

# 1071-1075 THOMAS JEFFERSON ST

OGB SUBMISSION

4/22/2022



PROJECT INFORMATION

PROJECT: THE GRAHAM HOTEL 1075-1071 CONNECTION  
ADDRESS: 1075 THOMAS JEFFERSON ST NW, WASHINGTON, DC 20007  
CURRENT USE: HOTEL  
PROPOSED USE: HOTEL

ZONING INFORMATION

ZONING INFORMATION		
LOCATION	1071/1075 THOMAS JEFFERSON ST NW	
ZONING CLASSIFICATION	MU-12	
SITE AREA	8,222 SF	
	REQUIRED/PERMITTE	PROVIDED
FAR ALLOWED	2.5	4.7; 38,555 SF (38,468 EXISTING, 87 NEW)*
BUILDING HEIGHT	45'	64'-2"; EXISTING TO REMAIN
PENTHOUSE HEIGHT	12'/1 STOREY	17'-8"; EXISTING TO REMAIN
LOT OCCUPANCY	80%	78% - 6,392 SF
REAR YARD SETBACK	12' FOR RESIDENTIAL USE ONLY	7'-3"; EXISTING TO REMAIN
SIDE YARD SETBACK	NO REQUIREMENT; 8' IF PROVIDE	0'; EXISTING TO REMAIN
COURTS	2.5IN/FT OF HEIGHT OF COURT; 6' MIN	11'7"
PARKING	NOT REQUIRED PER SUBTITLE C-705.3	21 EXISTING
BICYCLE PARKING	NOT REQUIRED PER SUBTITLE C-705.3	N/A
GREEN AREA RATIO	NOT REQUIRED PER SUBTITLE C-601.7	N/A

*FAR CLARIFIED				
PROPERTY	LEVEL	EXISTING	PROPOSED	COMBINED
1075	GF	5,214 SF	0 SF	5,214 SF
	2	5,448 SF	0 SF	5,448 SF
	3	5,068 SF	0 SF	5,068 SF
	4	5,068 SF	0 SF	5,068 SF
	5	5,068 SF	0 SF	5,068 SF
	6	5,068 SF	0 SF	5,068 SF
	7	5,068 SF	0 SF	5,068 SF
	TOTALS	36,002 SF	0 SF	36,002 SF
1071	GF	1,091 SF	87 SF	1,178 SF
	2	884 SF	0 SF	884 SF
	3	491 SF	0 SF	491 SF
	TOTALS	2,466 SF	87 SF	2,553 SF
COMBINED TOTALS		38,468 SF	87 SF	38,555 SF

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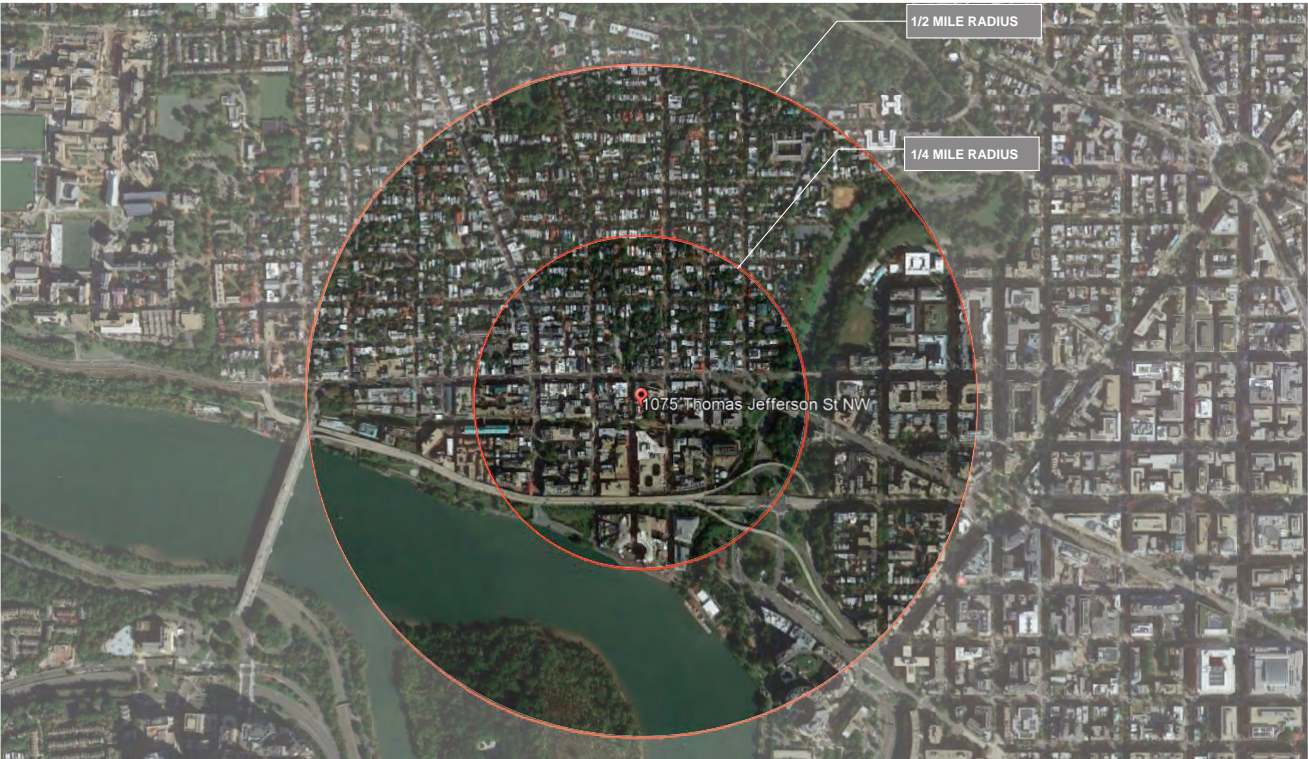
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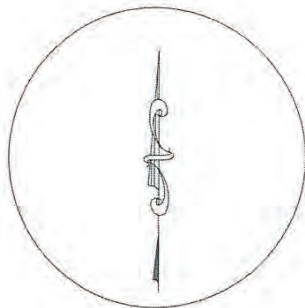
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VICINITY MAP







#### UTILITY DISCLAIMER

THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

#### UTILITY COMPANIES

POTOMAC ELECTRIC POWER CO.  
701 9TH STREET, N.W.  
WASHINGTON, D.C. 20008  
202-531-4237

GAS SERVICE  
WASHINGTON GAS COMPANY  
6801 INDUSTRIAL RD  
SPRINGFIELD VA 22151  
703-759-1000

TELEPHONE SERVICE  
BELL ATLANTIC  
3901 CALVERTON BOULEVARD  
BETHESDA, MD. 20705  
301-593-6032

SEWER & WATER SERVICE  
D.C. WATER & SEWER AUTHORITY  
5900 OVERLOOK AVE. S.W.  
WASHINGTON, D.C. 20032  
202-645-7651

#### LEGEND

- ① PEPCO MANHOLE
- ② SEWER MANHOLE
- ③ TELEPHONE MANHOLE
- ④ WATER MANHOLE
- ⑤ FIRE HYDRANT
- ⑥ GAS VALVE
- ⑦ LIGHT POLE
- ⑧ PEPCO POWER POLE
- ⑨ WATER METER
- ⑩ WATER VALVE
- ⑪ MONITORING WELL
- ⑫ ELECTRICAL POWER LINE
- ⑬ GAS LINE
- ⑭ SEWER LINE
- ⑮ TELEPHONE LINE
- ⑯ WATER LINE
- ⑰ CHAIN LINK FENCE

#### DESCRIPTION

ALL OF THOSE LOTS OR PARCELS OF LAND LOCATED IN THE DISTRICT OF COLUMBIA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

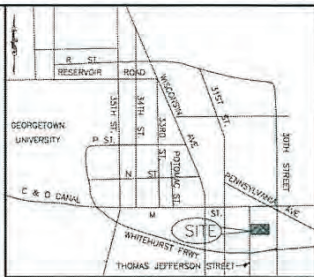
LOT 62, SQUARE 1197, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT NUMBERED SIXTY TWO (62), IN SQUARE NUMBERED ELEVEN HUNDRED NINETY SEVEN (1197) IN A SUBDIVISION MADE BY MARGUERITE DUPONT LEE AS PER PLAT THEREOF RECORDED IN BOOK 33 AT PAGE 102 IN THE OFFICE OF THE SURVEYOR FOR THE DISTRICT OF COLUMBIA.

TOGETHER WITH THAT CERTAIN EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF A CONCRETE WALL AS CONTAINED IN AN INSTRUMENT DATED NOVEMBER 2, 1986 BY AND BETWEEN PRISCILLA GRITIN DE MAUDUIT AND VOLANDE DE MAUDUIT COLLINS, PARTIES OF THE FIRST PART, AND ASHER L. WHEELER AND WIFE NAOMA S. WHEELER, PARTIES OF THE SECOND PART, RECORDED NOVEMBER 4, 1986 AS INSTRUMENT NO. 34785 IN LIBER 12688, FOLIO 225, AND FURTHER TOGETHER WITH THAT CERTAIN ALLEY EASEMENT AS CONTAINED IN A QUIT CLAIM DEED FROM GUS LEVATHES AND ETHEL LEVATHES GRANTORS TO ASHER L. WHEELER AND NAOMA S. WHEELER, HIS WIFE, DATED JUNE 9, 1978 AS RECORDED JUNE 19, 1978 AS INSTRUMENT NO. 10281.

#### TITLE IS SUBJECT TO

5. TERMS AND CONDITION OF THAT CERTAIN INSTRUMENT GRANTING AN EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF A CONCRETE WALL AS CONTAINED IN AN INSTRUMENT DATED NOVEMBER 2, 1986 BY AND BETWEEN PRISCILLA GRITIN DE MAUDUIT AND VOLANDE DE MAUDUIT COLLINS, PARTIES OF THE FIRST PART, AND ASHER L. WHEELER AND WIFE NAOMA S. WHEELER, PARTIES OF THE SECOND PART, RECORDED NOVEMBER 4, 1986 AS INSTRUMENT NO. 34785 IN LIBER 12688, FOLIO 225, RECORDER OF DEEDS OFFICE OF THE DISTRICT OF COLUMBIA.
6. TERMS, PROVISIONS AND COVENANTS OF THAT CERTAIN AGREEMENTS RELATING TO THE OCCUPATION OF SUB-SURFACE PUBLIC SPACE (VAULTS) DATED SEPTEMBER 16, 1969 AND RECORDED NOVEMBER 7, 1969, AS INSTRUMENT NO. 22819 IN LIBER 11504, FOLIO 186.
7. TERMS AND CONDITIONS OF THAT CERTAIN ALLEY EASEMENT AS CONTAINED IN A QUIT CLAIM DEED FROM GUS LEVATHES AND ETHEL LEVATHES, GRANTORS, TO ASHER L. WHEELER AND NAOMA S. WHEELER, HIS WIFE, GRANTEES, DATED JUNE 9, 1978 AND RECORDED JUNE 19, 1978 AS INSTRUMENT NO. 10281.



VICINITY MAP  
SCALE: 1" = 2000'

#### SURVEYORS CERTIFICATION

THE UNDERSIGNED, BEING A LICENSED SURVEYOR OF THE DISTRICT OF COLUMBIA, CERTIFIES TO M 1075 LLC HOTEL MONTICELLO, HRLP JEFFERSON ASSOCIATES, LLC., ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR TO CHICAGO TITLE INSURANCE COMPANY AS FOLLOWS:

1. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH MINIMUM STANDARD DETAIL REQUIREMENTS REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA/ACSM AND NSPS IN 2005, AND INCLUDES ITEMS 2, 3, 4, 6(a), 6(b), 7(a), 7(b), 8, 9, 10(a), 10(b), 11(a), 11(b), 13, 14, 16, 18, 19, 20(a), 20(b), 21, OF THE TABLE A MEET THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON DATE OF THE CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT:

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS.

2. THE SURVEY WAS MADE ON THE GROUND AUGUST 11, 2011 AND CORRECTLY SHOWS THE AREA OF THE SUBJECT PROPERTY, THE LOCATION AND TYPE OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PROPERTY, AND ANY OTHER MATTERS SITUATED ON THE SUBJECT PROPERTY.

3. EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO VISIBLE EASEMENTS OR RIGHTS OF WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED.

4. EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO OBSERVABLE, ABOVE GROUND ENCROACHMENTS (A) BY THE IMPROVEMENTS ON THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY, OR (B) BY THE IMPROVEMENTS ON ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY.

5. THE LOCATION OF EACH EASEMENT, RIGHT OF WAY, SERVITUDE, AND OTHER MATTER AFFECTING THE SUBJECT PROPERTY AND LISTED IN THE TITLE INSURANCE COMMITMENT NO. 10281, DATED 2011, ISSUED BY CHICAGO TITLE INSURANCE COMPANY WITH RESPECT TO THE SUBJECT PROPERTY, HAS BEEN SHOWN ON THE SURVEY, TOGETHER WITH APPROPRIATE RECORDING REFERENCES, TO THE EXTENT THAT SUCH MATTERS CAN BE LOCATED. THE PROPERTY SHOWN ON THE SURVEY IS THE PROPERTY DESCRIBED IN THAT TITLE COMMITMENT. THE LOCATION OF ALL IMPROVEMENTS ON THE SUBJECT PROPERTY IS IN ACCORD WITH MINIMUM SETBACK PROVISIONS AND OTHER ZONING RESTRICTIONS EXCEPT AS SHOWN ON THE SURVEY.

6. THE SUBJECT PROPERTY HAS ACCESS TO AND FROM A DULY DEDICATED AND ACCEPTED PUBLIC STREET OR HIGHWAY.

7. EXCEPT AS SHOWN ON THE SURVEY, THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJOINING PROPERTY FOR DRAINAGE, UTILITIES, OR INGRESS OR EGRESS.

8. THE RECORD DESCRIPTION OF THE SUBJECT PROPERTY FORMS A MATHEMATICALLY CLOSED FIGURE.

9. EXCEPT AS SHOWN ON THE SURVEY, NO PORTION OF THE PROPERTY SHOWN ON THE SURVEY LIES WITHIN A SPECIAL HAZARD AREA AS DESCRIBED ON THE FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS LOCATED. THE SURVEY CORRECTLY INDICATES THE ZONE DESIGNATION OF ANY AREA SHOWN AS BEING WITHIN A SPECIAL HAZARD AREA.

10. ALL UTILITIES, VEHICULAR ACCESS AND DRAINAGE NECESSARY FOR THE OPERATIONS OF THE SUBJECT PROPERTY ACCESS DIRECTLY THROUGH CONTIGUOUS PUBLIC RIGHTS OF WAY OR CONTIGUOUS PUBLICLY DEDICATED EASEMENTS WITHOUT RELIANCE ON PRIVATE ACCESS/EASEMENT AGREEMENTS OR ACCESS THROUGH PRIVATE PROPERTY.

11. THE ABOVE DESCRIBED TRACT IS THE SAME AS PROPERTY SET FORTH IN TITLE INSURANCE COMMITMENT DATED 2011, ISSUED BY CHICAGO TITLE INSURANCE COMPANY WITH RESPECT TO THE SUBJECT PROPERTY.

12. THERE IS NO OBSERVABLE EVIDENCE OF UNDERGROUND OR ABOVE GROUND STORAGE TANK.

THE PARTIES LISTED ABOVE ARE ENTITLED TO RELY ON THE SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE.

ANDREW HUSBANDS  
LICENSED NO. 904811

#### GENERAL NOTES:

1. THE PROPERTY IS ZONED W-1 AND IS WITHIN THE GEORGETOWN HISTORIC DISTRICT.
2. TOTAL AREA OF PROPERTY BY RECORD 5,521.38 SQ. FT.
3. TOTAL AREA OF PROPERTY BY MEASURE 5,516.79 SQ. FT.
4. FLOOD ZONE DESIGNATION "C" MINIMAL HAZARD FEMA FLOOD INSURANCE MAP PANEL NO. 110001 00208
5. TOTAL NUMBER OF PARKING SPACES 29.

#### SET BACK REQUIREMENTS

SIDE YARD - NONE REQUIRED  
REAR YARD - WHEN THE USE BEGINS AT OR BELOW GRADE, THE MINIMUM DEPTH OF REAR YARD SHALL BE 3 INCHES PER FOOT OF VERTICAL DISTANCE FROM THE MEAN FINISHED GRADE AT THE HIGHEST POINT ON THE MAIN ROOF, BUT NOT LESS THAN 12 FEET.  
WHEN THE USE BEGINS ABOVE GRADE, THE MINIMUM DEPTH OF REAR YARD SHALL BE 3 INCHES PER FOOT OF VERTICAL DISTANCE FROM THE HORIZONTAL PLANE UPON WHICH THE USE BEGINS TO THE HIGHEST POINT OF THE MAIN ROOF, BUT NOT LESS THAN 12 FEET.

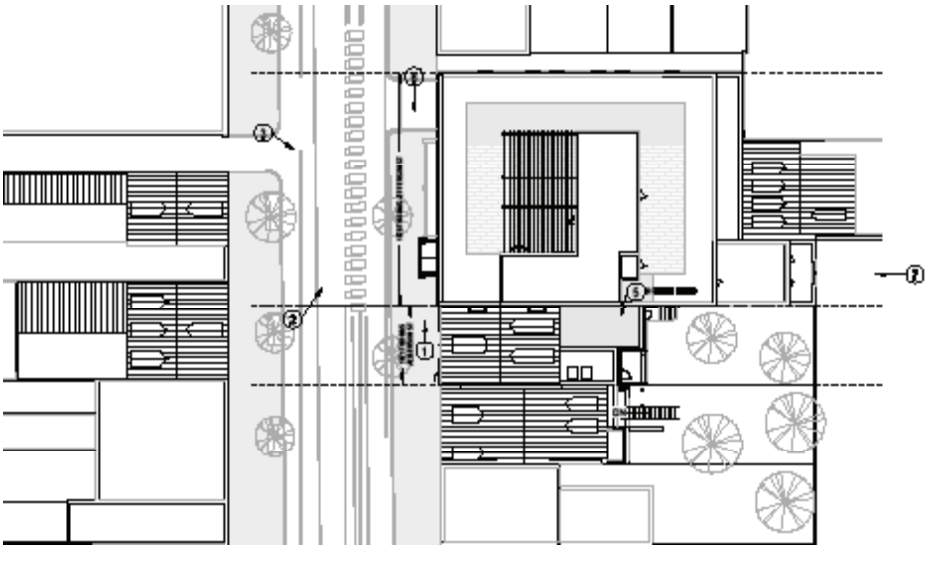
HEIGHT OF BUILDING - 40 FEET

FLOOR AREA RATIO - 2.5, NOT MORE THAN 1.0 OF WHICH MAY BE USED FOR OTHER THAN RESIDENTIAL PURPOSE

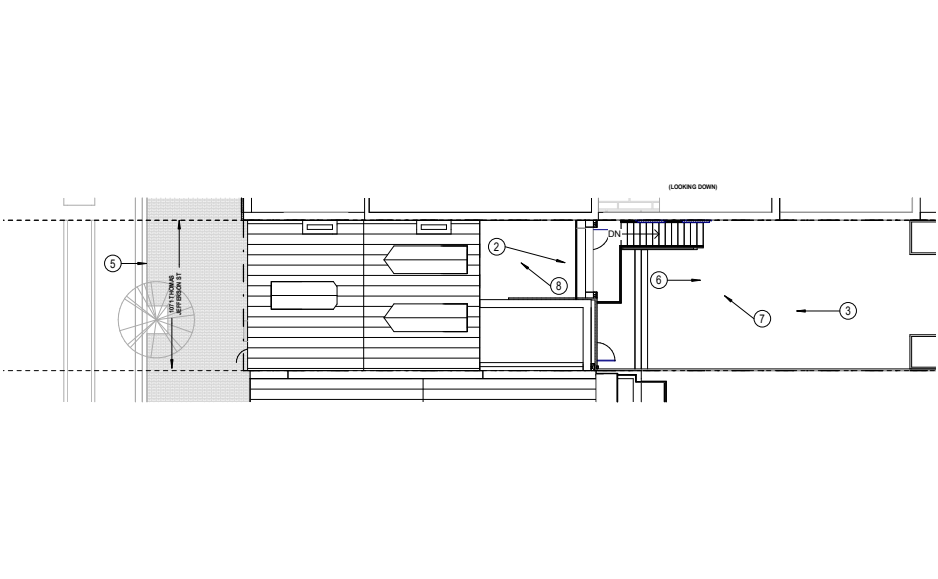
PERCENTAGE OF LOT OCCUPANCY - 80%

				DRAWN RP		AAH CONSULTANTS LLC 4200 FORBES BLVD, SUITE 203 LANHAM, MARYLAND 20706 (301) 429-1750(PH) 429-1757 (FAX)	ENGINEERS SURVEYORS CONSULTANTS	1075 THOMAS JEFFERSON STREET, N.W.  MONTICELLO HOTEL	ALTA/ACSM SURVEY LOT 62 SQUARE 1197 WASHINGTON, D.C.	DATE 08-11-2011
				DESIGNED						SHEET 1 OF 1
				CHECKED AH						JOB No. 11-085
No.	DESCRIPTION	NAME	DATE	SCALE 1" = 10'						
REVISIONS										



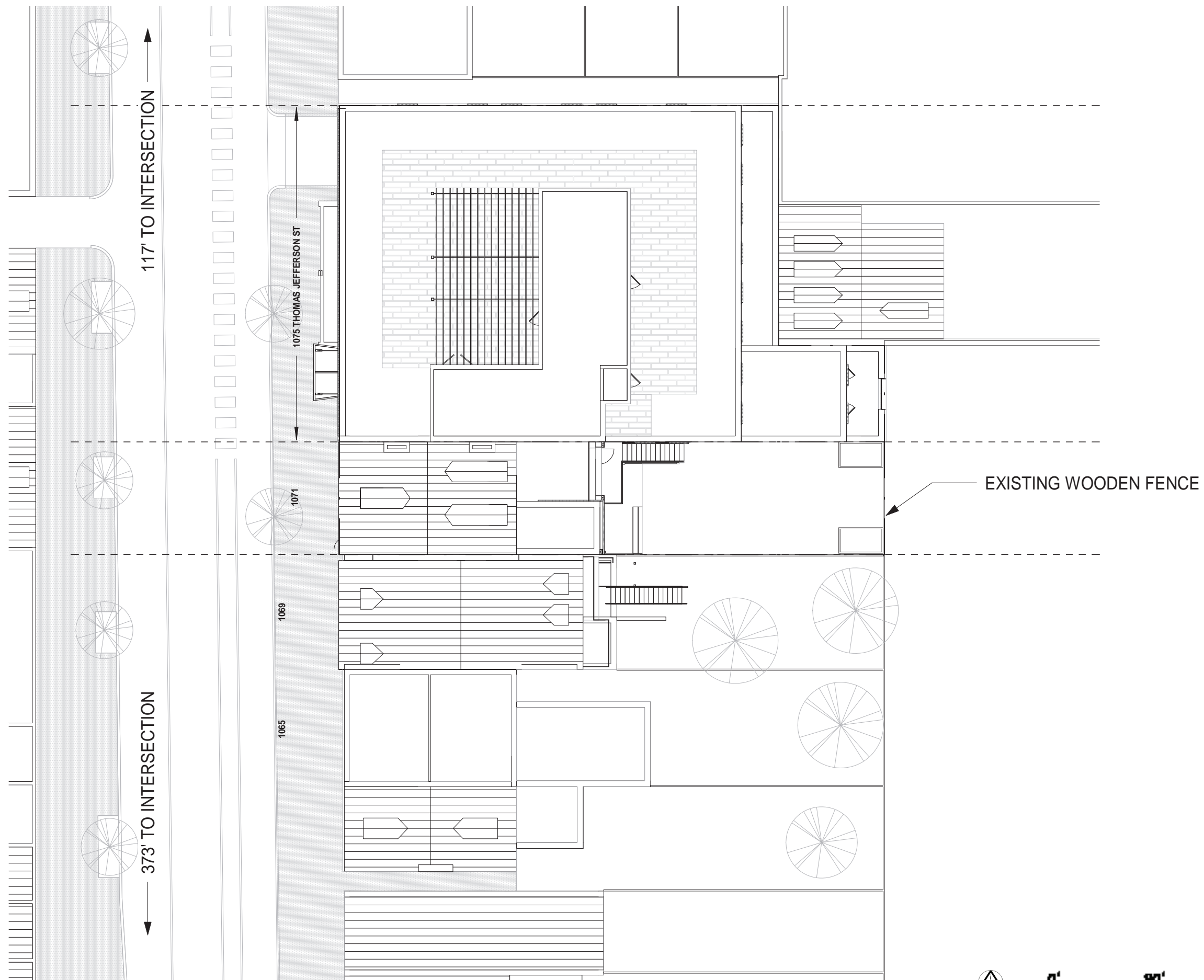


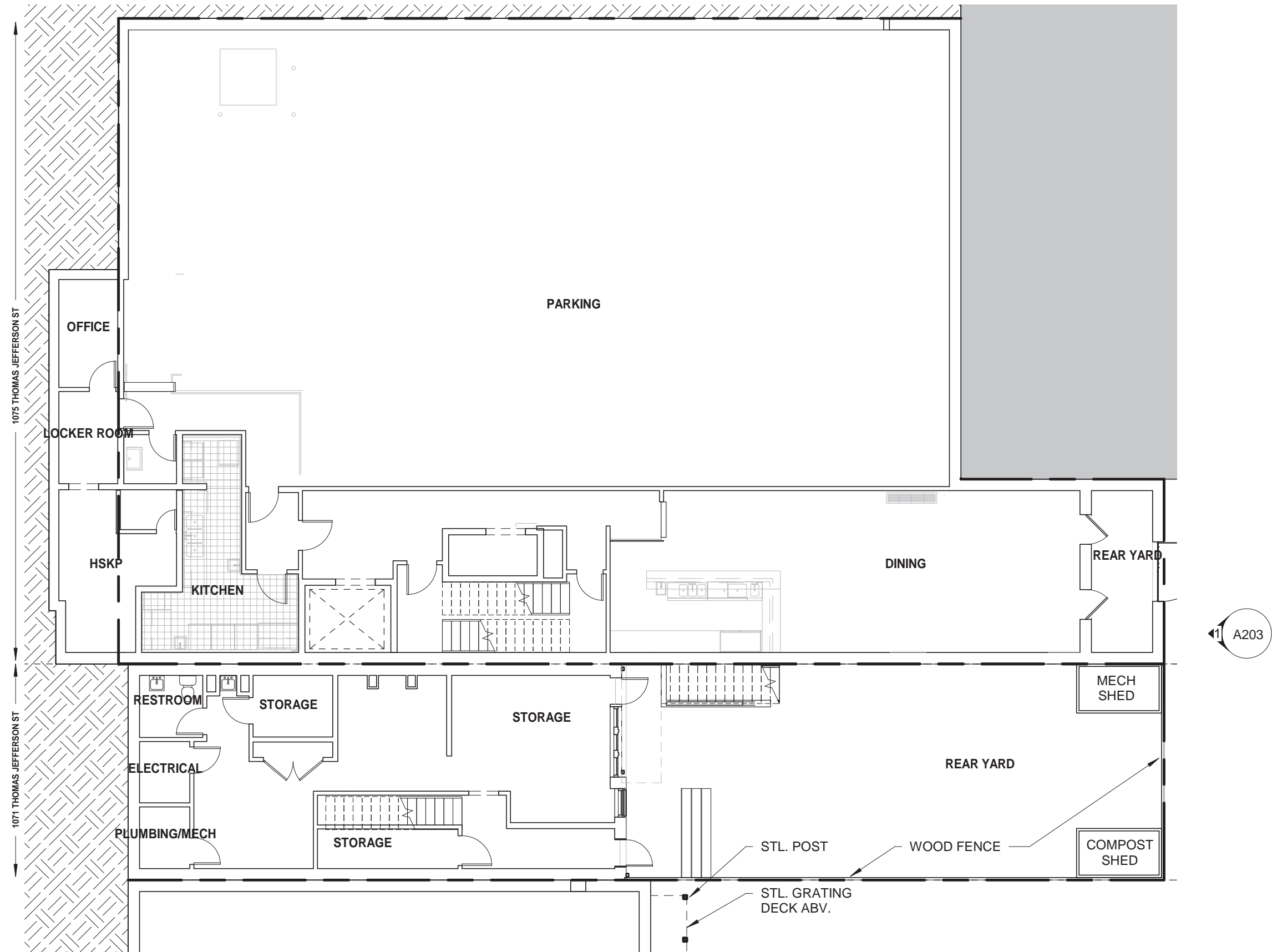












EXISTING BASEMENT FLOOR PLAN

1071-1075 THOMAS JEFFERSON ST

04/22/2022

1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006

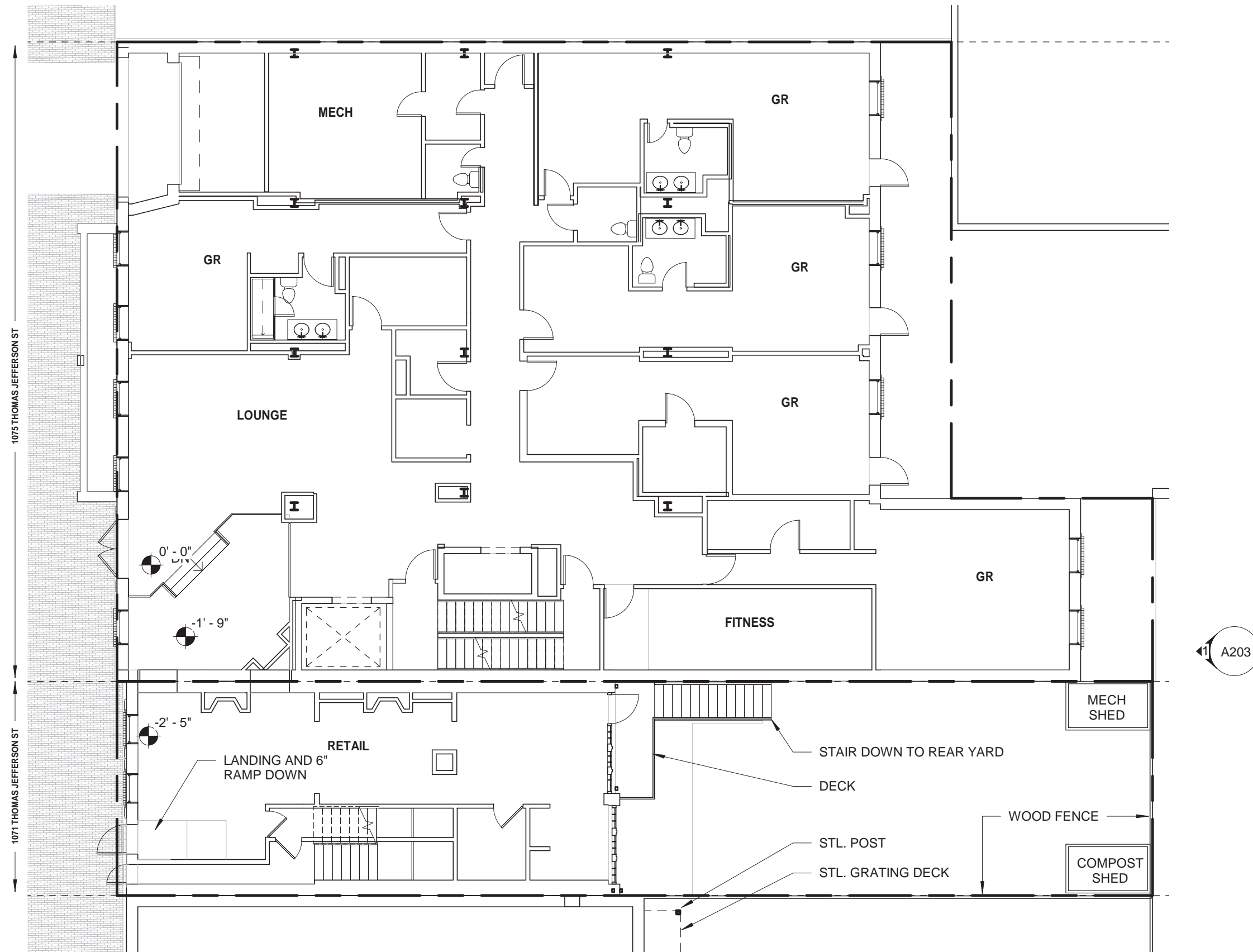
PG 8

SCALE: 1"=10'

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EXISTING GROUND FLOOR PLAN

1071-1075 THOMAS JEFFERSON ST

04/22/2022

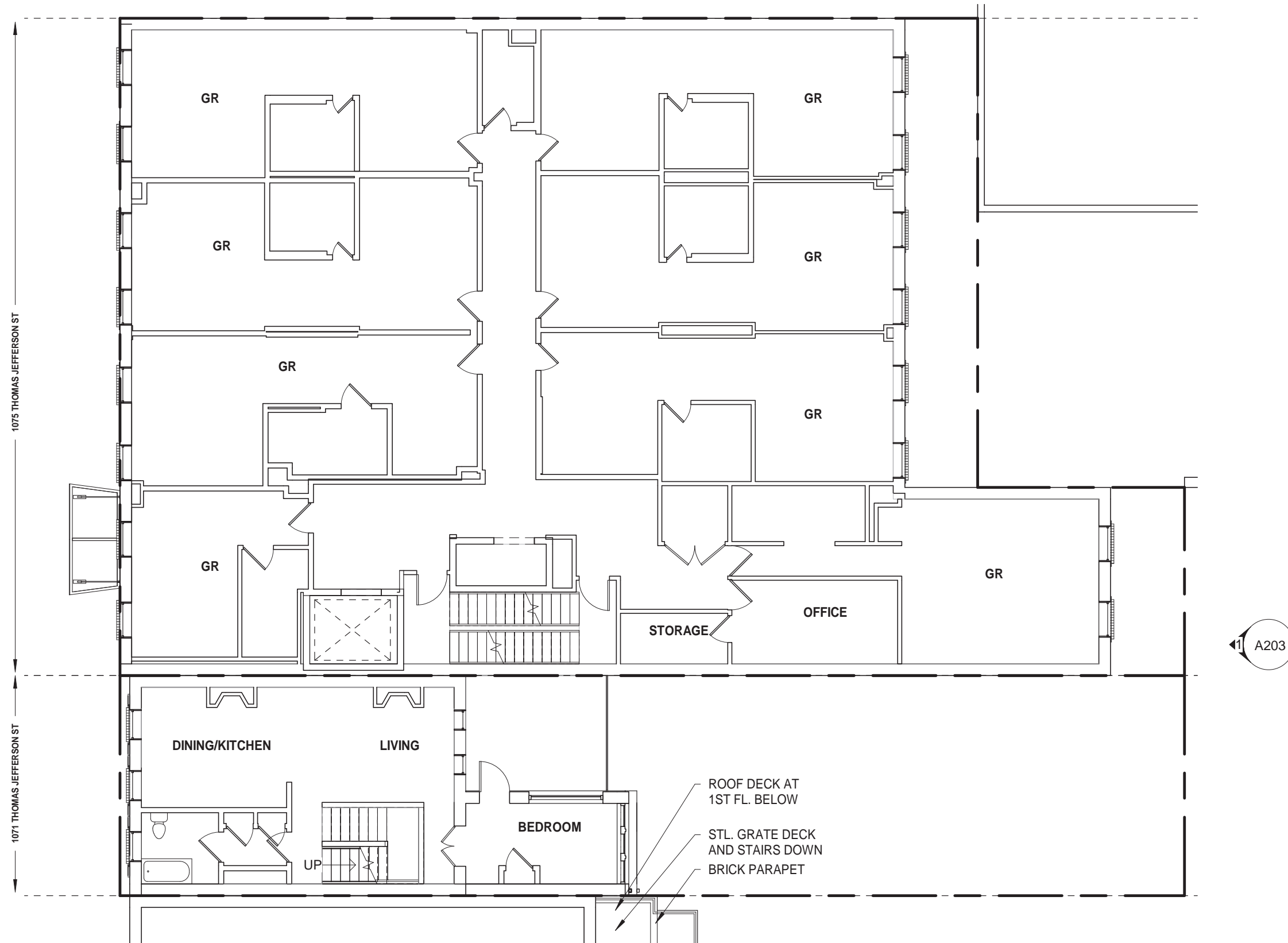
PG 9

SCALE: 1"=10'

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1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006





EXISTING SECOND FLOOR PLAN

1071-1075 THOMAS JEFFERSON ST

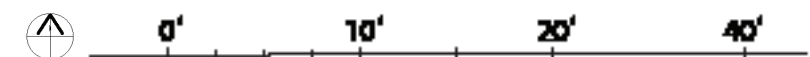
04/22/2022

1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006

PG 10

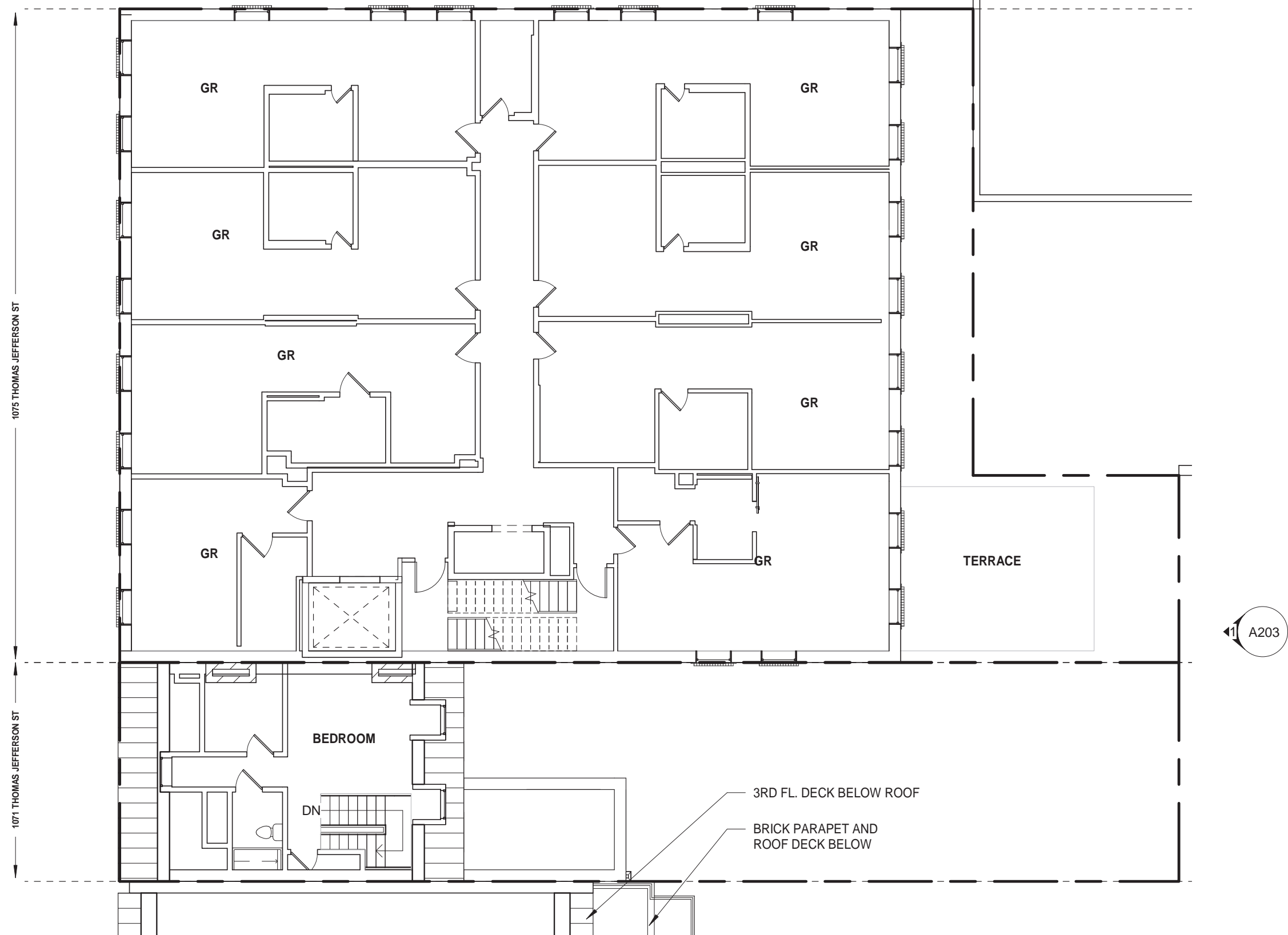
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EXISTING THIRD FLOOR PLAN

1071-1075 THOMAS JEFFERSON ST

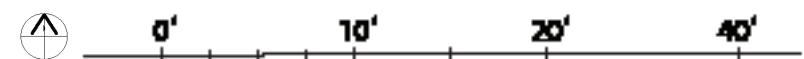
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PG 11

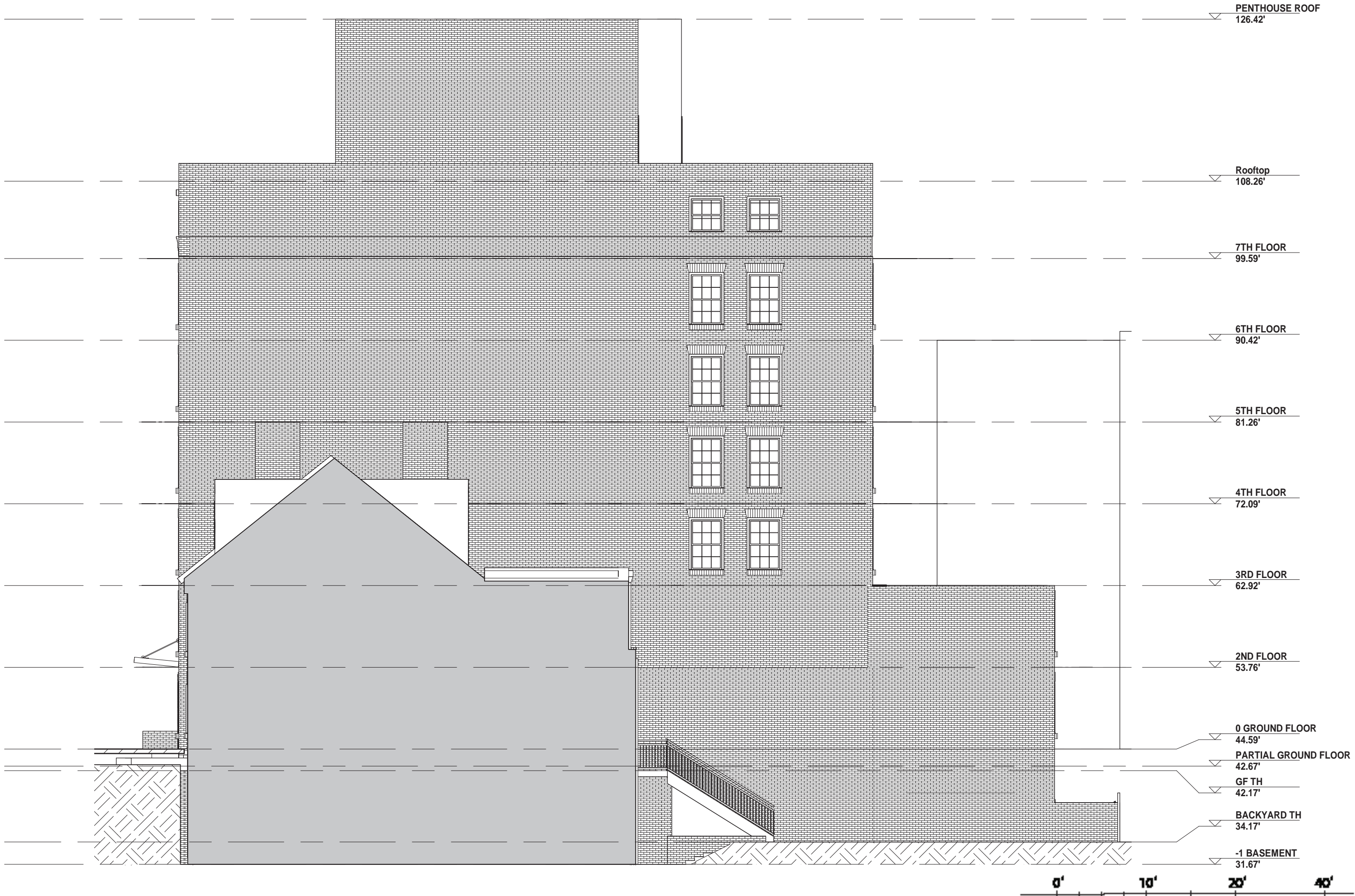
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EXISTING ELEVATIONS - WEST

1071-1075 THOMAS JEFFERSON ST

04/22/2022

PG 13

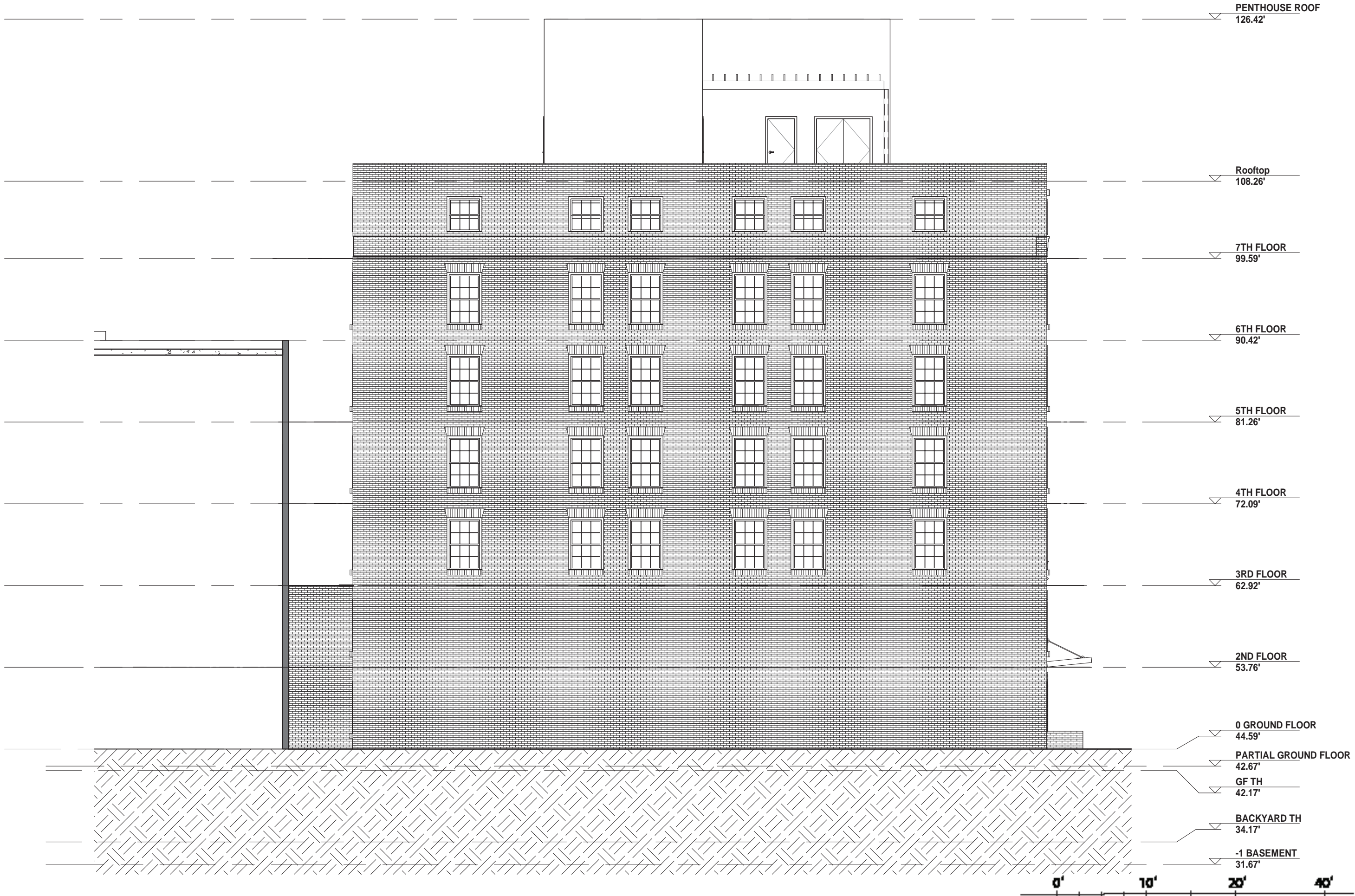
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EXISTING ELEVATIONS - NORTH

1071-1075 THOMAS JEFFERSON ST

04/22/2022

SCALE: 1"=10'

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MECH. SHED,  
COMPOSTING SHED,  
AND EXISTING WOOD  
FENCE NOT SHOWN  
FOR CLARITY

EXISTING ELEVATIONS - EAST

1071-1075 THOMAS JEFFERSON ST

04/22/2022

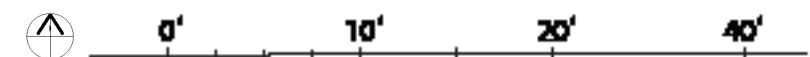
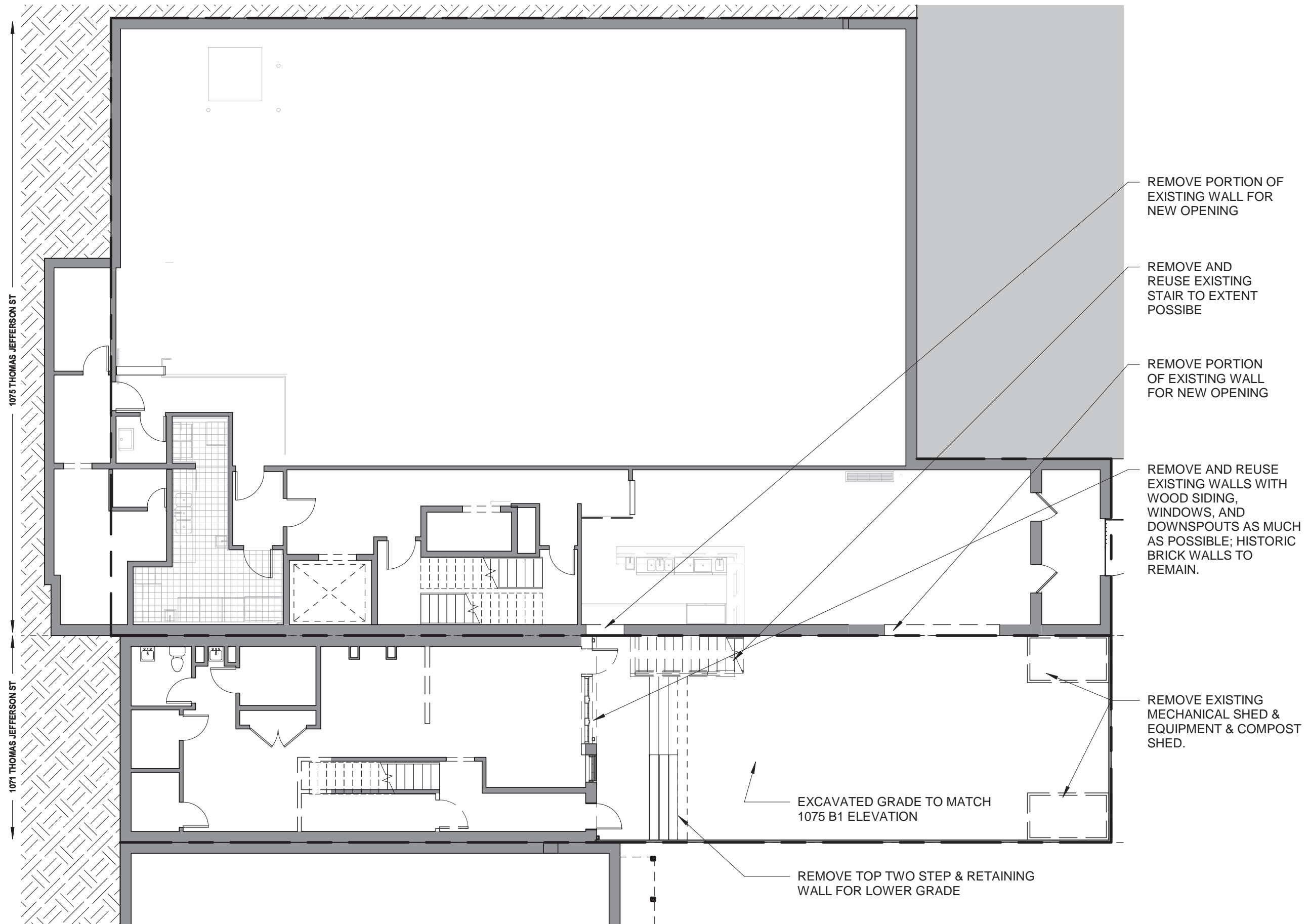
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DEMOLITION PLAN: BASEMENT

1071-1075 THOMAS JEFFERSON ST

04/22/2022

SCALE: 1"=10'

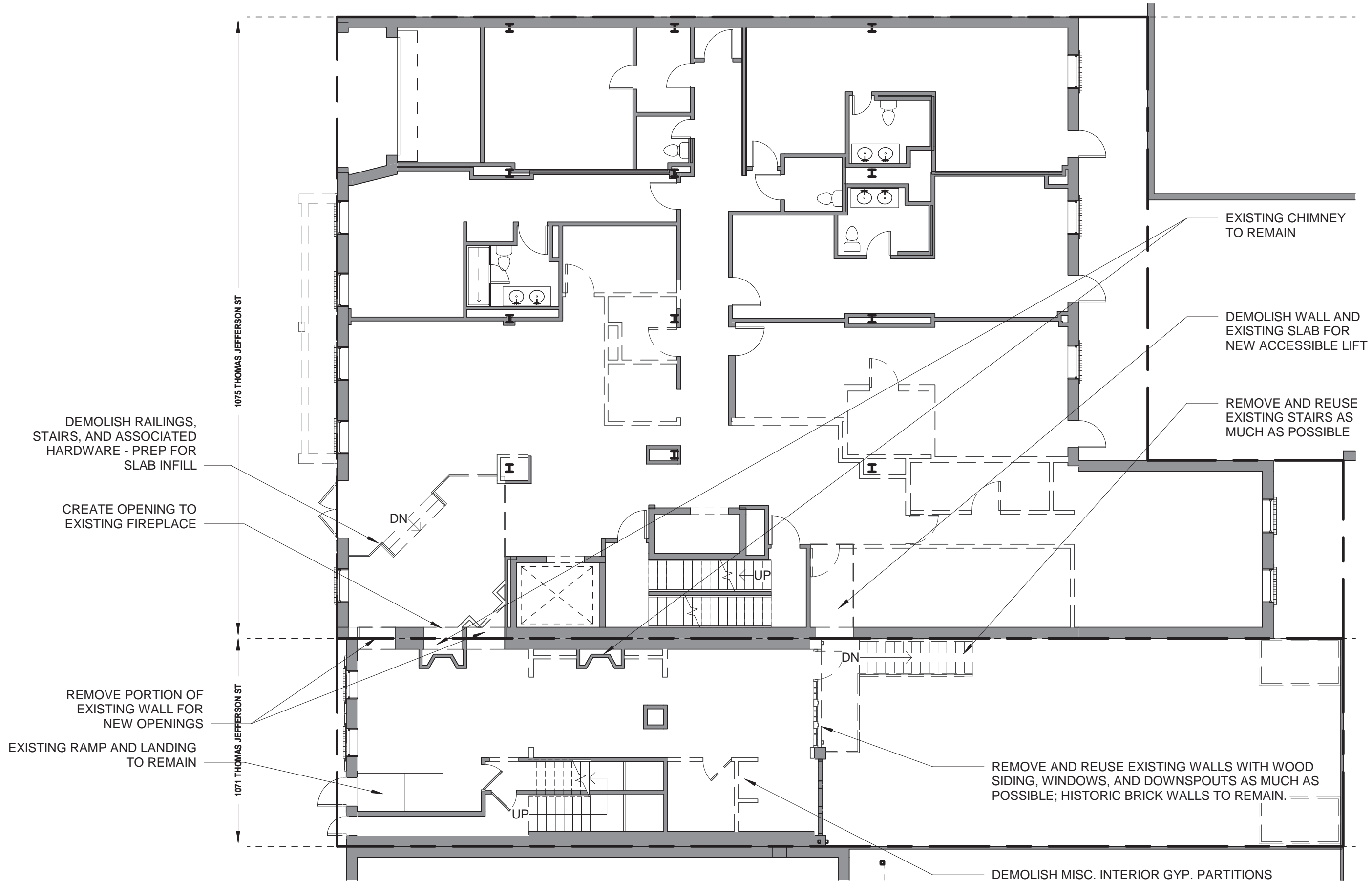
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PG 16

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DEMOLITION PLAN: GROUND FLOOR

1071-1075 THOMAS JEFFERSON ST

04/22/2022

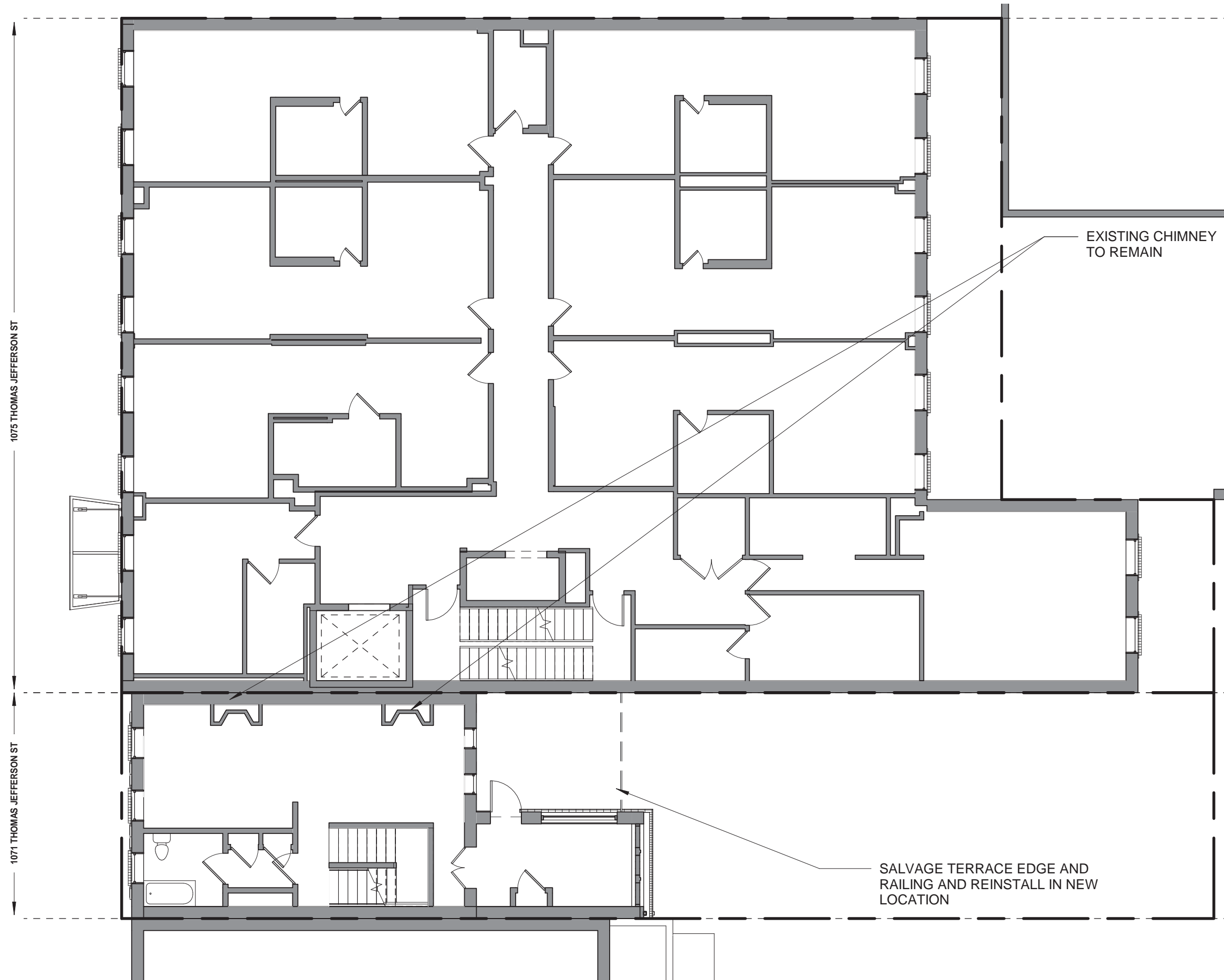
PG 17

SCALE: 1"=10'

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DEMOLITION PLAN: SECOND FLOOR

1071-1075 THOMAS JEFFERSON ST

04/22/2022

PG 18

SCALE: 1"=10'

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1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006





1075 THOMAS JEFFERSON ST

1071 THOMAS JEFFERSON ST

EXISTING CHIMNEY  
TO REMAIN



0'

10'

20'

40'

DEMOLITION PLAN: THIRD FLOOR

1071-1075 THOMAS JEFFERSON ST

04/22/2022

PG 19

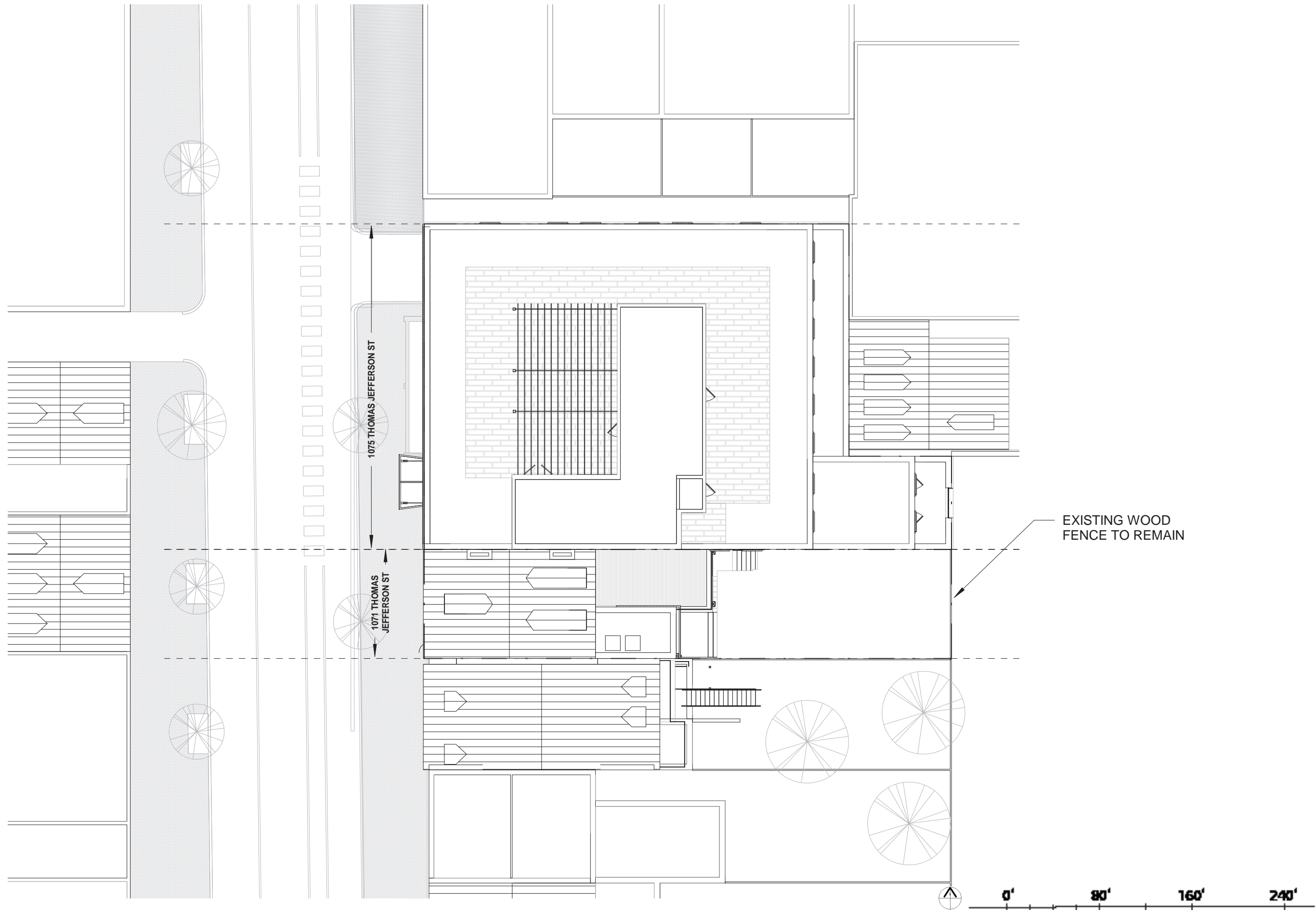
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OGB SUBMISSION

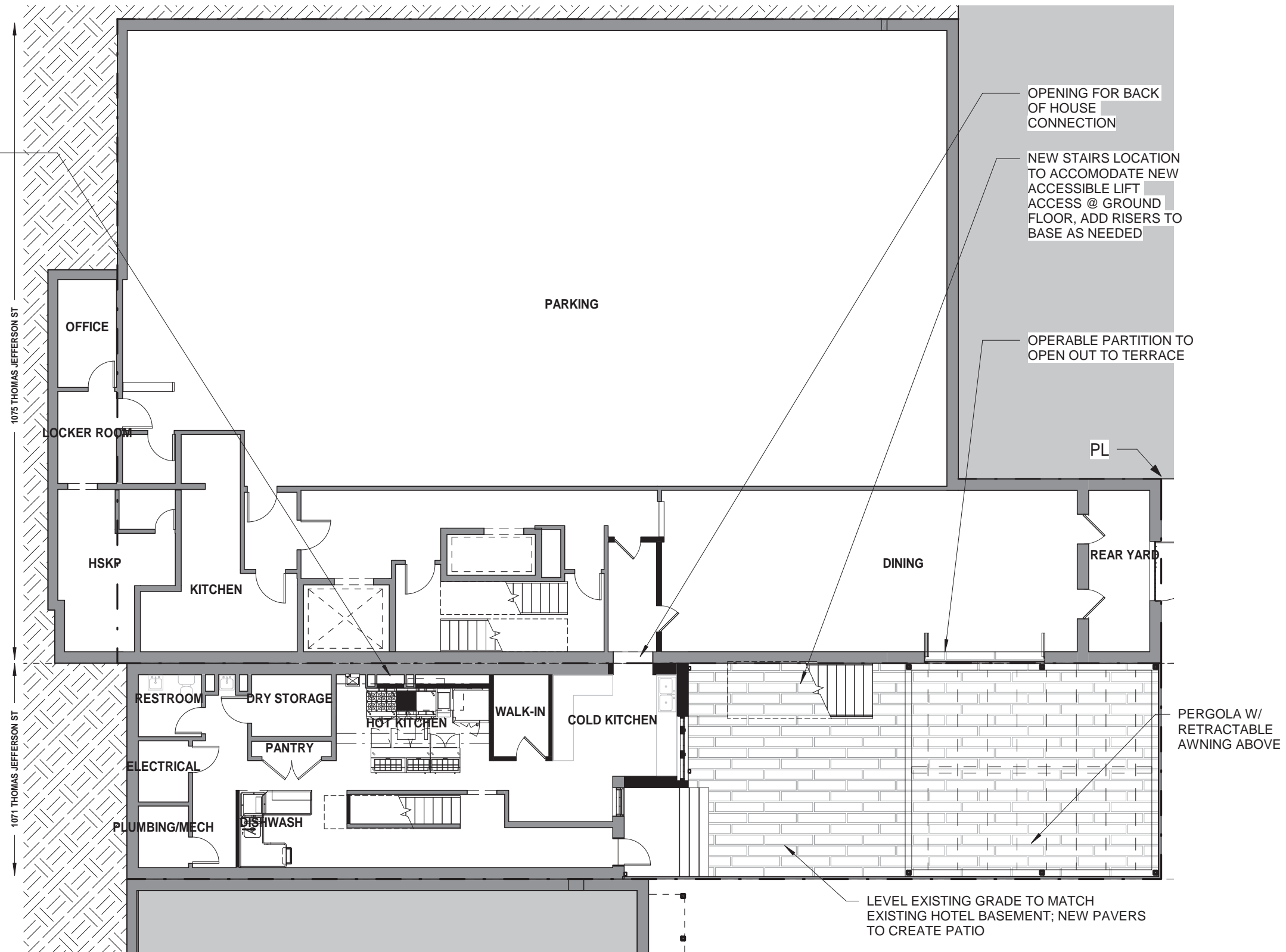
1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006

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KITCHEN EXHAUST  
CAPACITY TO BE LIMITED TO  
DUCT SIZE THAT CAN FIT  
WITHIN THE EXISTING  
CHIMNEY.



PROPOSED PLAN: BASEMENT

1071-1075 THOMAS JEFFERSON ST

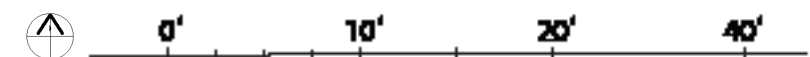
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1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006

PG 21

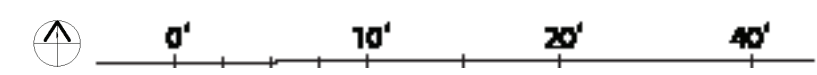
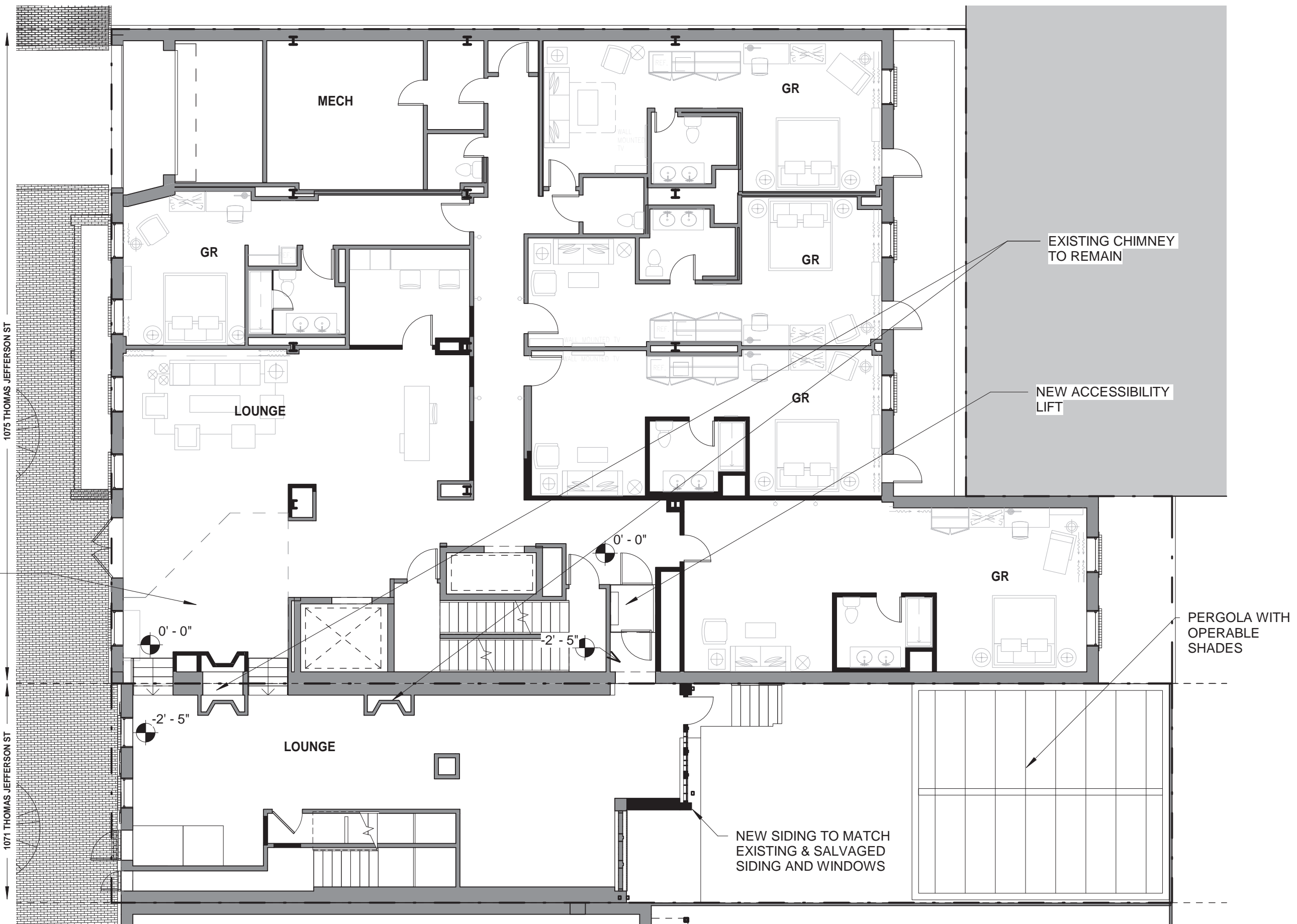
SCALE: 1"=10'

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PROPOSED PLAN: GROUND FLOOR

1071-1075 THOMAS JEFFERSON ST

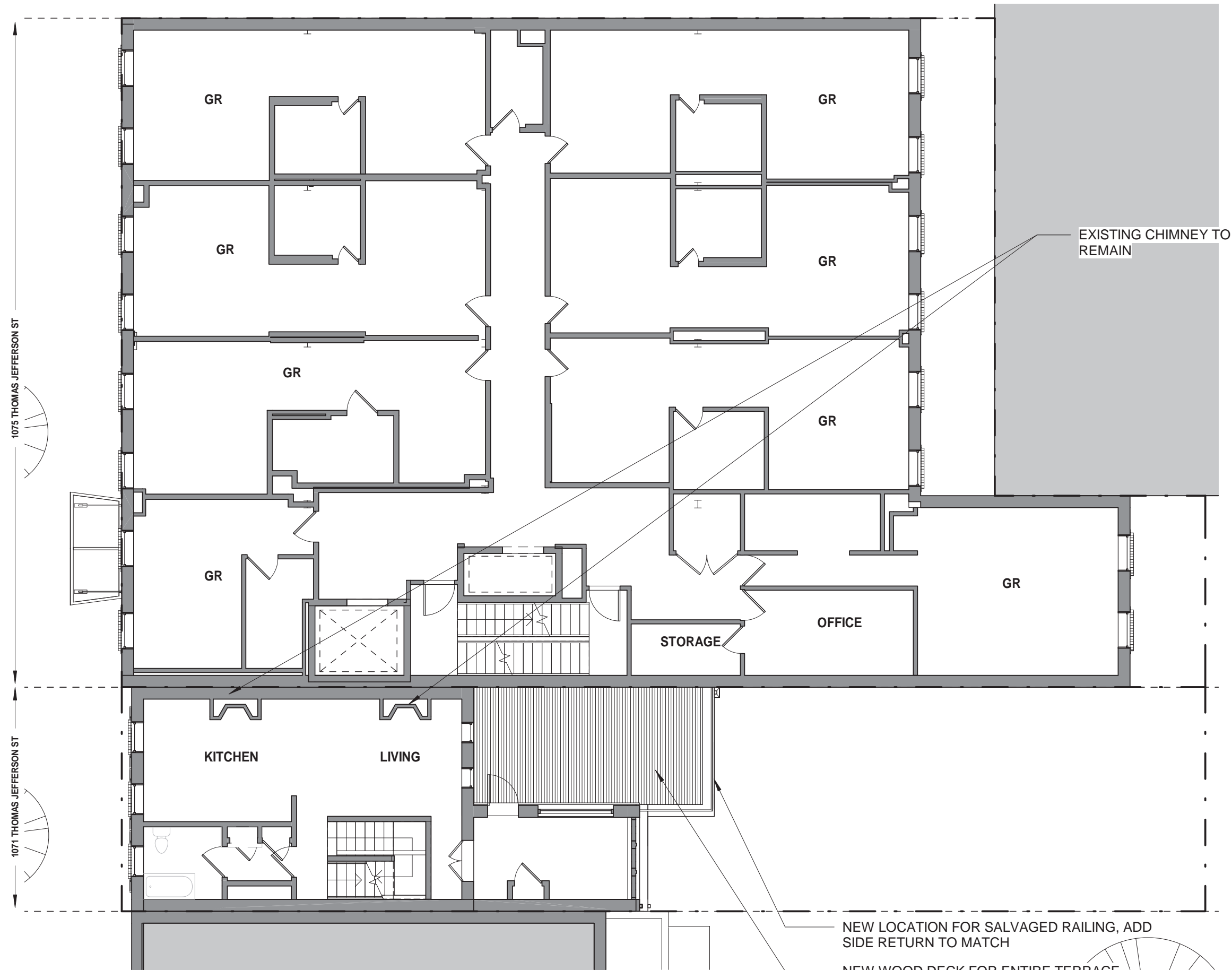
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SCALE: 1"=10'

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1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006





PROPOSED PLAN: SECOND FLOOR

1071-1075 THOMAS JEFFERSON ST

04/22/2022

SCALE: 1"=10'

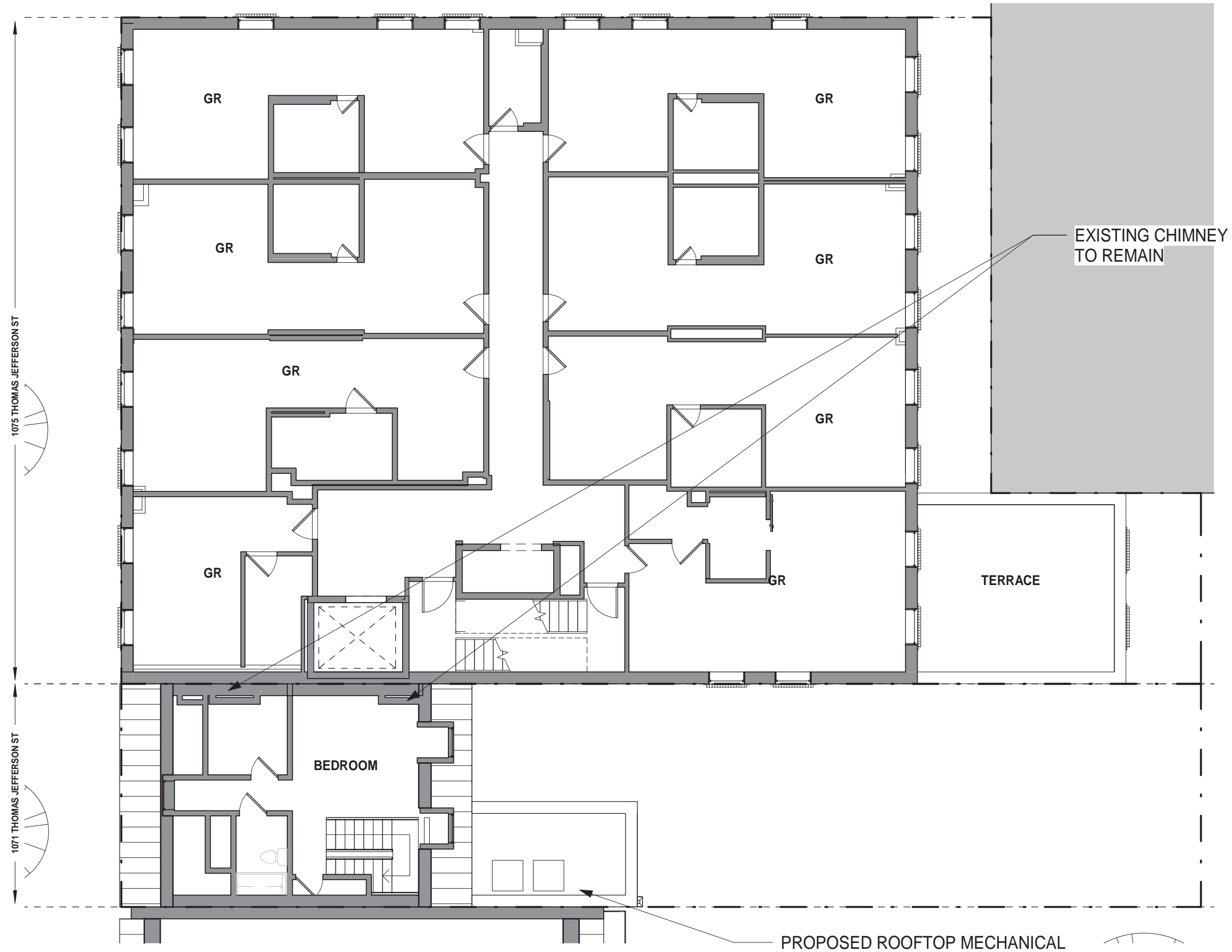
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1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006

PG 23

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PROPOSED PLAN: THIRD FLOOR

1071-1075 THOMAS JEFFERSON ST

04/22/2022

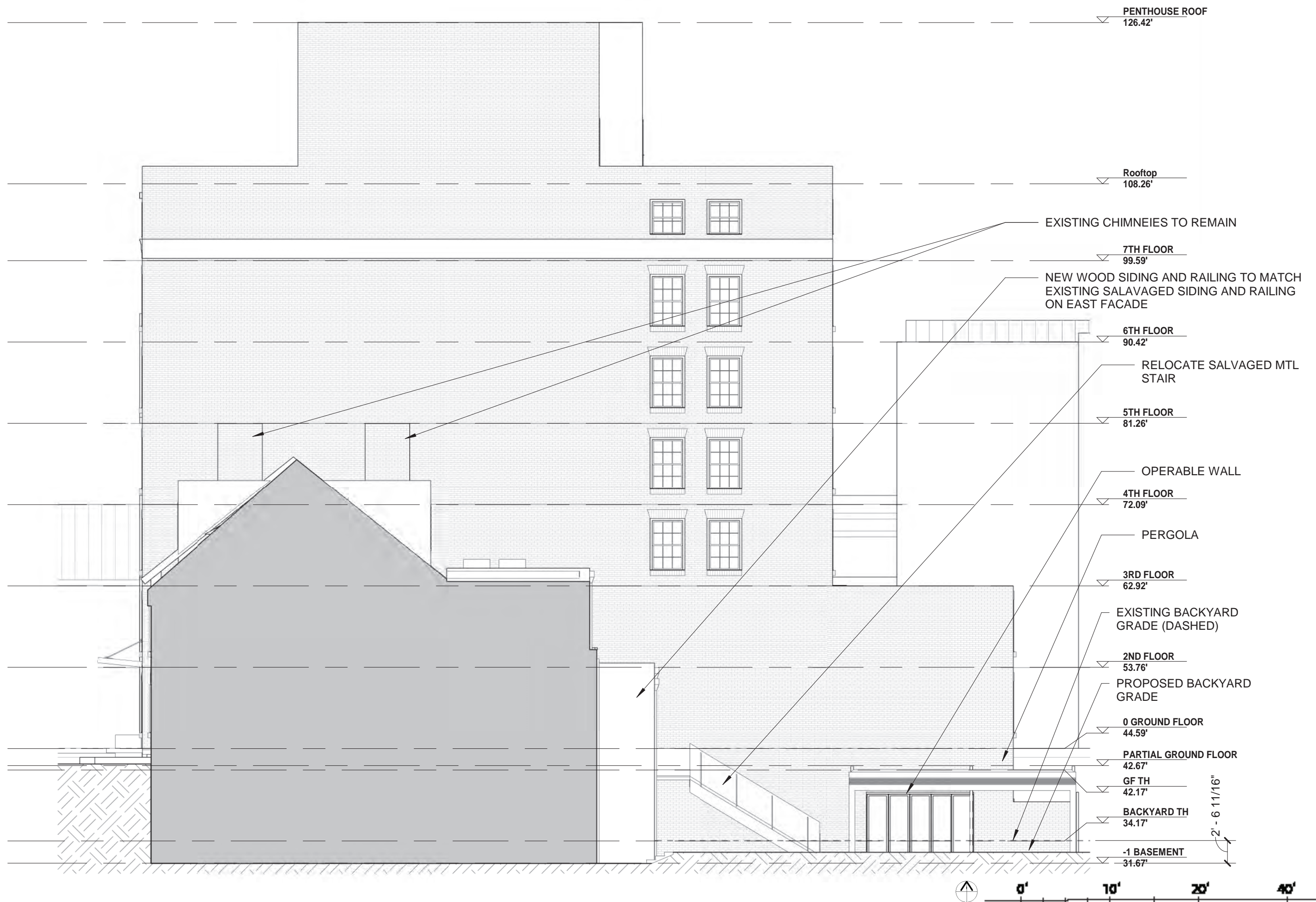
PG 24

SCALE: 1"=10'

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PROPOSED ELEVATIONS - SOUTH

1071-1075 THOMAS JEFFERSON ST

04/22/2022

1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006

PG 25

SCALE: 1"=10'

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PROPOSED ELEVATIONS - WEST (NO WORK)

1071-1075 THOMAS JEFFERSON ST

04/22/2022

SCALE: 1"=10'

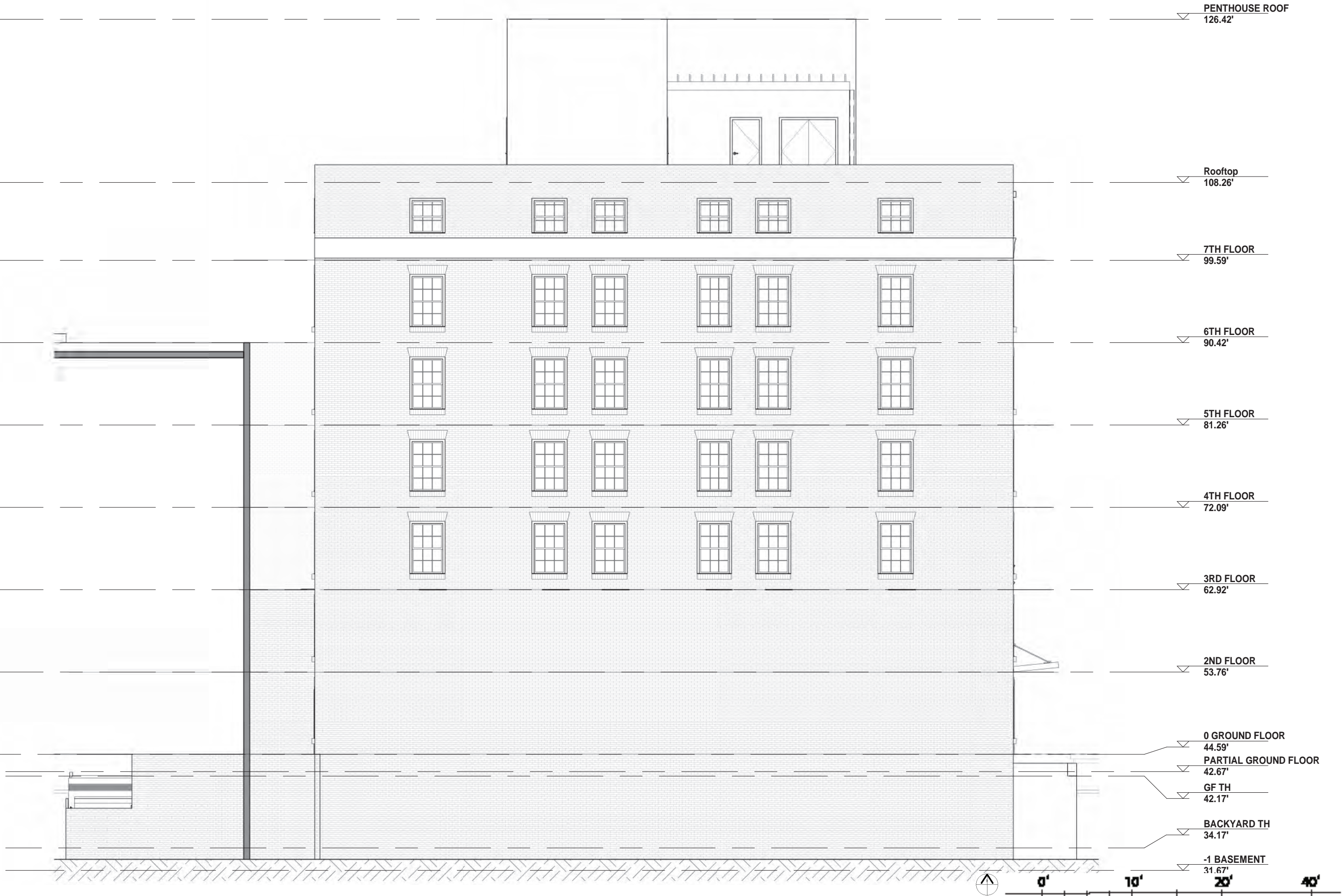
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1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006

PG 26

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PROPOSED ELEVATIONS - EAST

1071-1075 THOMAS JEFFERSON ST

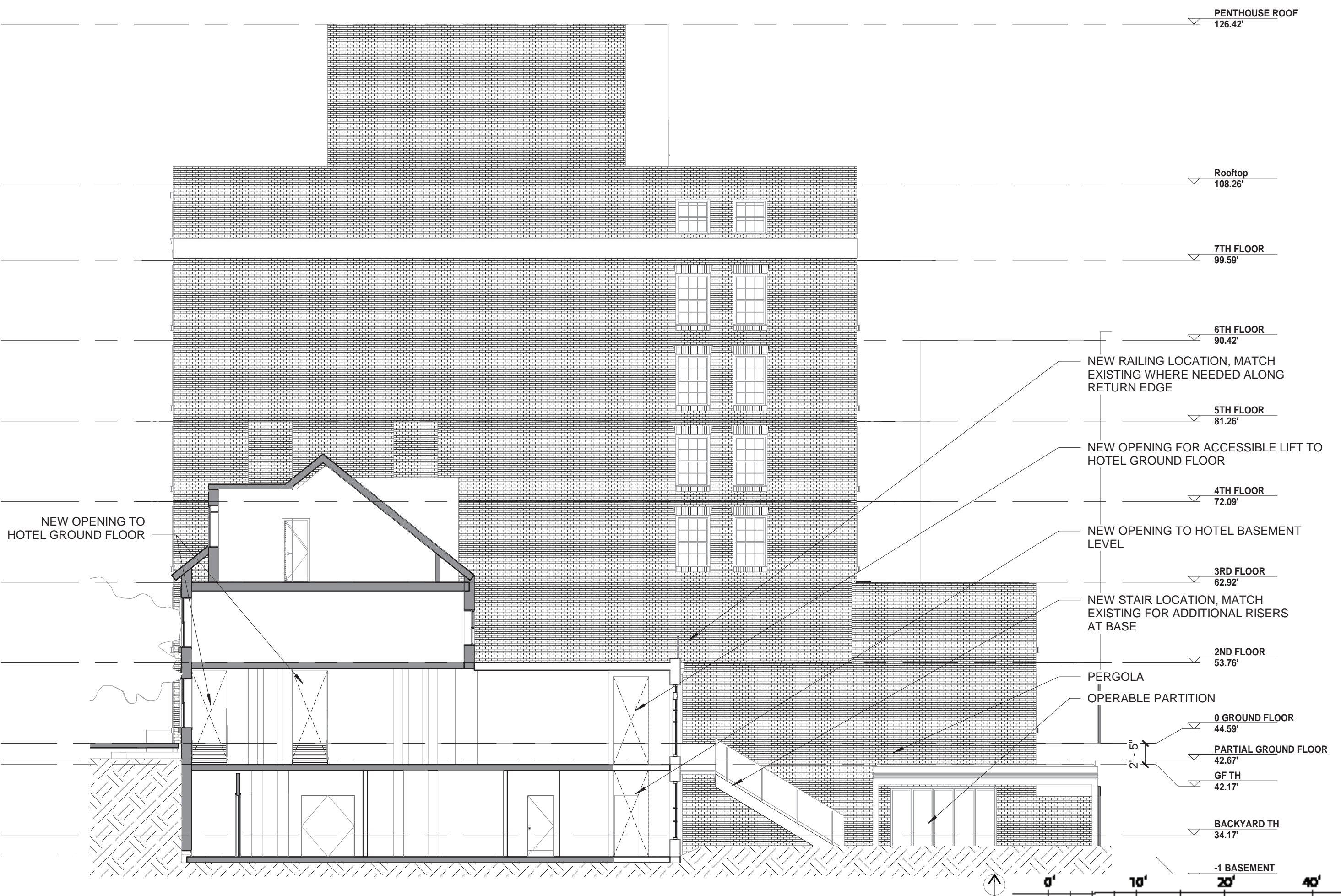
04/22/2022

SCALE: 1"=10'

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1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006





PROPOSED SECTION - NORTH/SOUTH

1071-1075 THOMAS JEFFERSON ST

04/22/2022

SCALE: 1/8"=1'

OGB SUBMISSION

1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006

PG 29

BBGM





PROPOSED SECTION - EAST/WEST

1071-1075 THOMAS JEFFERSON ST

04/22/2022

SCALE: 1/4"=1'

OGB SUBMISSION

1825 K STREET, NW SUITE 300 WASHINGTON D.C. 20006

