND INTERIOR DESIGN
7401 Wisconsin Avenue, Suite 500, Bethesda, MD 20814
Phone 301.718.8118 www.musekirwan.com

RENOVATION OF THE
EASTRIGHT RESIDENCE
3323 O STREET, NW WASHINGTON, DC, 20007

21.12

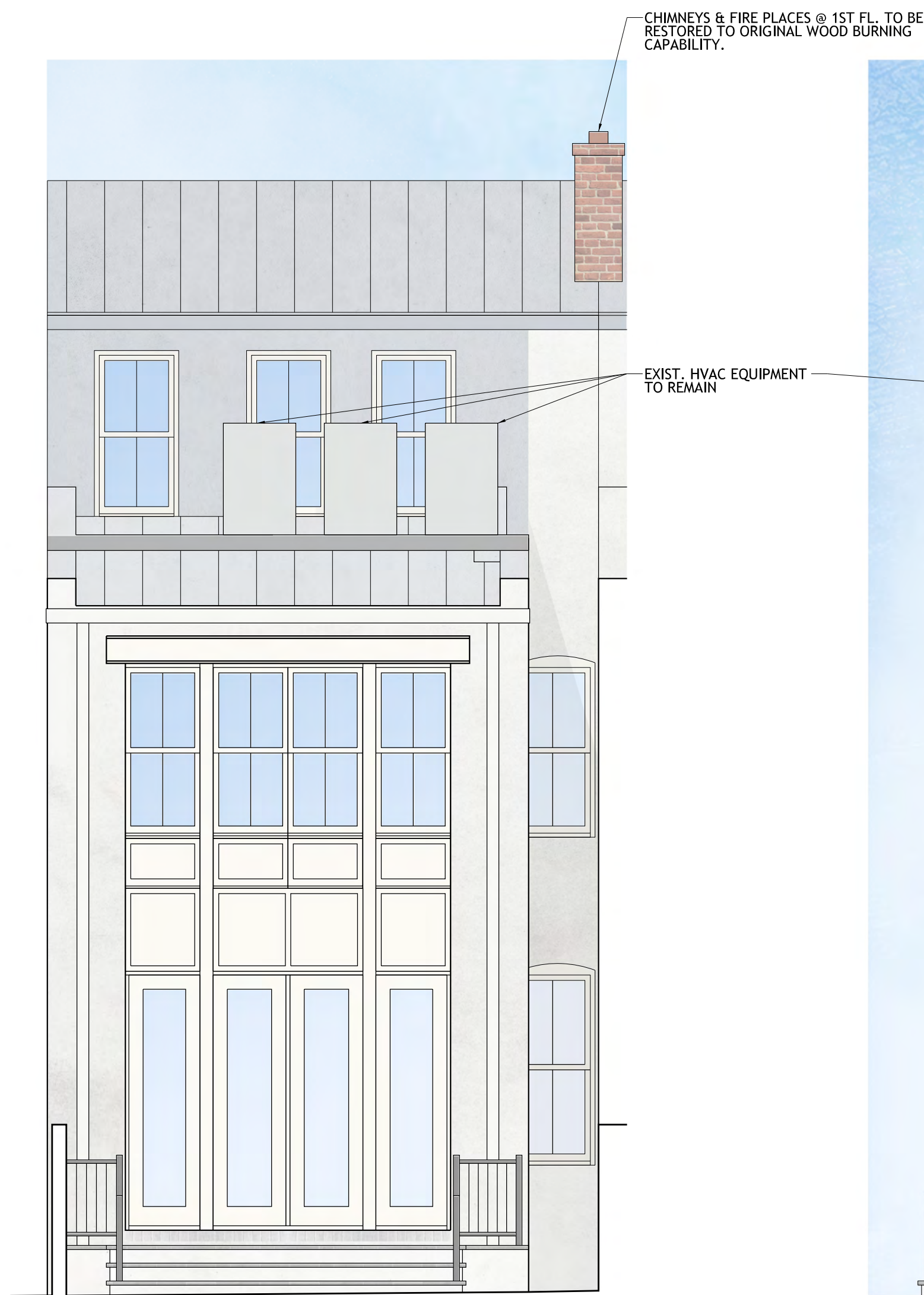
OBG SUBMISSION
2022 APRIL 06

EXISTING ELEVATIONS

SCALE: 1/4"=1'-0"

SHEET NO.

CFA01



PROPOSED EAST
ELEVATION

2
CFA02

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

1
CFA02

SCALE: 1/4" = 1'-0"

0 5 10 FT

MUSE | KIRWAN
ARCHITECTS
ARCHITECTURE AND INTERIOR DESIGN
7401 Wisconsin Avenue, Suite 500, Bethesda, MD 20814
Phone 301.718.8118 www.musekirwan.com

RENOVATION OF THE

EASTRIGHT RESIDENCE

3323 O STREET, NW WASHINGTON, DC, 20007

21.12

OBG SUBMISSION
2022 APRIL 06

PROPOSED ELEVATIONS

SCALE: 1/4"=1'-0"

SHEET NO.

CFA02



6 VIEW OF 3323 O ST. FROM ALLEY
CFA03 SCALE: 1/4" = 1'-0"



5 VIEW OF 3323 O ST. FROM ALLEY
CFA03 SCALE: 1/4" = 1'-0"



4 VIEW OF 3323 O ST. FROM ALLEY
CFA03 SCALE: 1/4" = 1'-0"



3 ROOF SCAPE OF 3325 O ST.
CFA03 SCALE: 1/4" = 1'-0"



2 ROOF SCAPE OF 3323 O ST.
CFA03 SCALE: N.T.S.



1 ROOF SCAPE OF 3321 & 3319 O ST.
CFA03 SCALE: N.T.S.

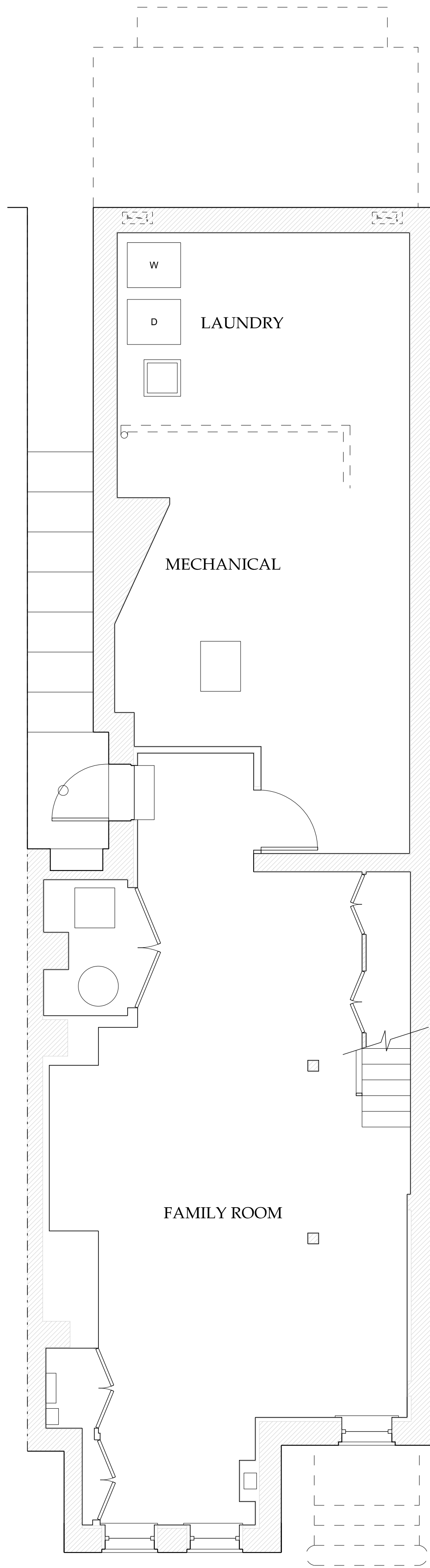
MUSE | KIRWAN
ARCHITECTS
ARCHITECTURE AND INTERIOR DESIGN
7401 Wisconsin Avenue, Suite 500, Bethesda, MD 20814
Phone 301.718.8118 www.musekirwan.com

RENOVATION OF THE
EASTRIGHT RESIDENCE
3323 O STREET, NW WASHINGTON, DC, 20007

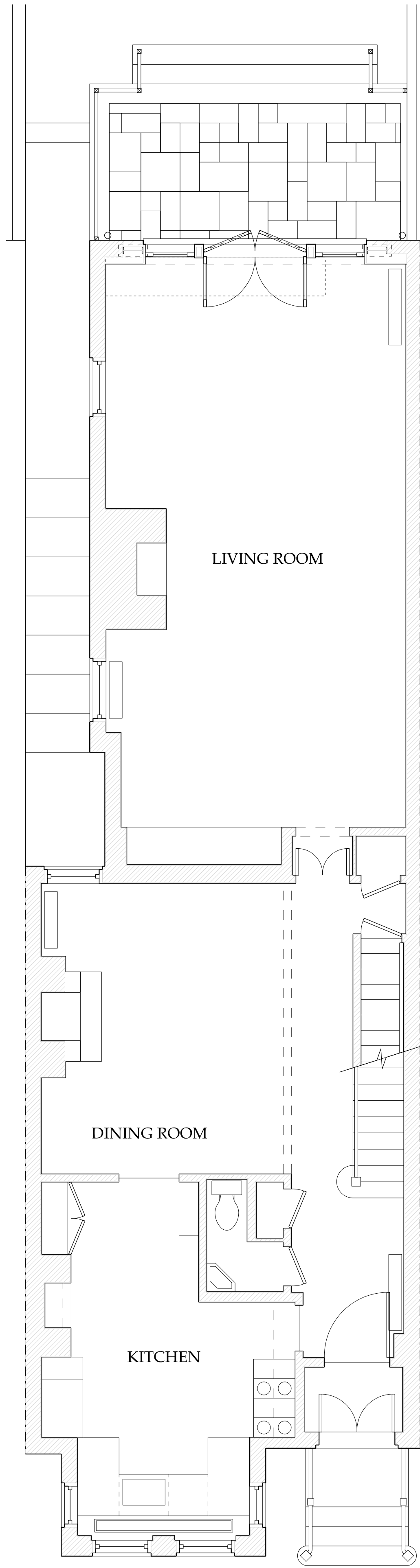
21.12
OBG SUBMISSION
2022 APRIL 06

EXISTING CONDITIONS
SCALE: 1/4"=1'-0"

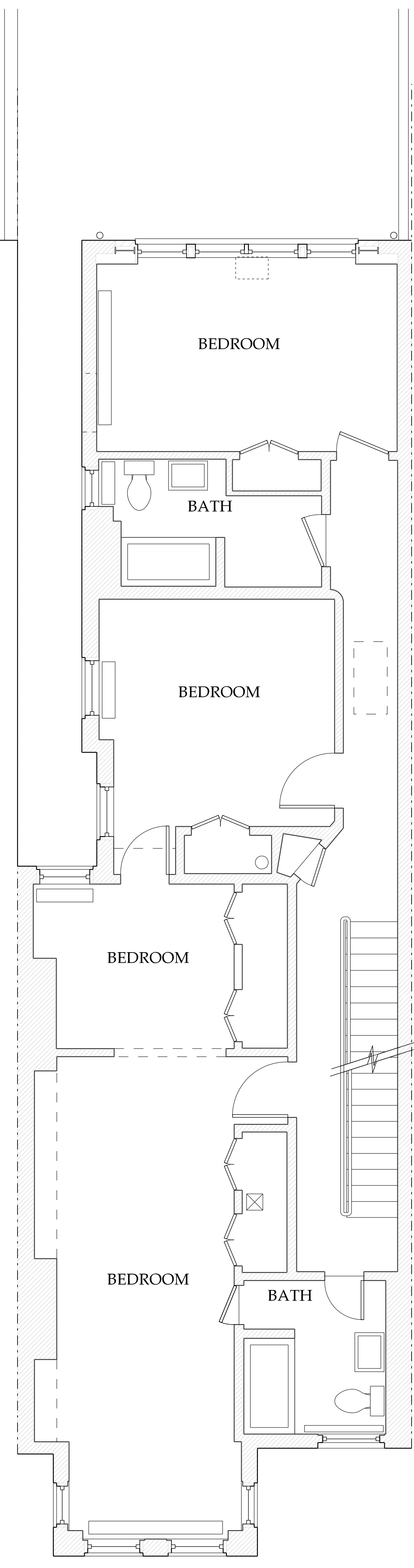
SHEET NO.
CFA03



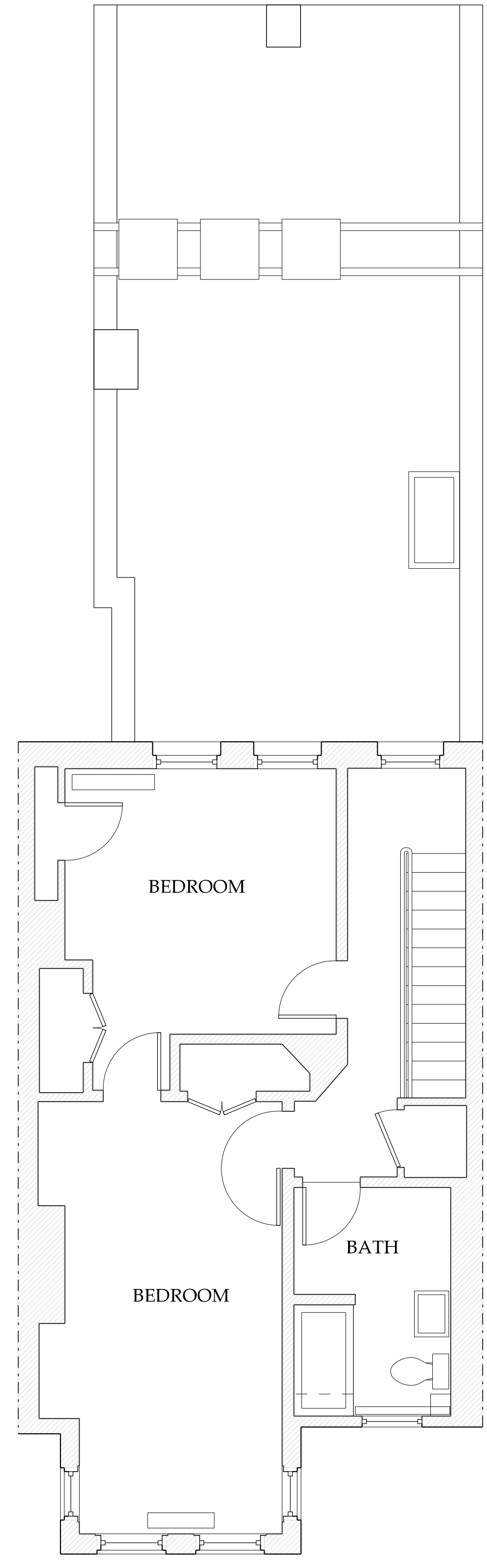
4
CFA04
EXISTING BASEMENT
SCALE: 1/4" = 1'-0"



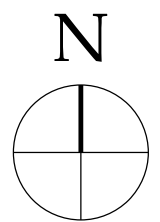
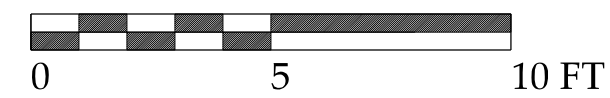
3
CFA04
EXISTING 1ST FL.
SCALE: 1/4" = 1'-0"



2
CFA04
EXISTING 2ND FL.
SCALE: 1/4" = 1'-0"



1
CFA04
EXISTING 3RD FL.
SCALE: 1/4" = 1'-0"



MUSE | KIRWAN
ARCHITECTS
ARCHITECTURE AND INTERIOR DESIGN
7401 Wisconsin Avenue, Suite 500, Bethesda, MD 20814
Phone 301.718.8118 www.musekirwan.com

RENOVATION OF THE
EASTRIGHT RESIDENCE
3323 O STREET, NW WASHINGTON, DC, 20007

21.12

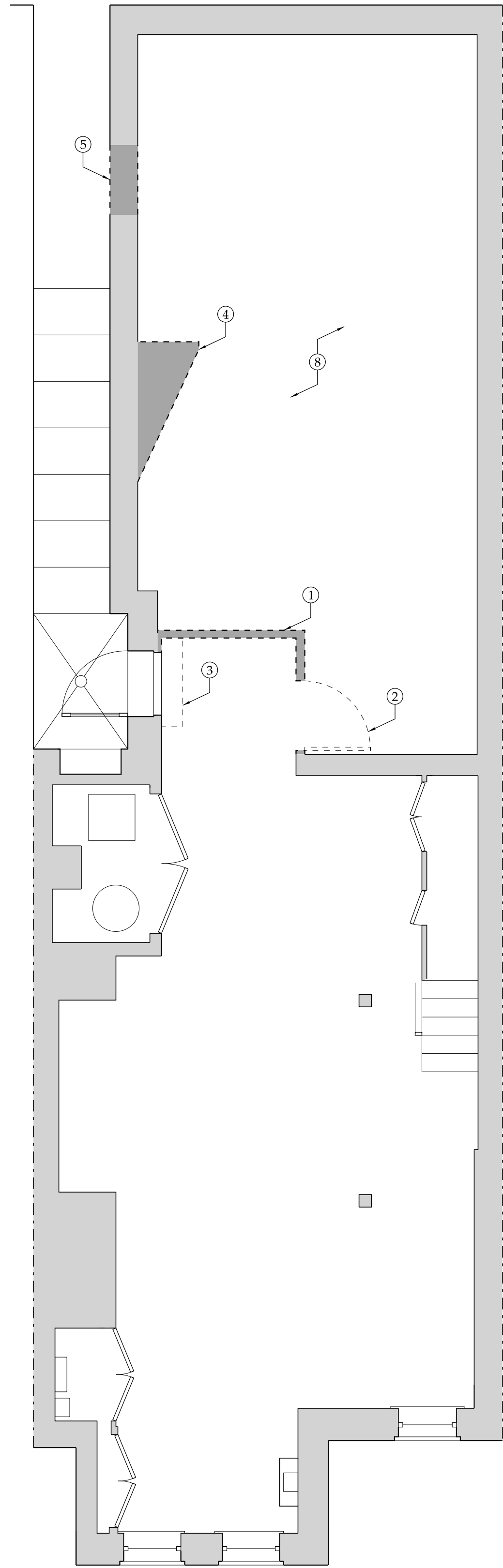
ORG SUBMISSION
2022 APRIL 06

EXISTING FLOOR PLANS

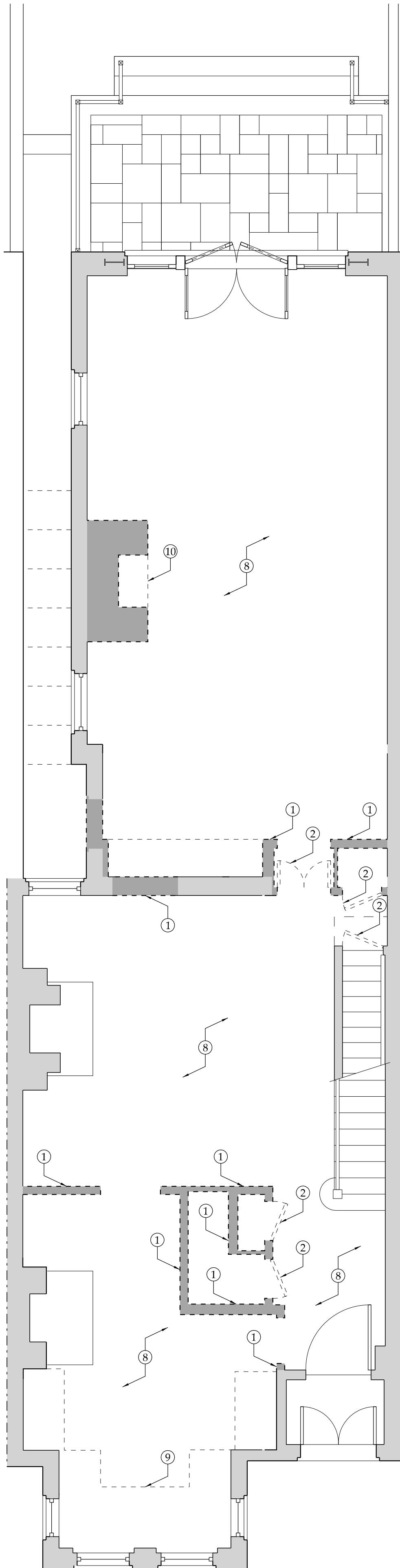
SCALE: 1/4"=1'-0"

SHEET NO.

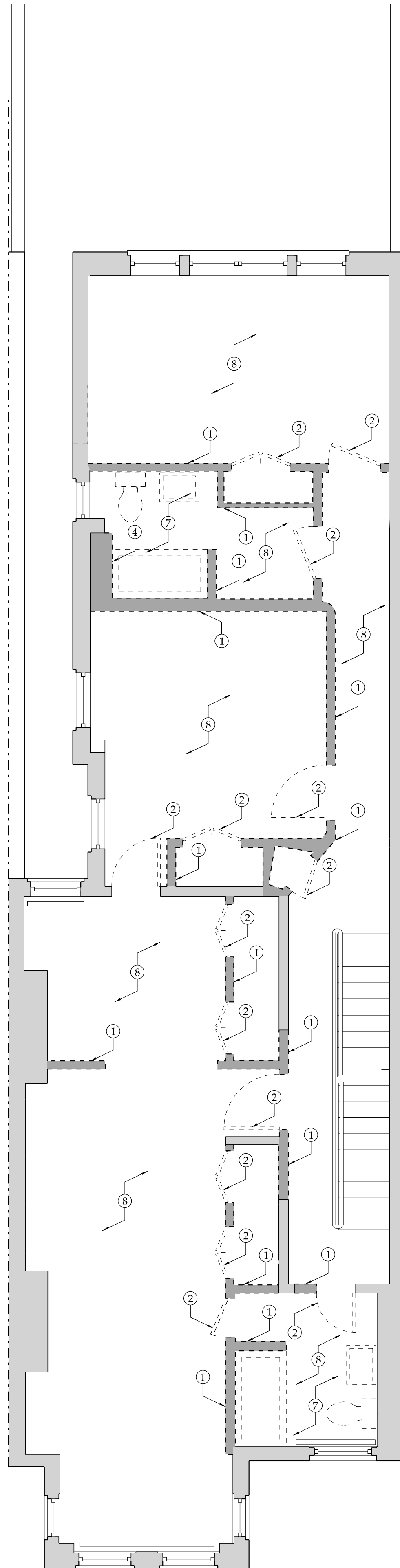
CFA04



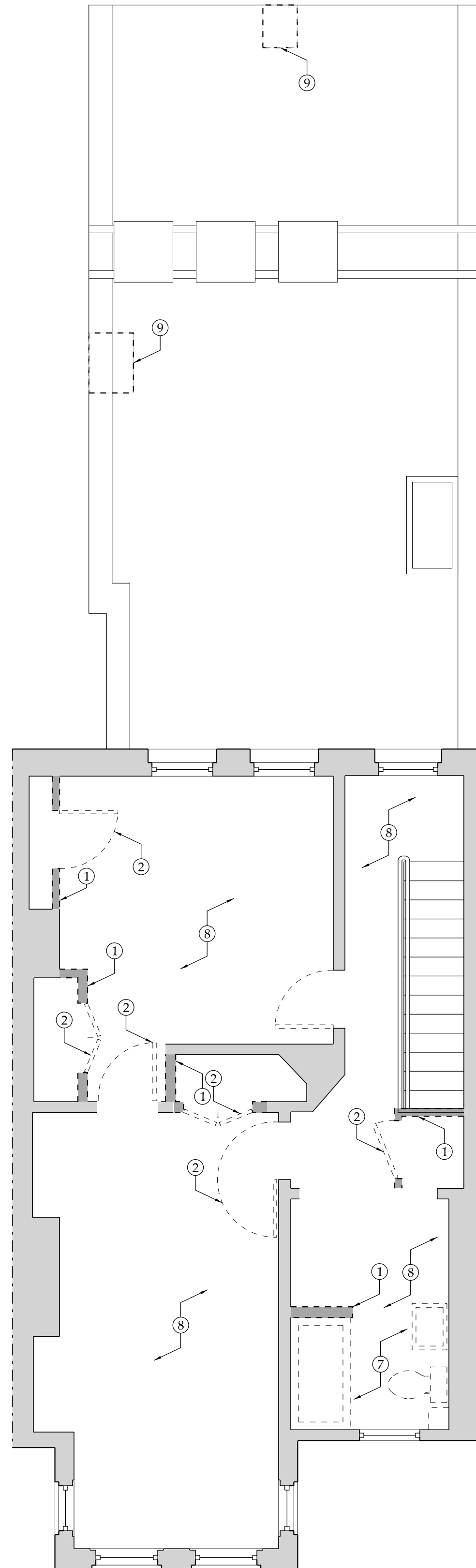
4
D101
BASEMENT DEMOLITION
SCALE: 1/4" = 1'-0"



3
D101
1ST FL. DEMOLITION
SCALE: 1/4" = 1'-0"

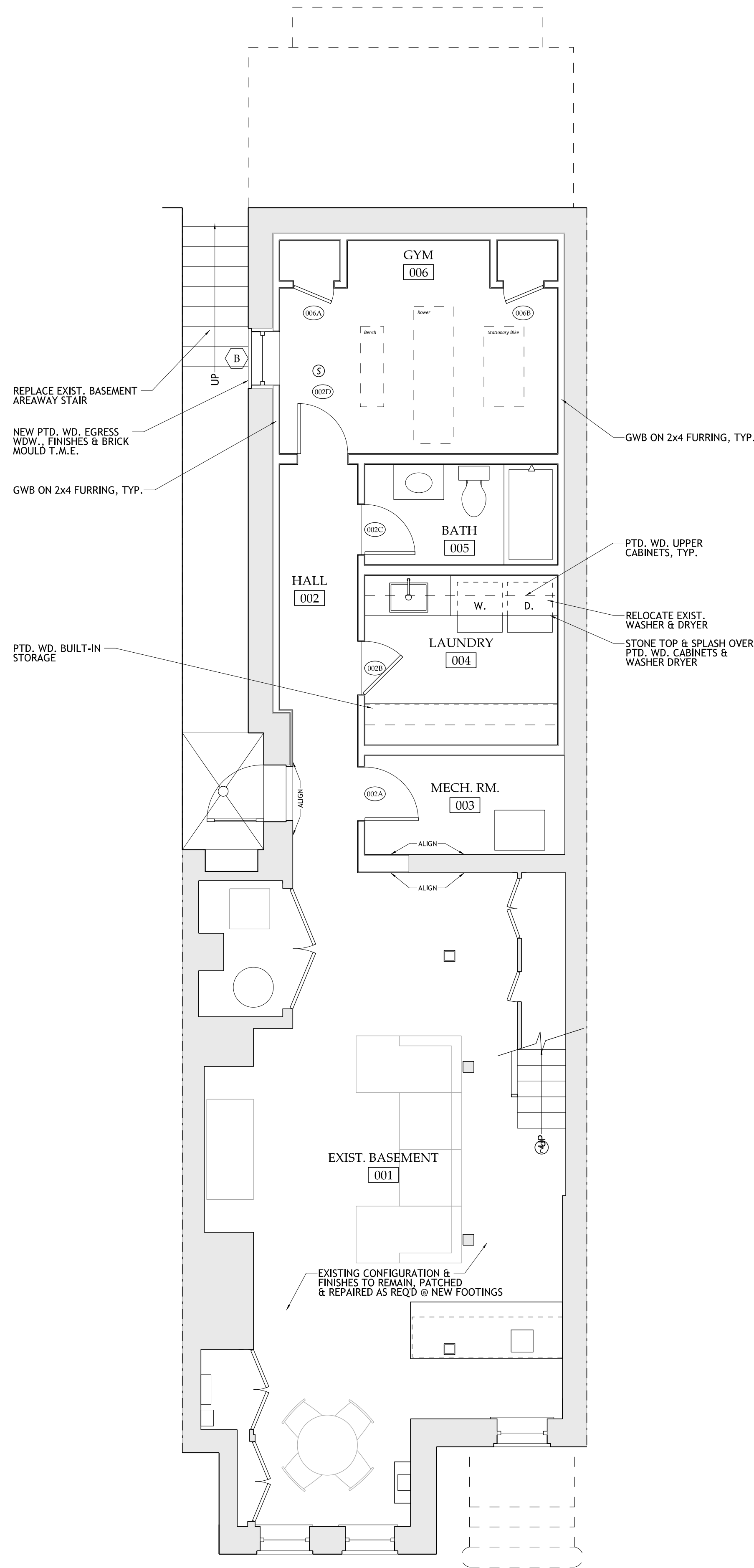


2
D101
2ND FL. DEMOLITION
SCALE: 1/4" = 1'-0"

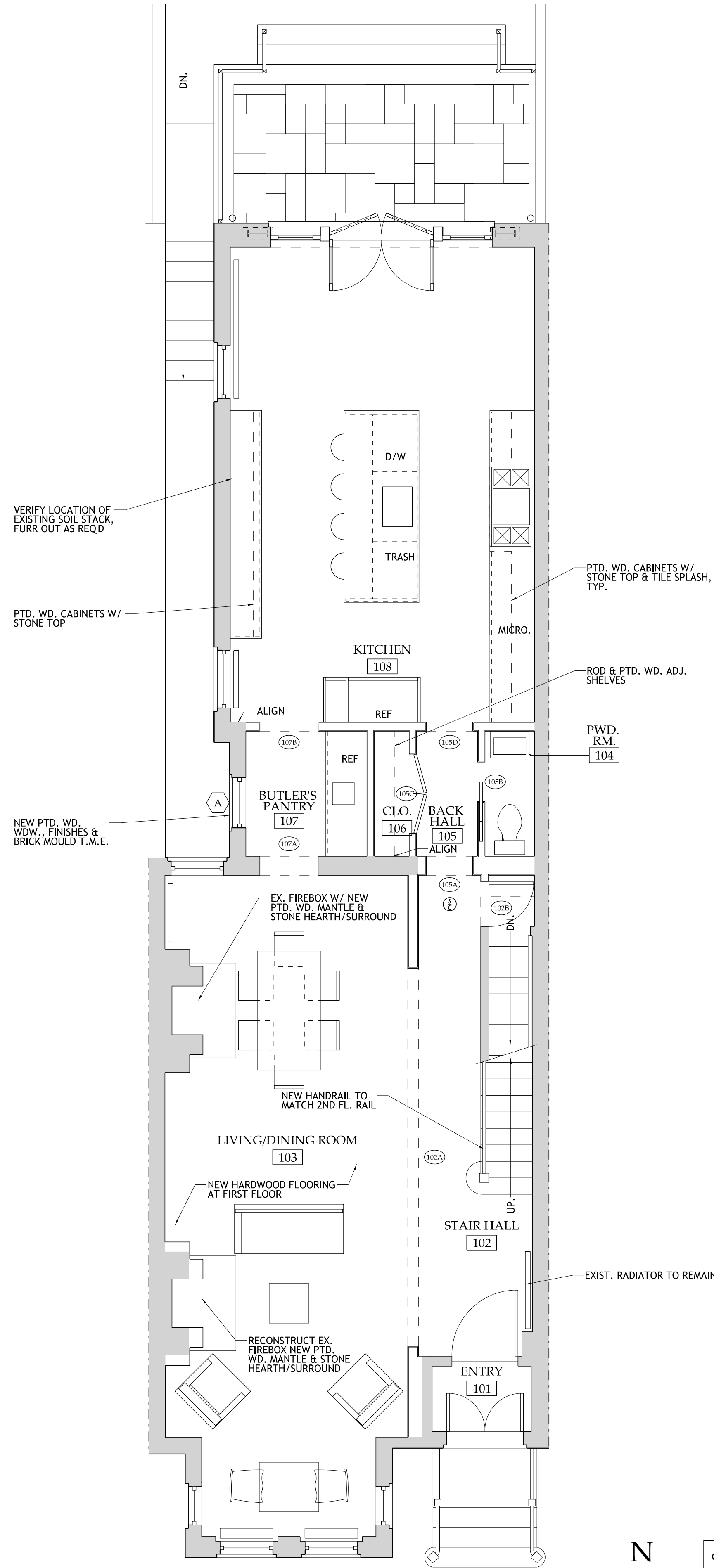


1
D101
3RD FL. DEMOLITION
SCALE: 1/4" = 1'-0"

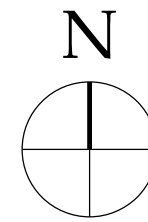
DEMOLITION NOTES	
MARK	REMARK
1	Remove interior wall as necessary to accommodate new work. Provide temporary bracing and shoring as required.
2	Remove interior door, jamb, & casing.
3	Remove existing step.
4	Remove existing brick fireplace, flue, and associated structure. Provide temporary bracing & shoring as required.
5	Remove exterior wall as necessary to accommodate new work. Provide temporary bracing & shoring as required.
6	Remove exterior wall as necessary to accommodate new work. Salvage & protect any stone for possible re-use. Provide temporary bracing & shoring as required.
7	Remove bath fixtures, fittings, finishes, & accessories. Verify w/ clients any items to be salvaged for re-use.
8	Remove existing finished floor material.
9	Remove existing chimneys. Provide temporary bracing & shoring as required.
GENERAL NOTES:	
a	Removed dotted and/or hatched portion of existing wall as required to accommodate new work, typical.
b	Special care should be taken to prevent damage to existing construction scheduled to remain, typical.
c	Verify with owners items to be salvaged/saved for re-use, typical.
d	Any portion of the house exposed by removal of existing work shall be patched to match adjacent existing or new surface as required.
e	Refer to electrical plans for electrical demolition notes.
f	Remove all mechanical bulkheads and/or ducts which are no longer in use. Patch and repair as necessary.
g	Coordinate the removal of existing HVAC, plumbing, & electrical to accommodate new work.



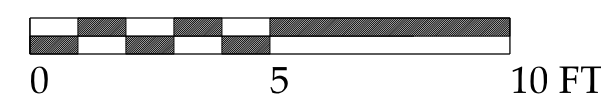
2
A101
PROPOSED BASEMENT
SCALE: 1/4" = 1'-0"

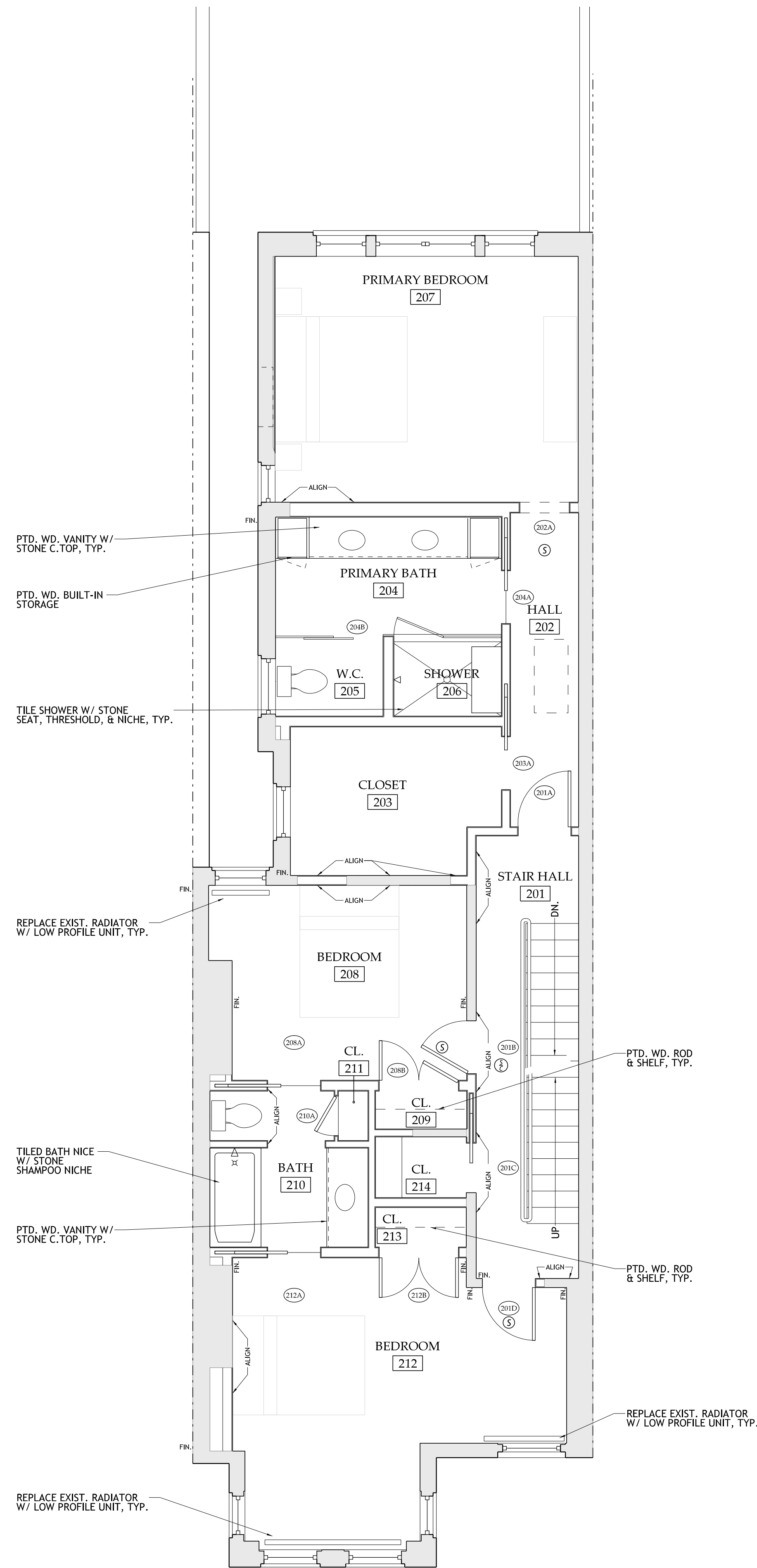


1
A101
PROPOSED 1ST FL.
SCALE: 1/4" = 1'-0"

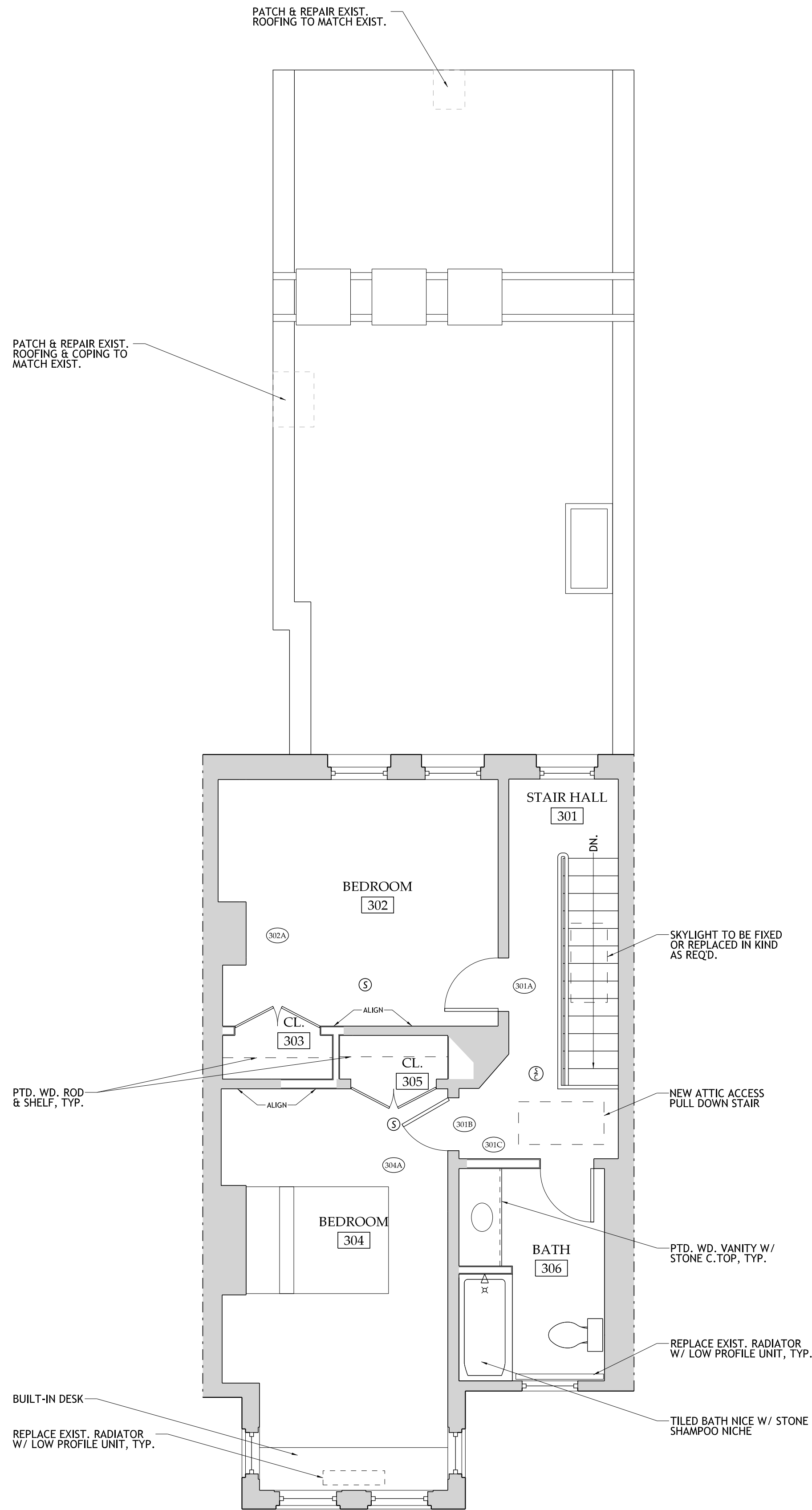


GENERAL NOTES:
1. LEVEL 5 GWB. FINISH ON ALL WALLS THAT HAVE PLASTER DAMAGE
2. REPLACE EXIST. AREAWAY STAIR & INVESTIGATE DAMAGE TO SEWER LINE UNDER AREAWAY. ASSESS REPLACEMENT





2
A103
EXISTING 2ND FL.
SCALE: 1/4" = 1'-0"



1
A103
PROPOSED 2ND FL.
SCALE: 1/4" = 1'-0"

GENERAL NOTES:
1. LEVEL 5 GWB. FINISH ON ALL WALLS THAT HAVE PLASTER DAMAGE
2. REPLACE ALL EXIST. RADIATORS W/ LOW PROFILE UNITS.

