

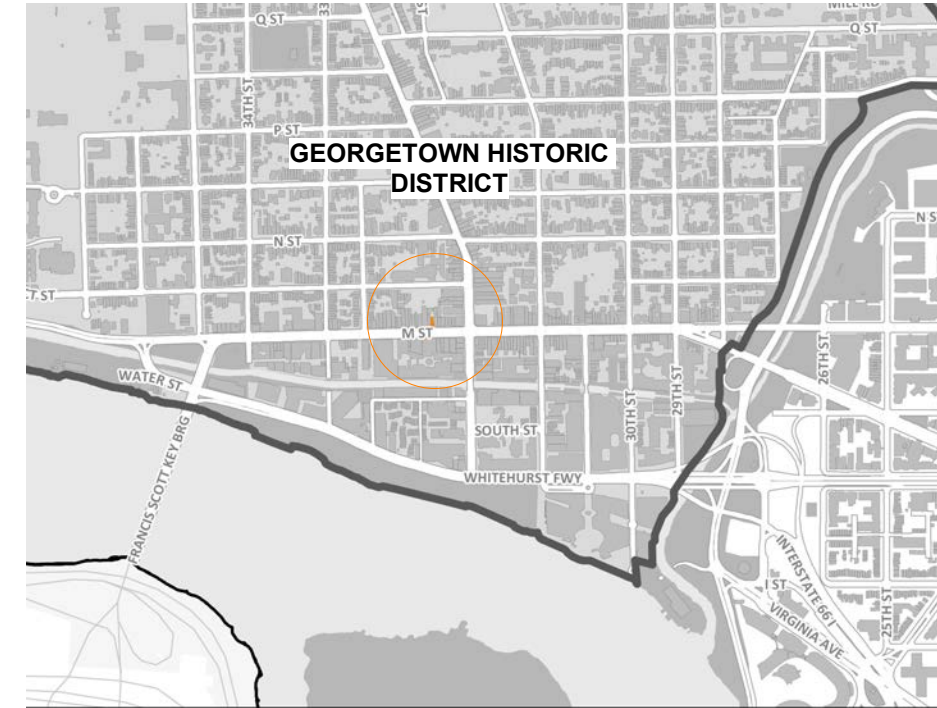
## PROJECT VIEW



## SHEET INDEX

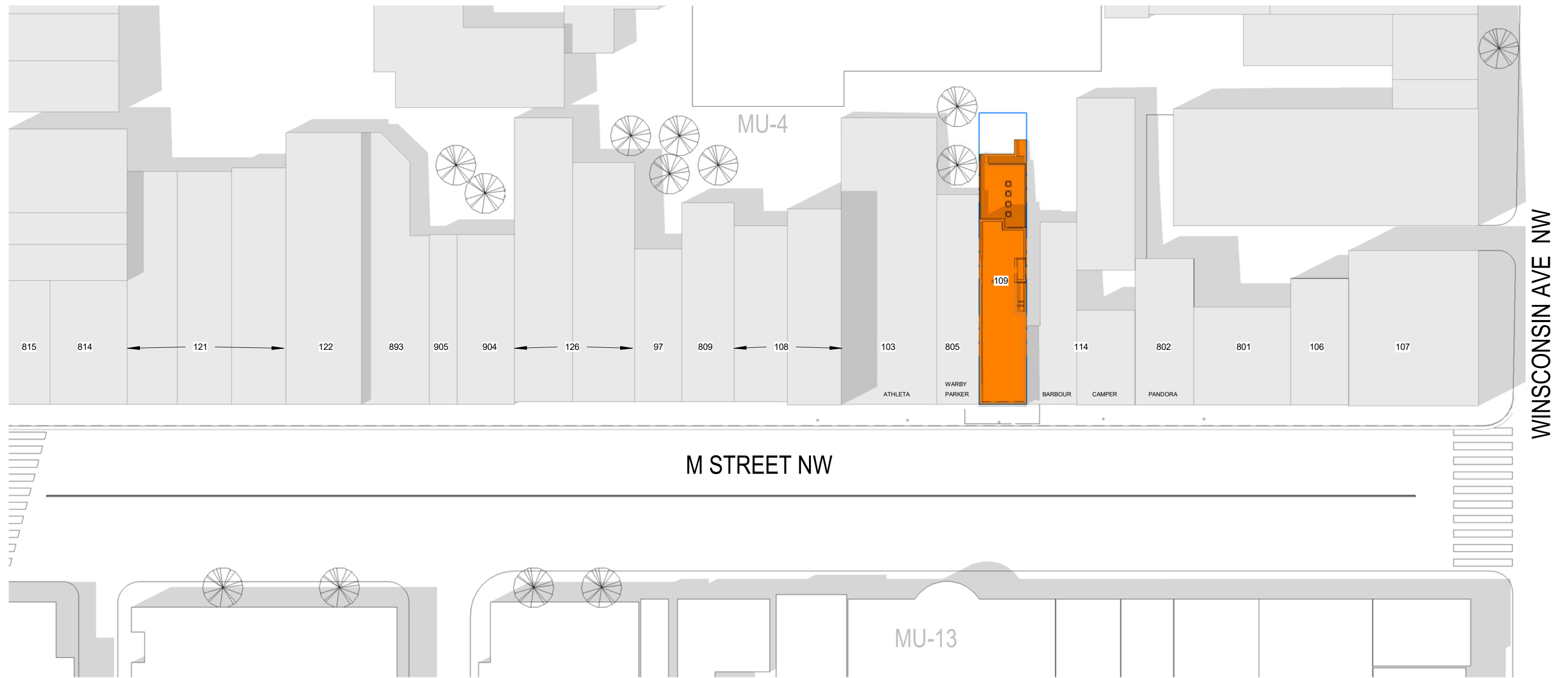
HPR 01	COVER SHEET
HPR 02	VICINITY PLAN
HPR 03	SITE PHOTOGRAPHS - VIEWS FROM M STREET
HPR 04	SITE PHOTOGRAPHS - VIEWS FROM M STREET
HPR 05	SITE PHOTOGRAPHS - VIEWS FROM PROSPECT STREET
HPR 06	SITE PLAN
HPR 07	CONTEXT & SITE SECTION
HPR 08	NEIGHBORS
HPR 09	EXISTING CONDITIONS - EXTERIOR WORK
HPR 10	STOREFRONT
HPR 11	HISTORIC ELEVATION INFORMATION
HPR 12	HISTORIC ELEVATION INFORMATION
HPR 13	EXISTING WINDOWS - M STREET
HPR 14	EXISTING PARTY WALL
HPR 15	EXISTING STAIRS - GROUND LEVEL
HPR 16	EXISTING CONDITIONS - INTERIOR WORK
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HPR 19	FLOOR PLANS
HPR 20	FLOOR PLANS
HPR 21	ROOF PLAN
HPR 23	ELEVATIONS
HPR 24	WINDOW DETAILS
HPR 25	MAIN RESIDENTIAL DOOR DETAILS

## VICINITY MAP



## PROJECT SUMMARY

THIS PROJECT CONSISTS OF ADDITION AND REMODEL TO AN EXISTING MIX USE BUILDING LOCATED AT 3223 M STREET NW IN WASHINGTON, DC. THE DESIGN INCLUDES REMODELING THE EXISTING STRUCTURE AND LAYOUT TO INCLUDE RETAIL ON THE FIRST LEVEL, EXCAVATION AND UNDERPINNING OF A CELLAR FOR RETAIL, AND UP TO 4 MARKET RATE UNITS ON LEVEL 2 & 3.

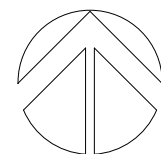


3223 M Street NW  
Washington, DC



**3223 M Street NW**

10/25/2021  
SCALE: 1" = 40'-0"



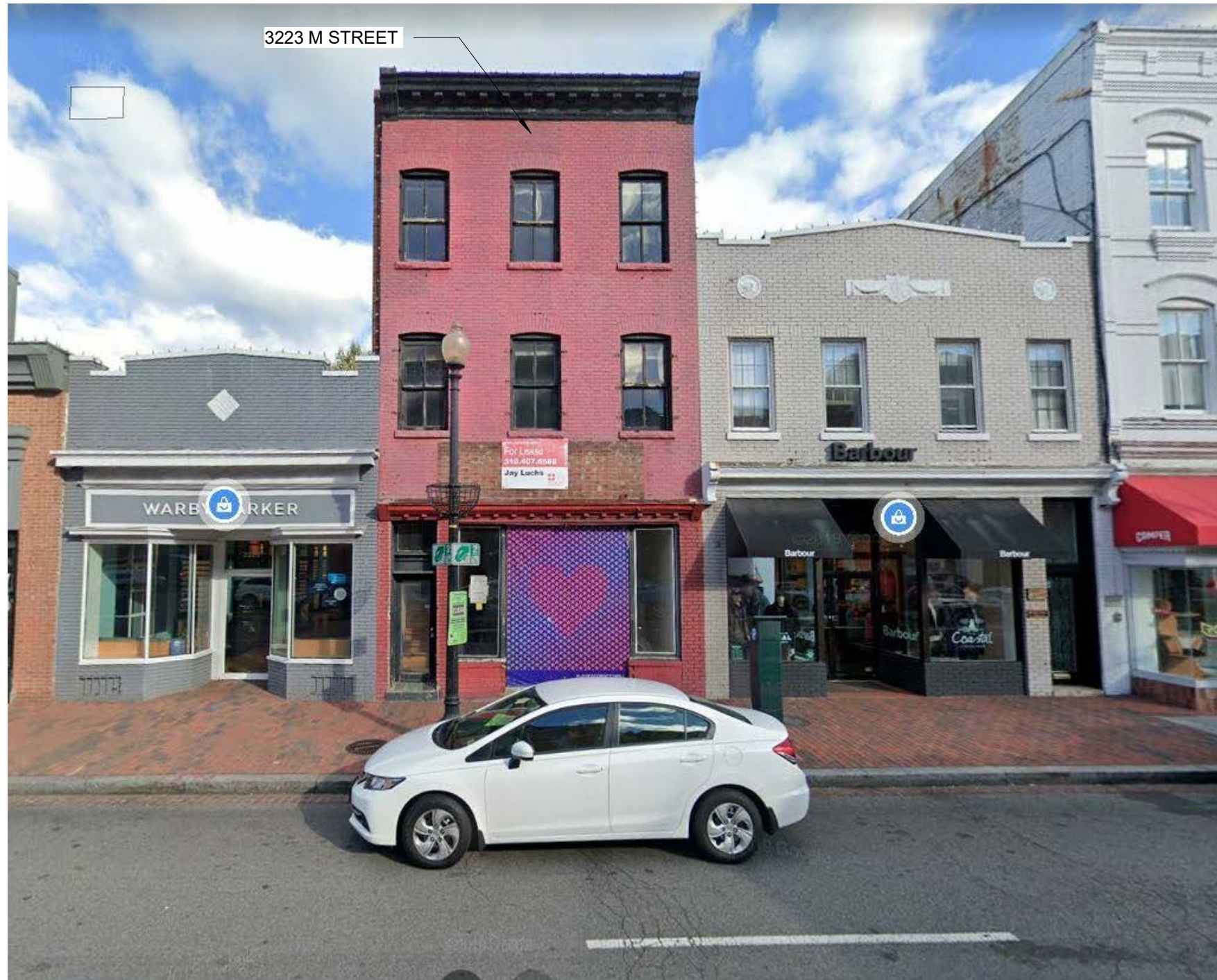
**LEEDESIGN.STUDIO**

6818 JACKSON AVE  
FALLS CHURCH, VA 22042

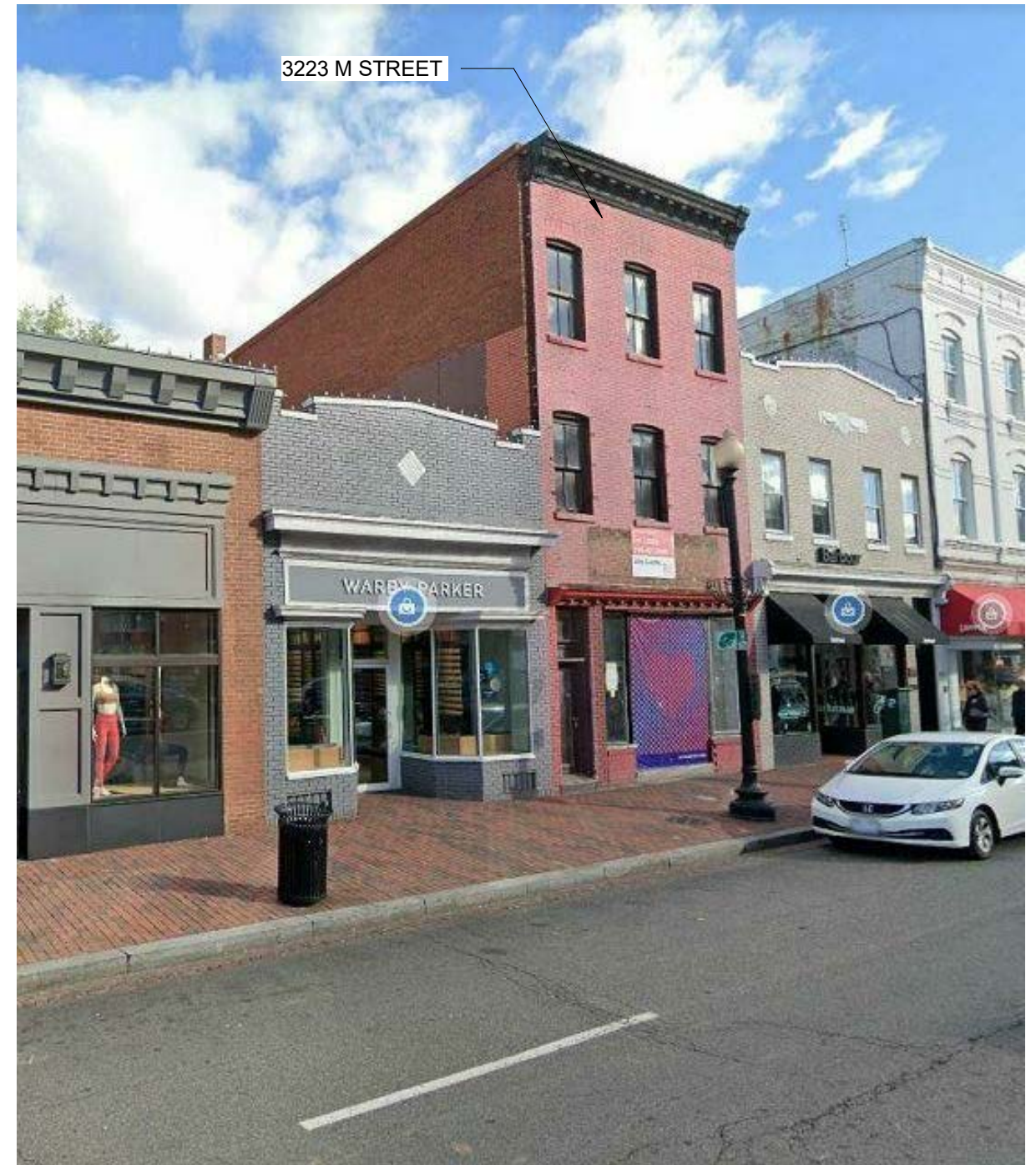
404.375.0733

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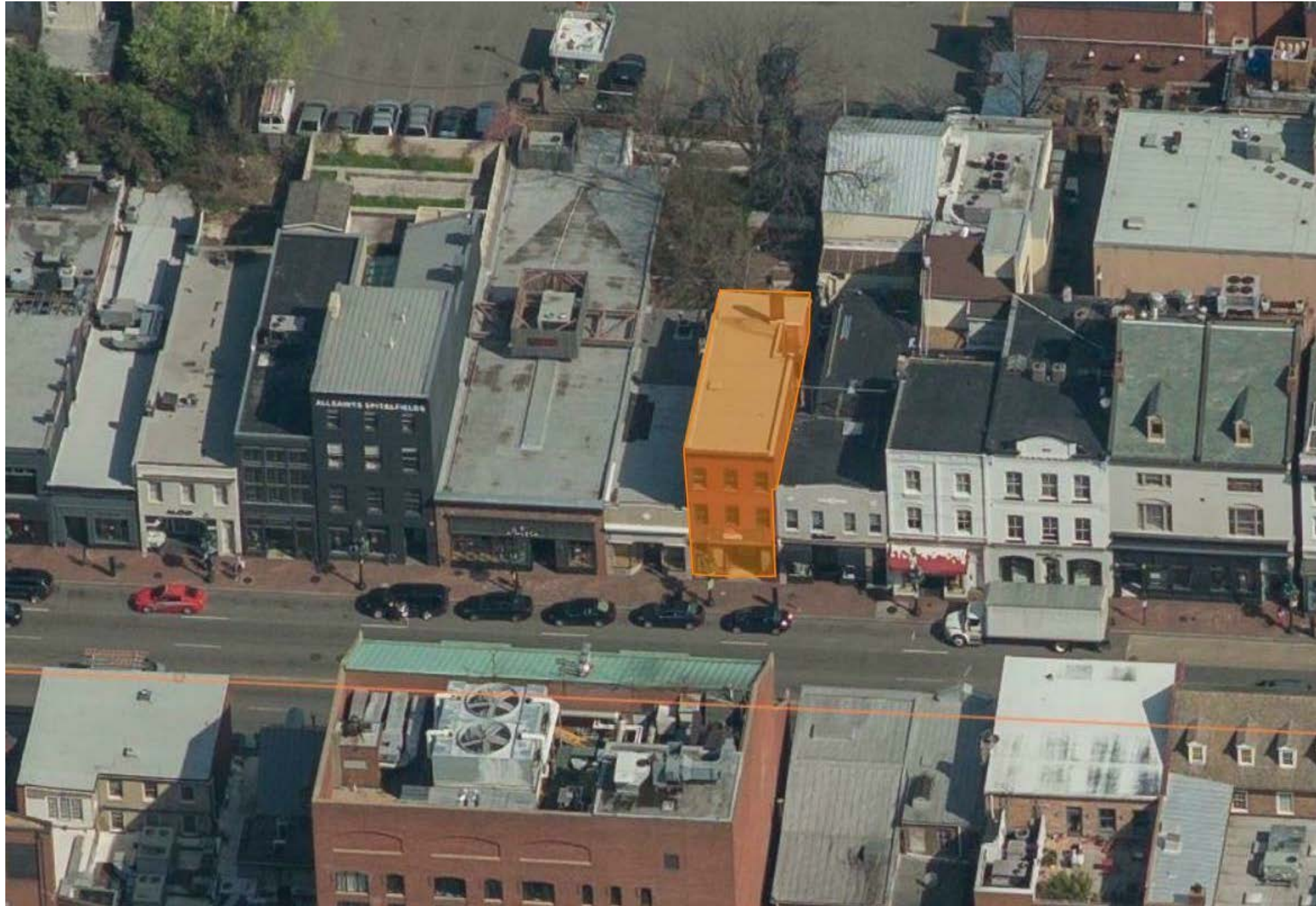


FRONT VIEW - M STREET



SOUTH WEST VIEW - M STREET





AERIAL VIEW - M STREET



SOUTH EAST VIEW - M STREET

3223 M Street NW  
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**3223 M Street NW**

10/25/2021

SCALE:

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**REAR VIEW - PROSPECT STREET**



**REAR EXISTING VIEWS**

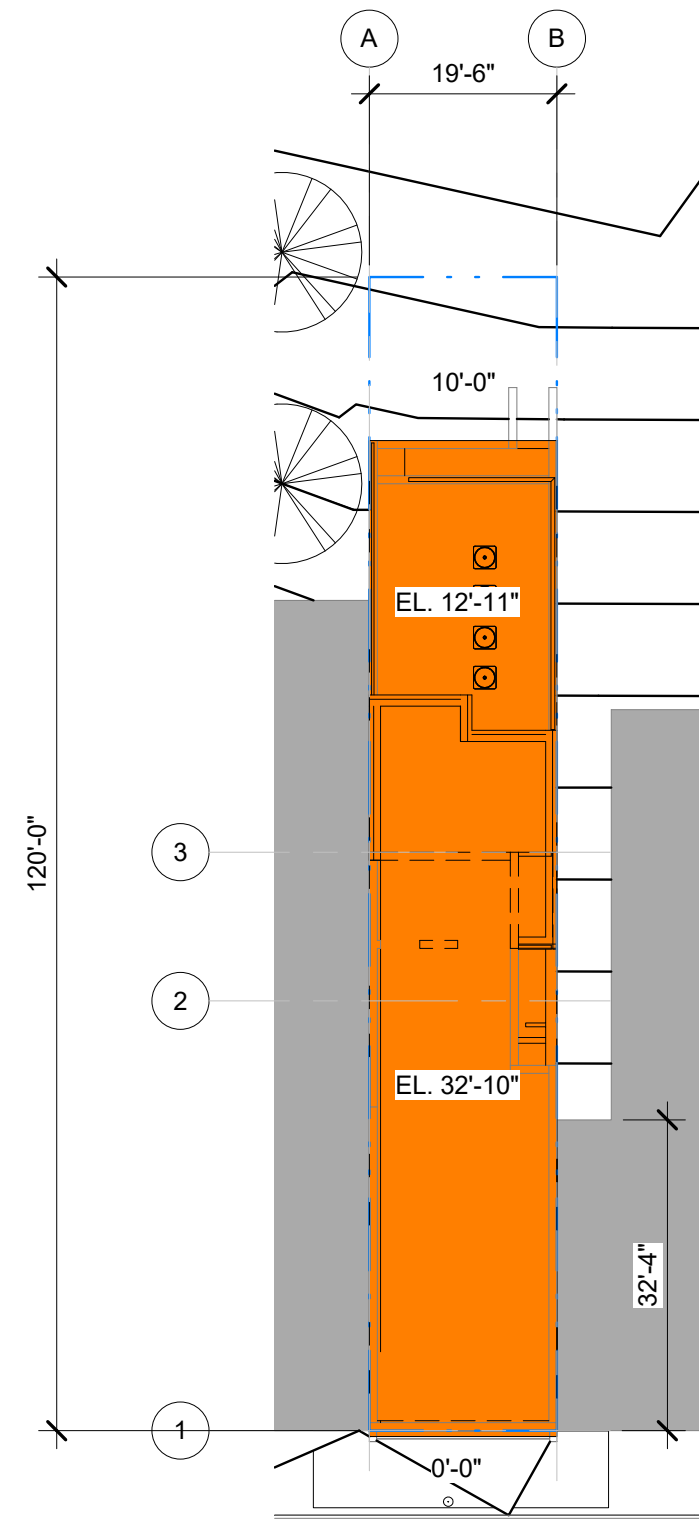


# SITE PLAN

HPR 06

SQUARE	LOT	ZONE	LOT AREA	# DWELLINGS EXISTING	# DWELLINGS PROPOSED
1207	0109	MU-4	2,360 SF	1	4

	ALLOWABLE	PROPOSED
LOT OCCUPANCY	60% ( 1,416 SF)	60% (1,414 SF)
FAR	2.5 @ 5,900 SF	2.0 @ 4,802 SF
BUILDING HEIGHT	50'-0"	37'-8"
REAR YARD SETBACK	15'-0"	15' REQ'D, 47' - 6" PROVIDED @ NEW ADDITION
GAR	0.40	0.40
IZ	N/A	N/A



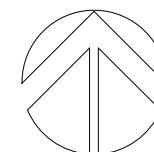
3223 M Street NW  
Washington, DC



**3223 M Street NW**

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SCALE:As indicated

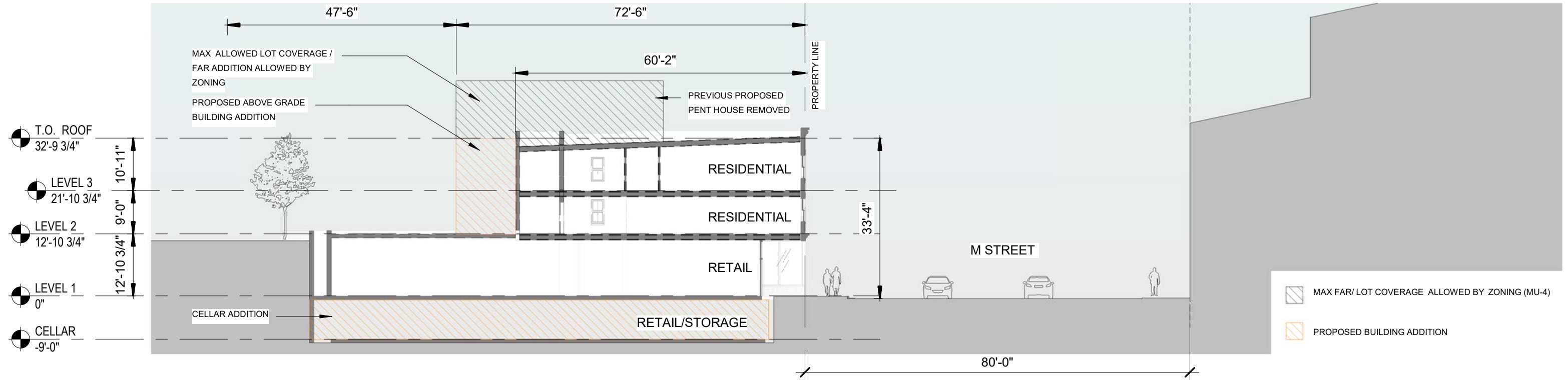


**LEEDESIGN.STUDIO**

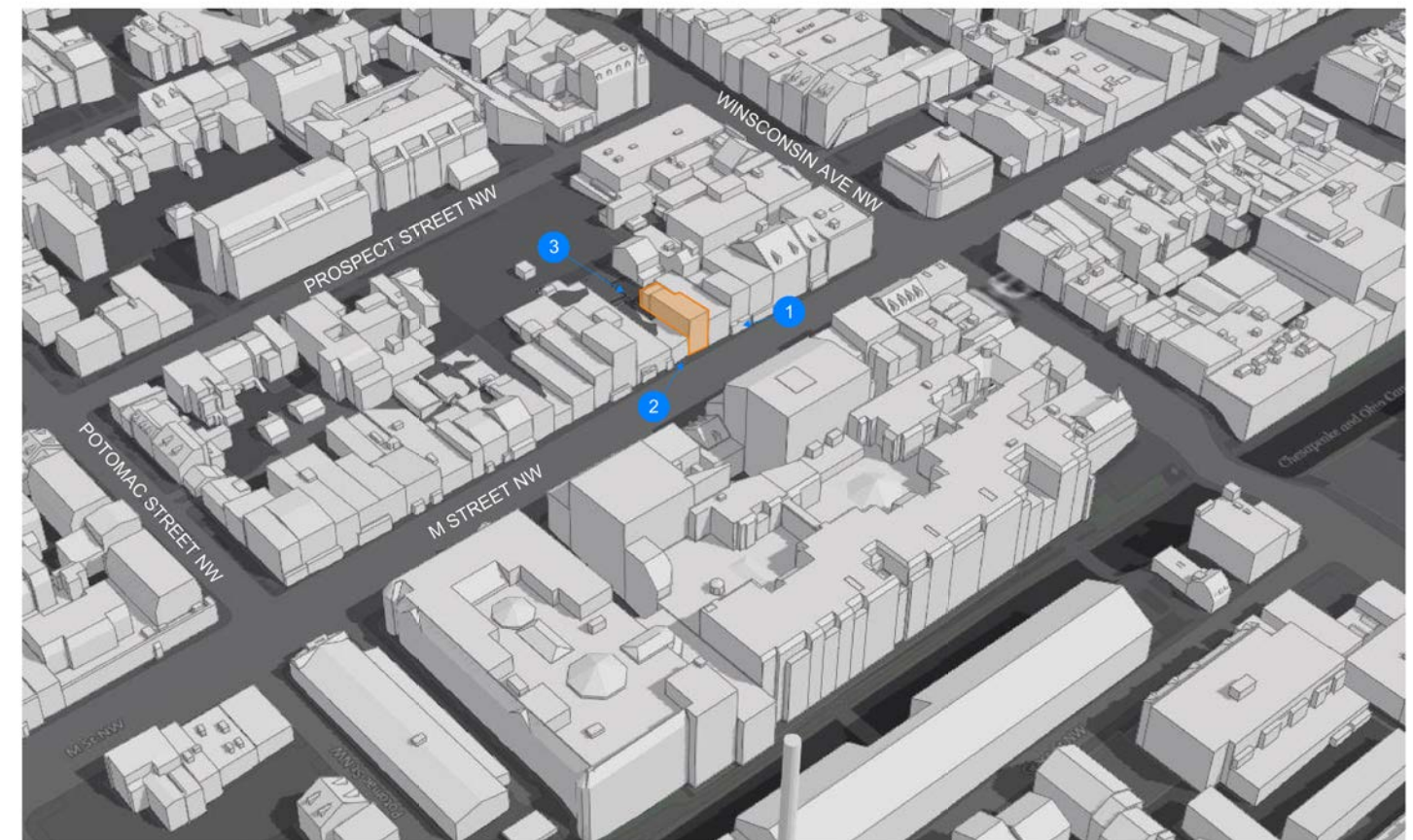
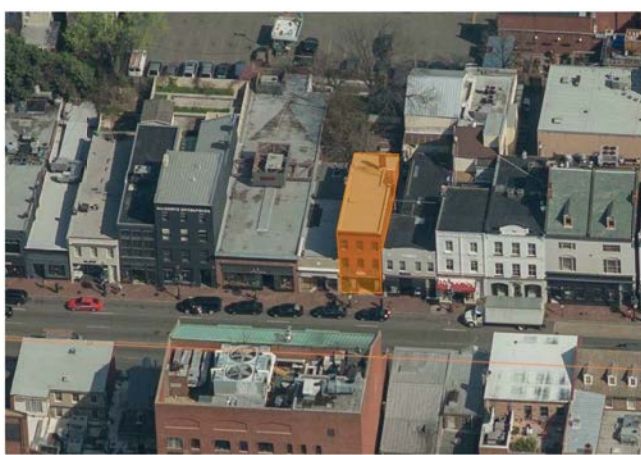
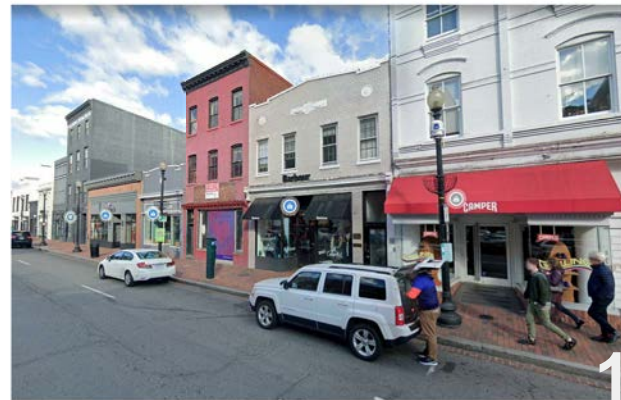
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## CONTEXT VIEWS



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## 3223 M Street NW

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SCALE: 1" = 20'-0"

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EXISTING CORNICES TO BE CHEMICALLY STRIPPED AND PAINTED



EXISTING CORNICES TO BE CHEMICALLY STRIPPED AND PAINTED

EXISTING CORNICE PAINT TO BE CHEMICALLY STRIPPED AND PAINTED COLOR A2

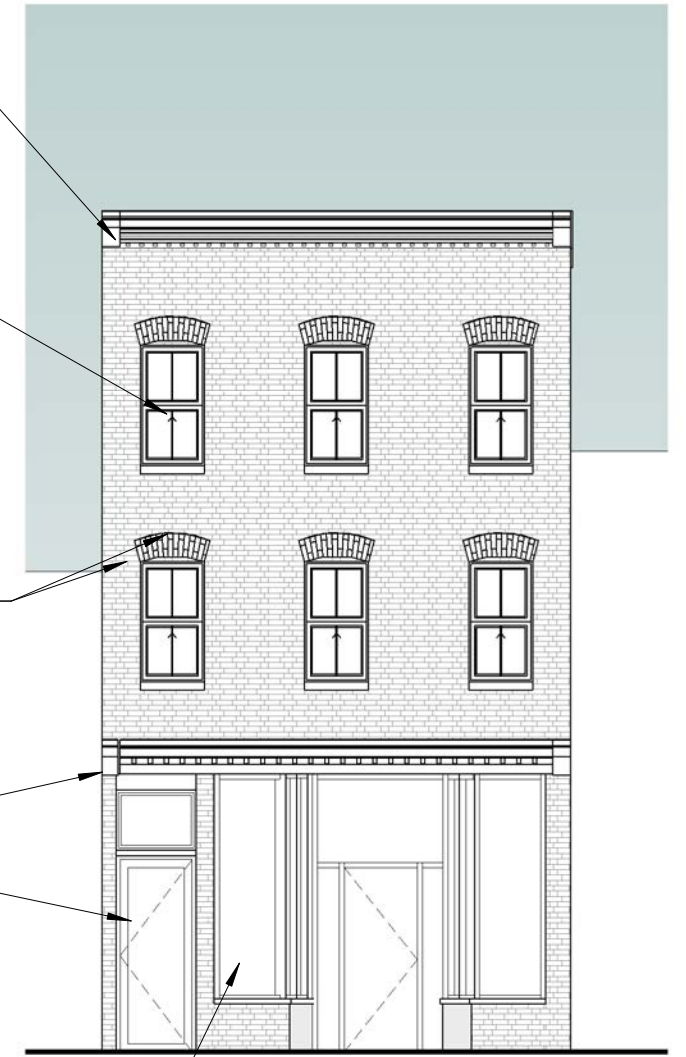
WINDOWS TO BE REPAIRED OR REPLACED WITH EXISTING PARTY WALL WINDOWS.

EXISTING BRICK PAINT TO BE CHEMICALLY REMOVED AND RESTORED TO ORIGINAL

EXISTING CORNICE TO BE PAINTED A2

ENTRY DOOR TO BE REPLACED WITH TALLER MORE HISTORICALLY ACCURATE, ALONG WITH TRANSOM

STOREFRONT TO BE REPLACED WITH NEW GLAZING SYSTEM. STOREFRONT SIZE OPENINGS AND PROPORTIONS WILL BE PRESERVED



SW 6991  
**Black Magic**  
 Interior / Exterior  
 Location Number: 251-C3

**A2**





2011



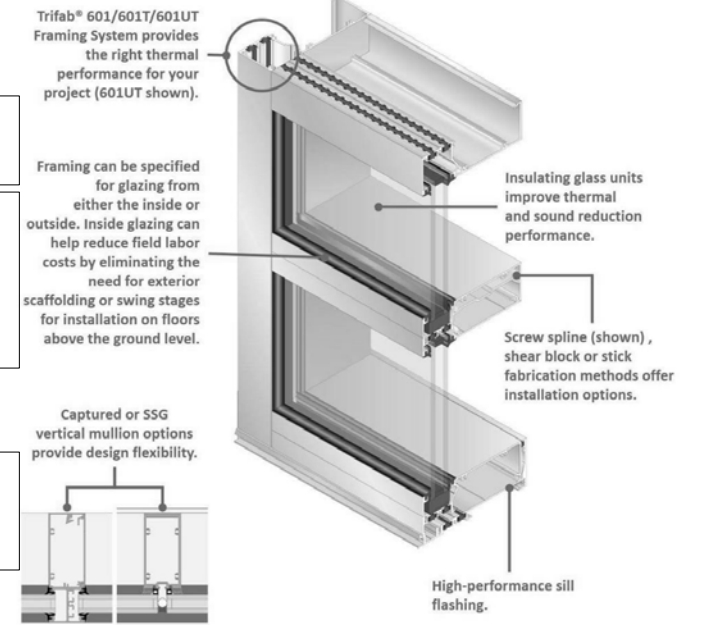
STOREFRONT GLASS RETAIL DOOR

EXISTING STOREFRONT PROFILE AND PROPORTIONS TO REMAIN. FRAMING TO BE REPLACED WITH NEW GLAZING SYSTEM

EXISTING BRICK TO REMAIN AND REPAIRED WHEN REQUIRED.

NEW WOOD DOOR AND TRANSOM FOR RESIDENTIAL ENTRY. MARVIN FL100-TRG100

TRIFAB® VERSAGLAZE® 601UT (ULTRA-THERMAL) 6" STOREFRONT



STOREFRONT - PROPOSED PROFILE: KAWNEER TRIFAB 601UT STOREFRONT



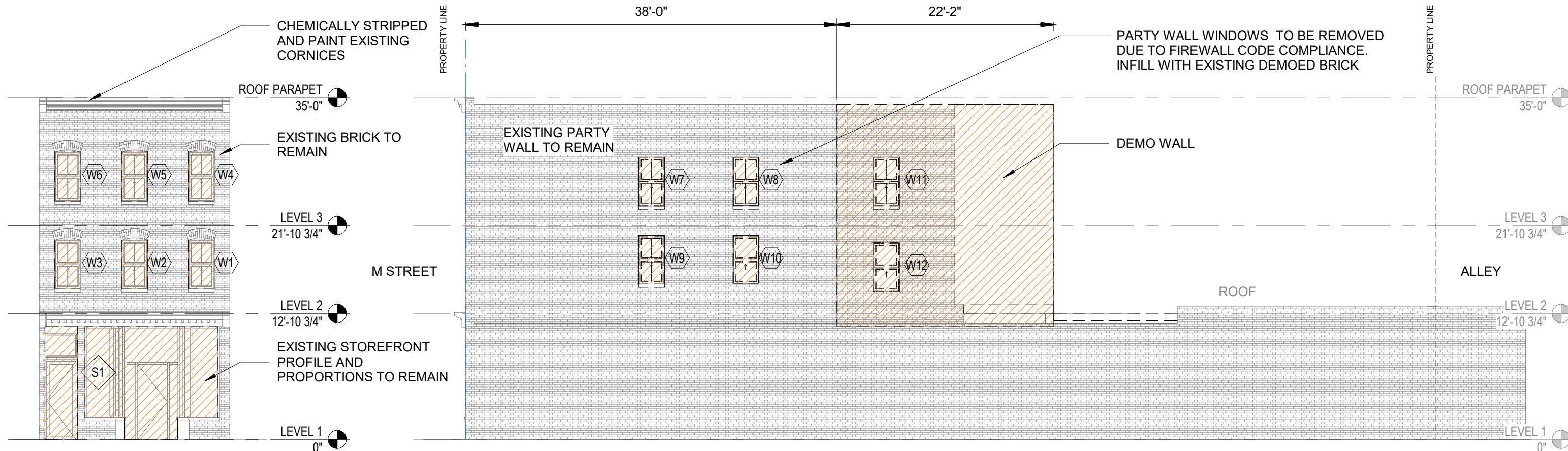
2004



1993







**EXISTING FRONT ELEVATION**

**EXISTING EAST ELEVATION**

EXISTING WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	COMMENTS	PHASE DEMO'D
W1	2'-8"	5'-0"	1	None
W2	2'-8"	5'-0"	1	None
W3	2'-8"	5'-0"	1	None
W4	2'-8"	5'-0"	2	None
W5	2'-8"	5'-0"	1	None
W6	2'-8"	5'-0"		None
W7	2'-8"	5'-0"	3	New Construction
W8	2'-8"	5'-0"	3	New Construction
W9	2'-8"	5'-0"	3	New Construction
W10	2'-8"	5'-0"	3	New Construction
W11	2'-8"	5'-0"	3	New Construction
W12	2'-8"	5'-0"	3	New Construction
W13	3'-4"	2'-6"		None
W14	2'-8"	5'-0"		None
W15	2'-8"	5'-0"		New Construction

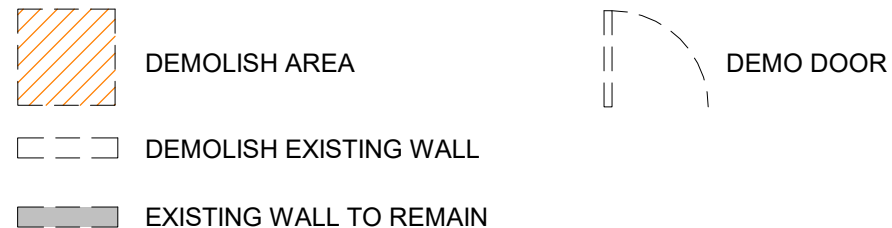
**EXISTING WINDOW NOTES LEGEND**

1. PLEXIGLASS ADHERED TO OLD WOOD
2. ROTTEN SASH
3. PARTY WALL WINDOW

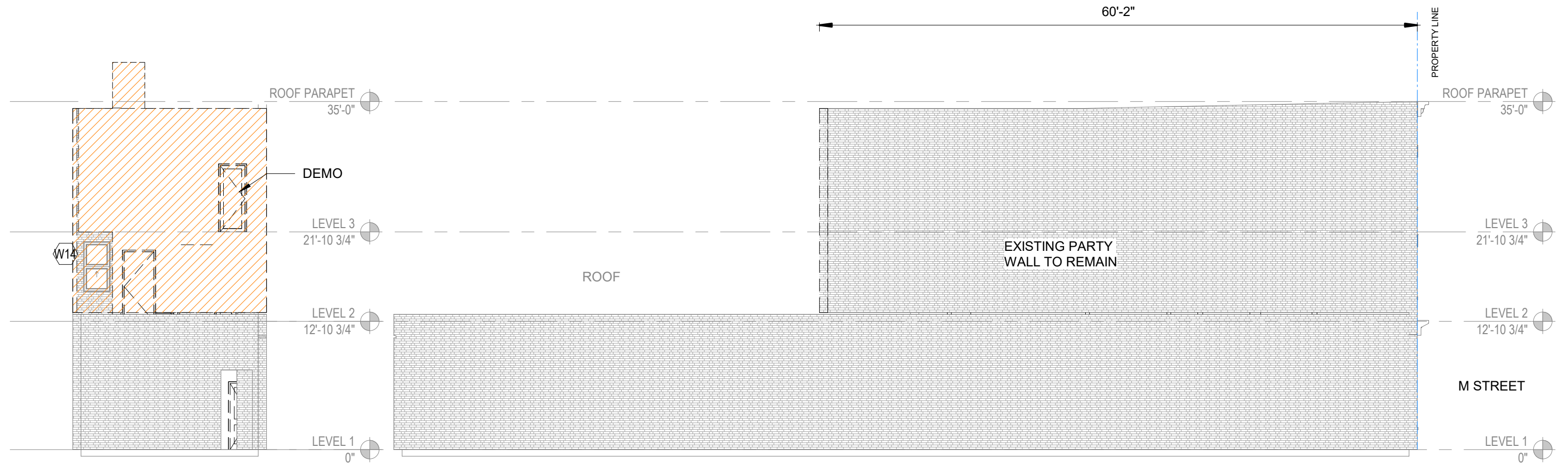
**DEMO GENERAL NOTES**

1. ALL INTERIORS WALLS TO BE DEMOLISHED.
2. EXISTING FLOORS JOIST TO BE EVALUATED FOR STRUCTURAL COMPLIANCE. SALVAGE AND REPAIR JOISTS WHEN POSSIBLE.
3. EXISTING EXTERIOR FACADE TO REMAIN AND PROTECTED UNDER CONSTRUCTION

**DEMO LEGEND**

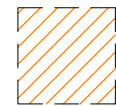
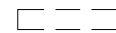

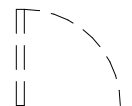






**EXISTING REAR ELEVATION**

**EXISTING WEST ELEVATION**

DEMO GENERAL NOTES	DEMO LEGEND	
<ol style="list-style-type: none"> <li>1. ALL INTERIORS WALLS TO BE DEMOLISHED.</li> <li>2. EXISTING FLOORS JOIST TO BE EVALUATED FOR STRUCTURAL COMPLIANCE. SALVAGE AND REPAIR JOISTS WHEN POSSIBLE.</li> <li>3. EXISTING EXTERIOR FACADE TO REMAIN AND PROTECTED UNDER CONSTRUCTION</li> </ol>	<p> DEMOLISH AREA</p> <p> DEMOLISH EXISTING WALL</p> <p> EXISTING WALL TO REMAIN</p>	<p> DEMO DOOR</p>



# EXISTING WINDOWS - M STREET

HPR 13

PLEXIGLASS ADHERED TO OLD WOOD REPLACED WITH EXISTING WINDOWS AT PARTY WALL.

ROTTEN SASH. WINDOWS TO BE REPAIRED WHEN POSSIBLE OR REPLACED WITH EXISTING WINDOWS AT PARTY WALL.







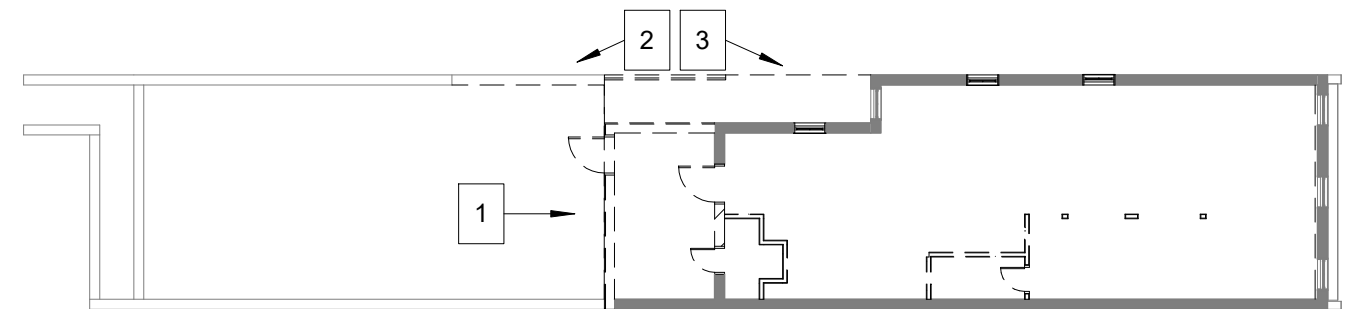
EXISTING EAST ELEVATION  
PARTY WALL WINDOWS COVERED WITH STEEL PLATES



REAR ADDITION - PLASTER WALLS / NO BRICK -NON  
HISTORIC. STRUCTURE IN BAD STATE AND NON-  
CODE COMPLIANT



EXISTING REAR ELEVATION. NON HISTORIC DOORS AND PLASTER/WOOD WALLS



KEY PLAN



# EXISTING STAIRS - GROUND LEVEL

HPR 15

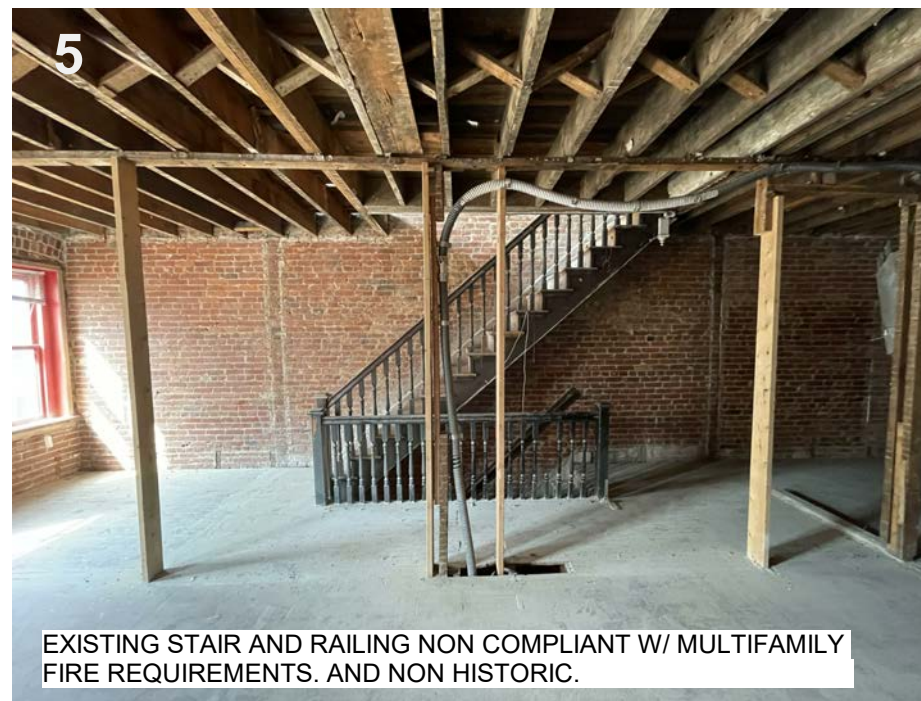
## EXISTING STAIR AND RAILING:

- NON COMPLIANT W/ MULTIFAMILY FIRE REQUIREMENTS
- NON HISTORIC.
- NON COMPLIANT W/ WIDTH AND HEIGHT CODE REQUIREMENTS
- STAIRS TO BE REPLACED WITH WOOD RATED STAIRS TO COMPLY WITH FIRE AND MEANS OF EGRESS REQUIREMENTS

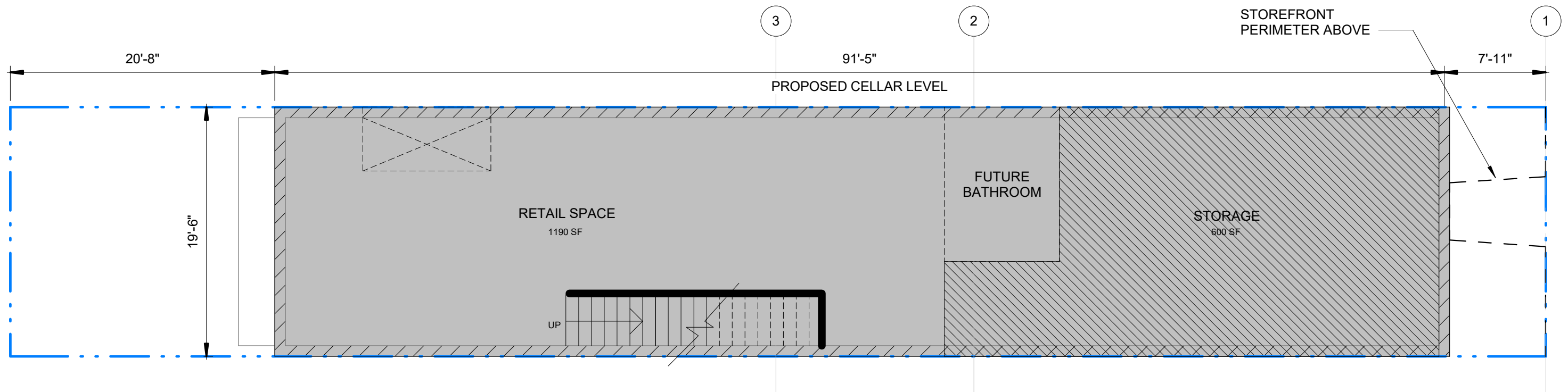


STAIRS FROM GROUND LEVEL TO LEVEL TWO. METAL PLATFORM WITH ATTACHED BANISTER AN NON CODE COMPLIANT STAIRS









**CELLAR FLOOR PLAN**

PROPERTY DOES NOT HAVE ANY EXISTING LANDSCAPING. NEW PROPOSED CELLAR AND EXCAVATION WILL NOT IMPACT THE NEIGHBORING LOT.



EXISTING PARTY WALLS TO REMAIN

EXISTING FIRST LEVEL. FLOOR TO BE DEMO AND EXCAVATED FOR NEW CELLAR.

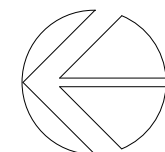
3223 M Street NW  
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**3223 M Street NW**

10/25/2021

SCALE: 1/8" = 1'-0"



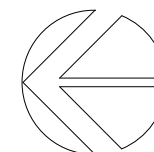
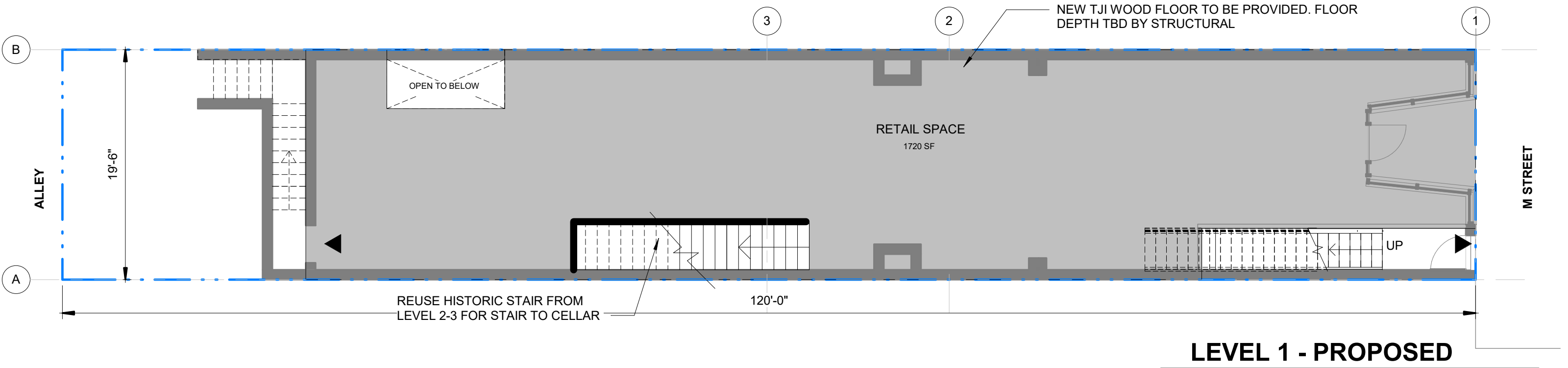
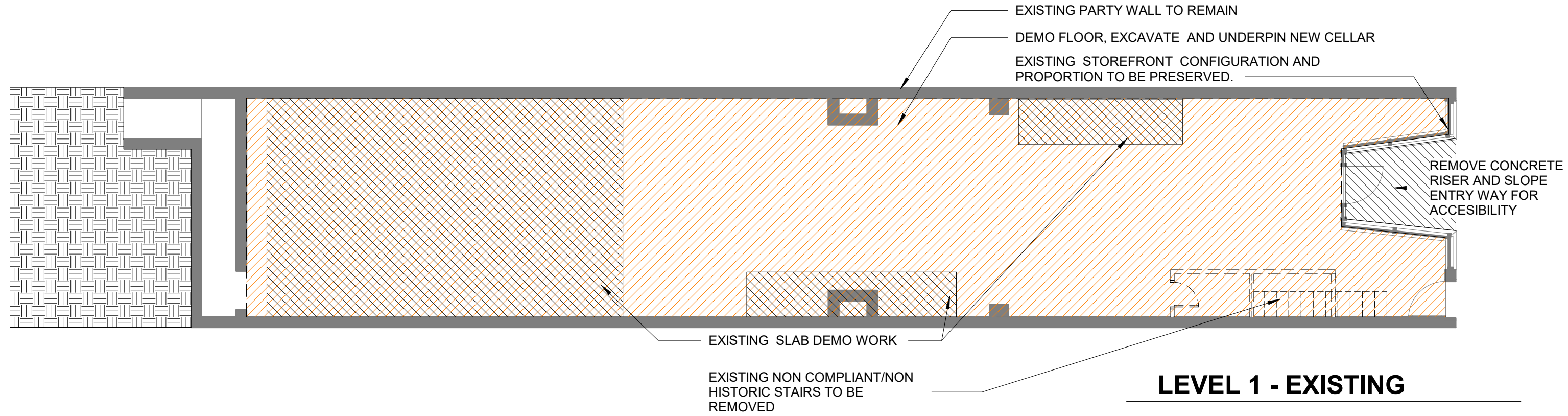
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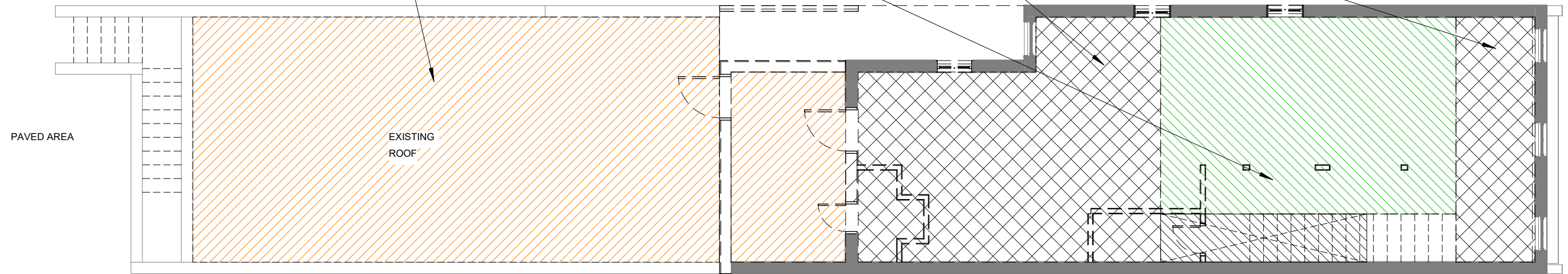




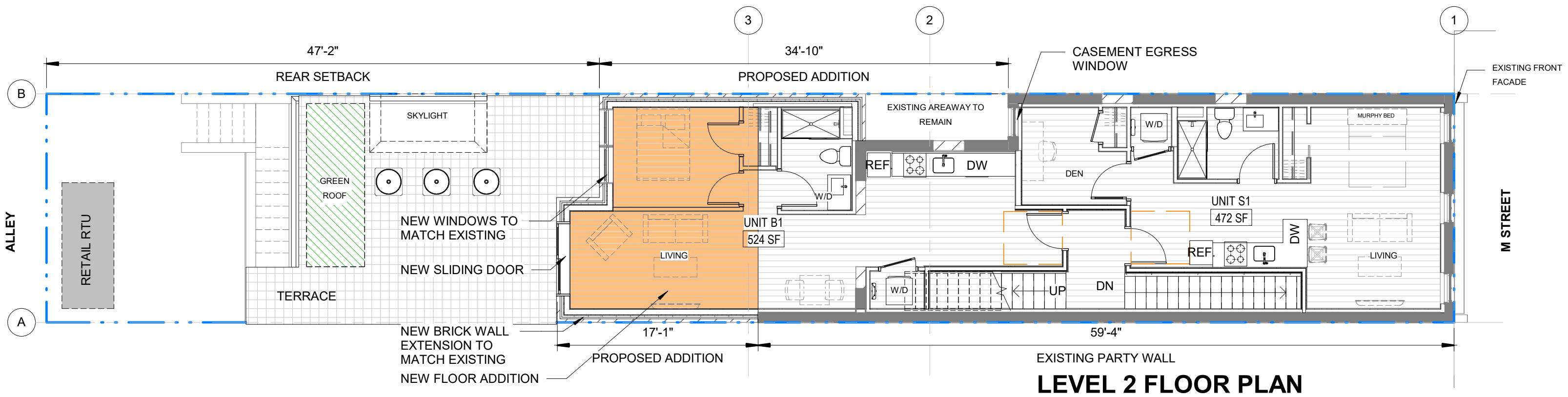
ZONE 1: EXISTING FLOOR JOIST TO BE PRESERVED AND SISTERED WITH NEW JOIST WHEN REQUIRED. SUBSTANTIAL DAMAGED FLOOR JOISTS TO BE REMOVED.

ZONE 3: DEMO FLOOR FOR ADDITION AND REAR AREA FOR IMPROVED STRUCTURE

ZONE 2: EXISTING FLOOR AREA TO BE DEMOLISHED FOR NEW STAIR LOCATION



## LEVEL 2 - EXISTING



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### 3223 M Street NW

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SCALE: 1/8" = 1'-0"

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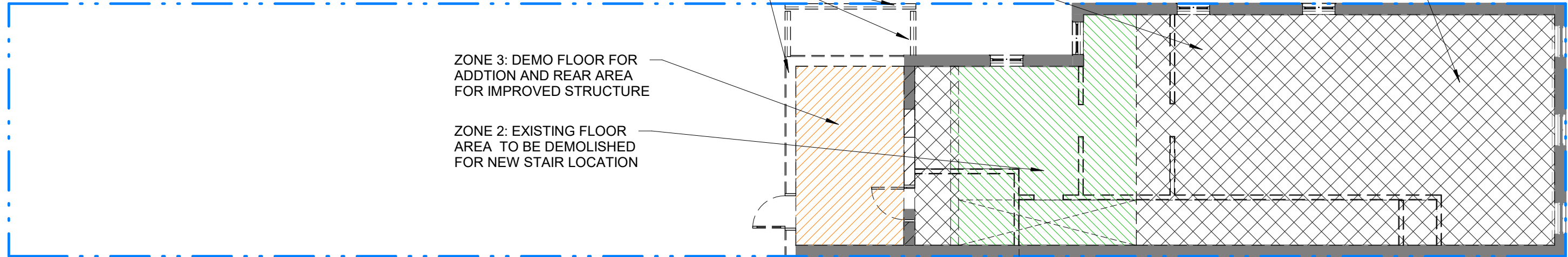
EXISTING FLOOR JOIST TO BE EVALUATED FOR STRUCTURAL COMPLIANCE. BROKEN JOISTS TO BE REPAIRED

ZONE 1: EXISTING FLOOR JOIST TO BE PRESERVED AND SISTERED WITH NEW JOIST WHEN REQUIRED. SUBSTANTIAL DAMAGED FLOOR JOISTS TO BE REMOVED.

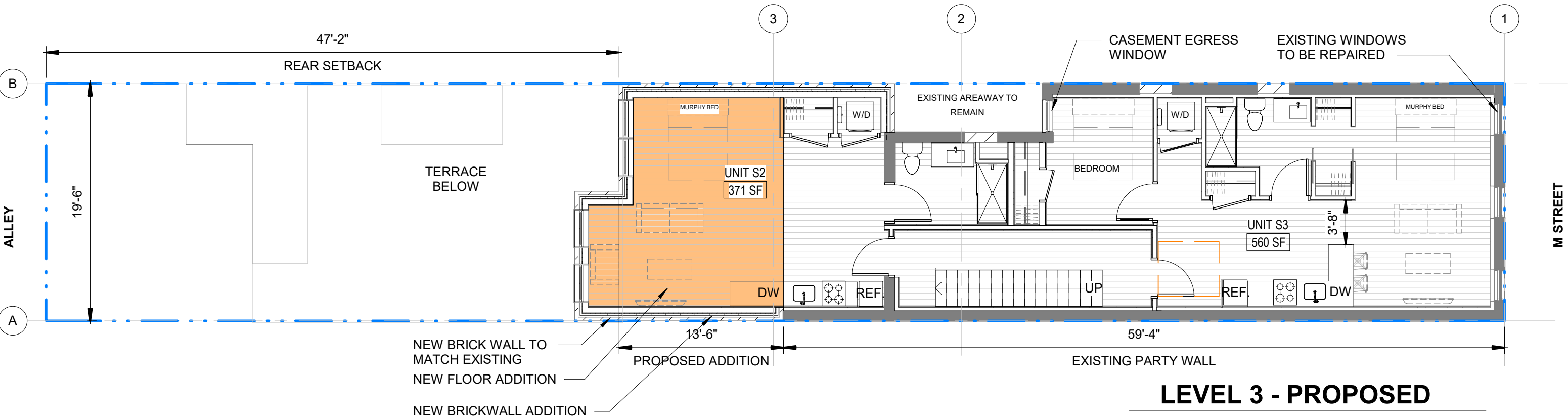
DEMO WALLS

ZONE 3: DEMO FLOOR FOR ADDITION AND REAR AREA FOR IMPROVED STRUCTURE

ZONE 2: EXISTING FLOOR AREA TO BE DEMOLISHED FOR NEW STAIR LOCATION



## LEVEL 3 - EXISTING



## LEVEL 3 - PROPOSED

3223 M Street NW  
Washington, DC



### 3223 M Street NW

10/25/2021

SCALE: 1/8" = 1'-0"

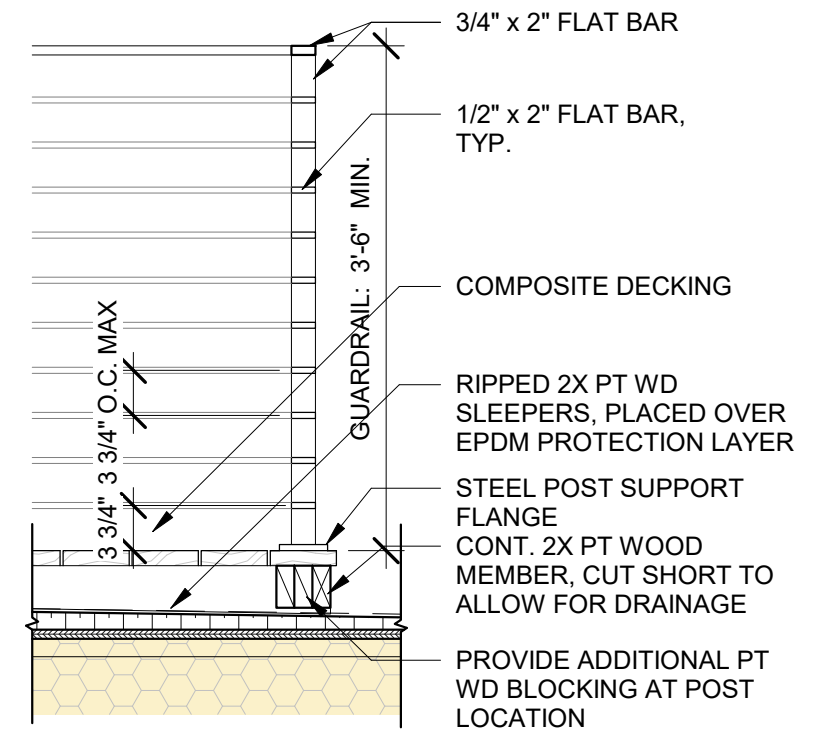
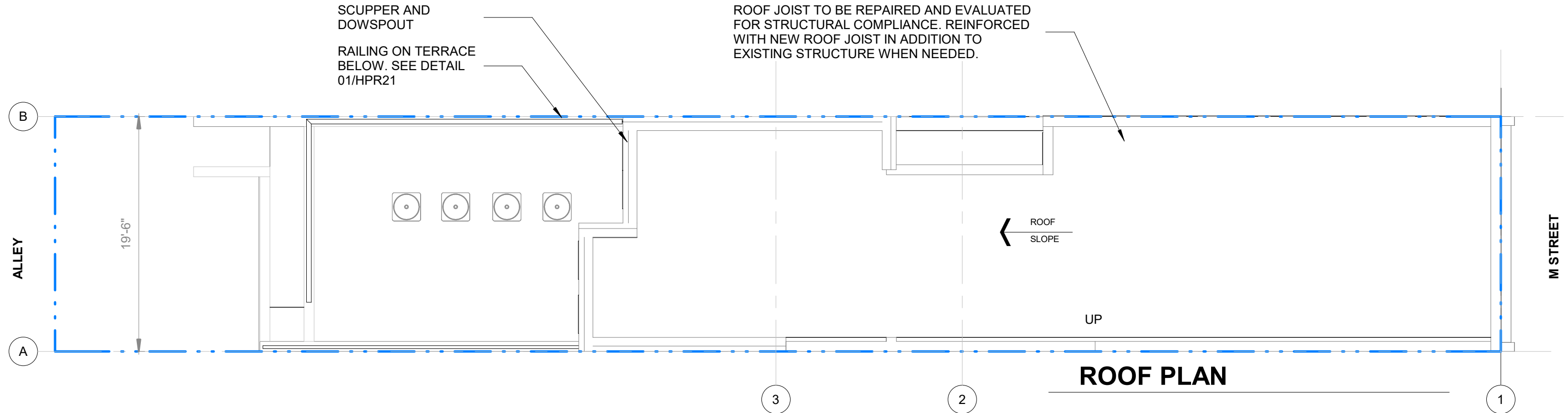
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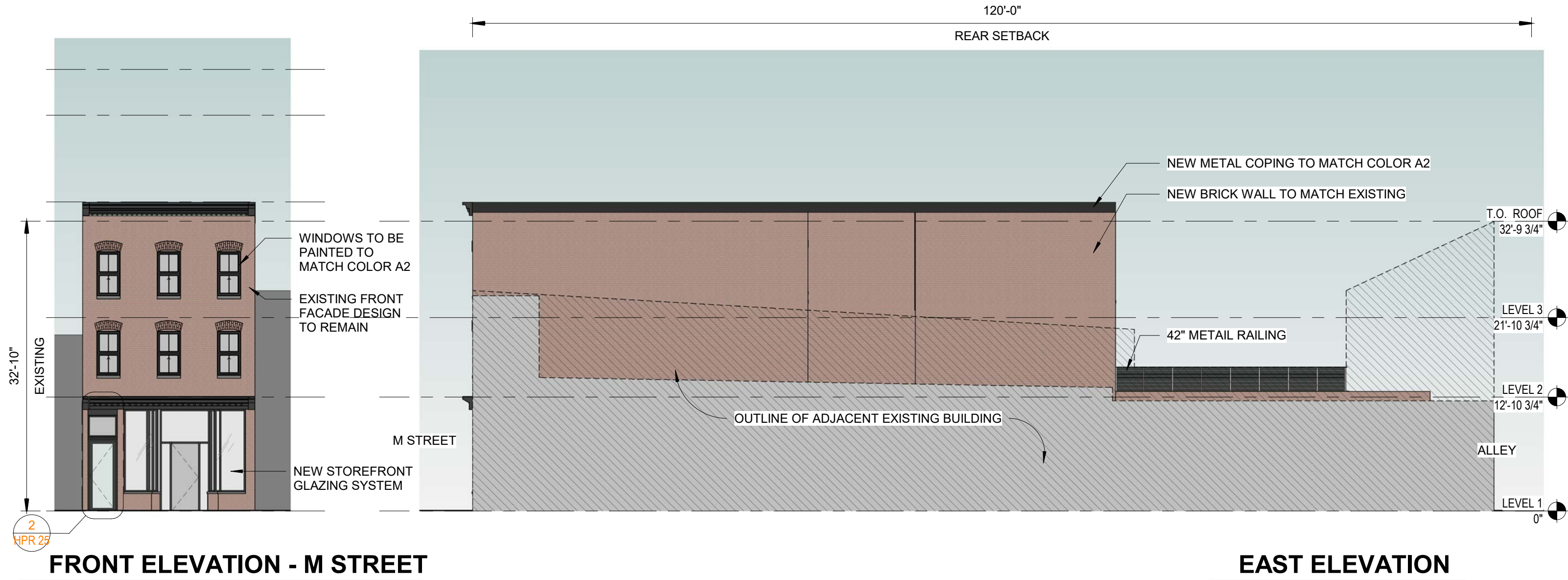




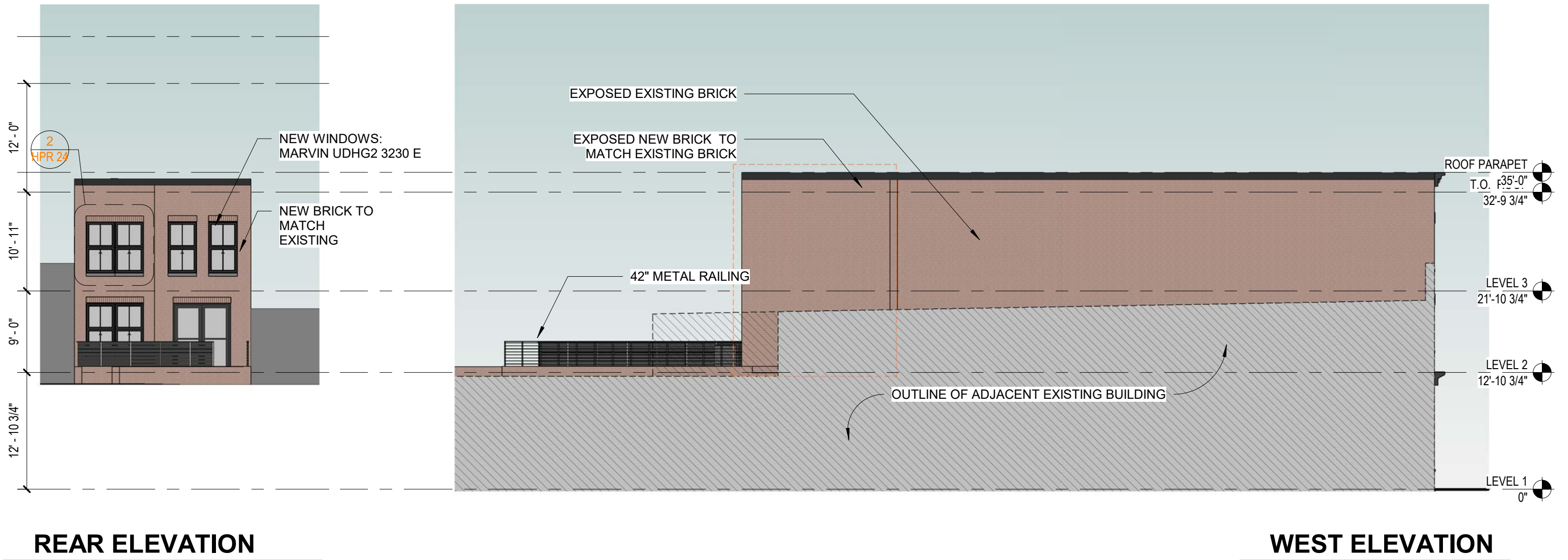
01 RAILING DETAIL







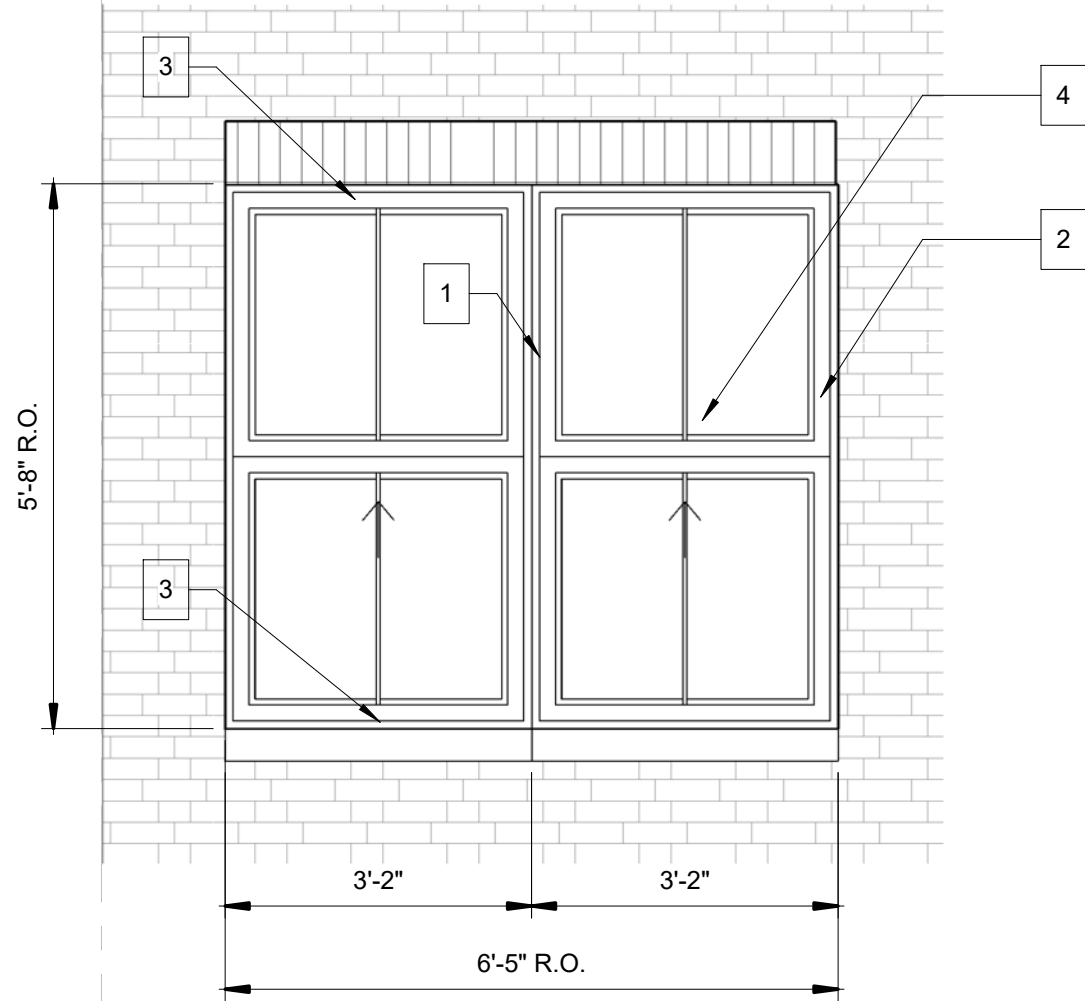




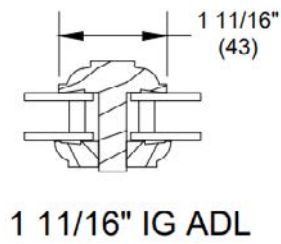


# WINDOW DETAILS

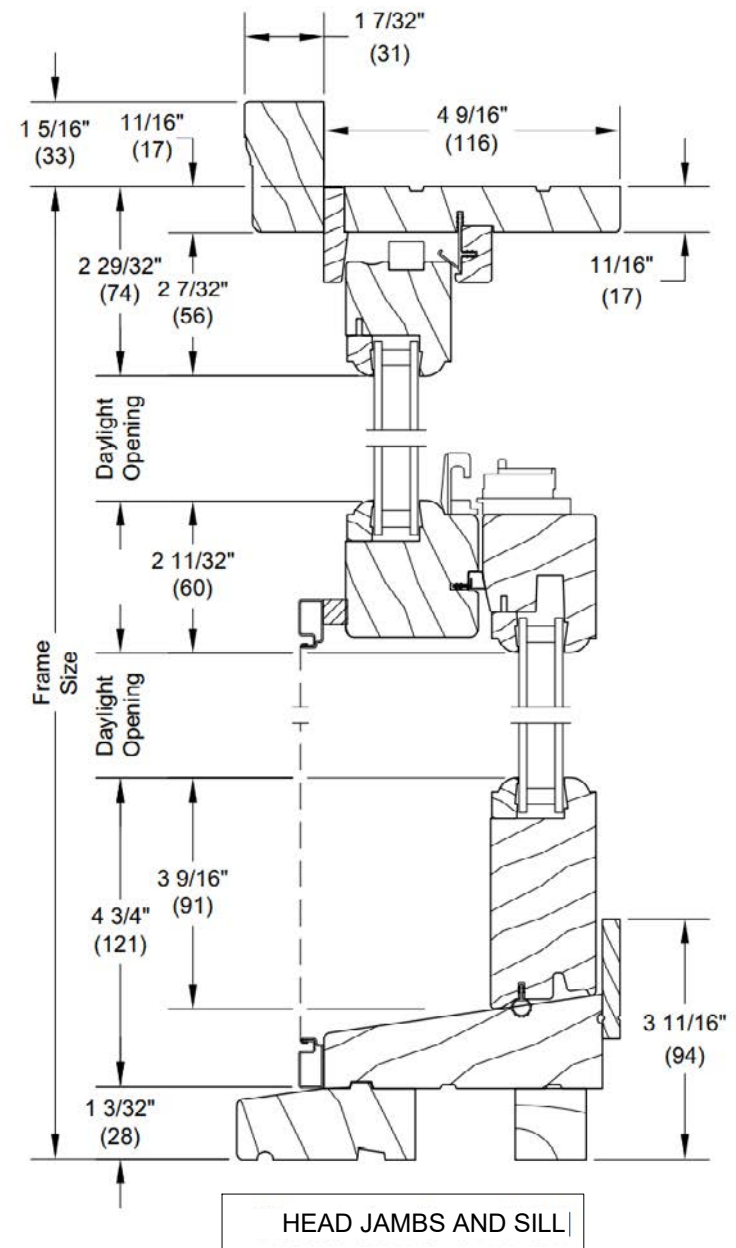
# HPR 24



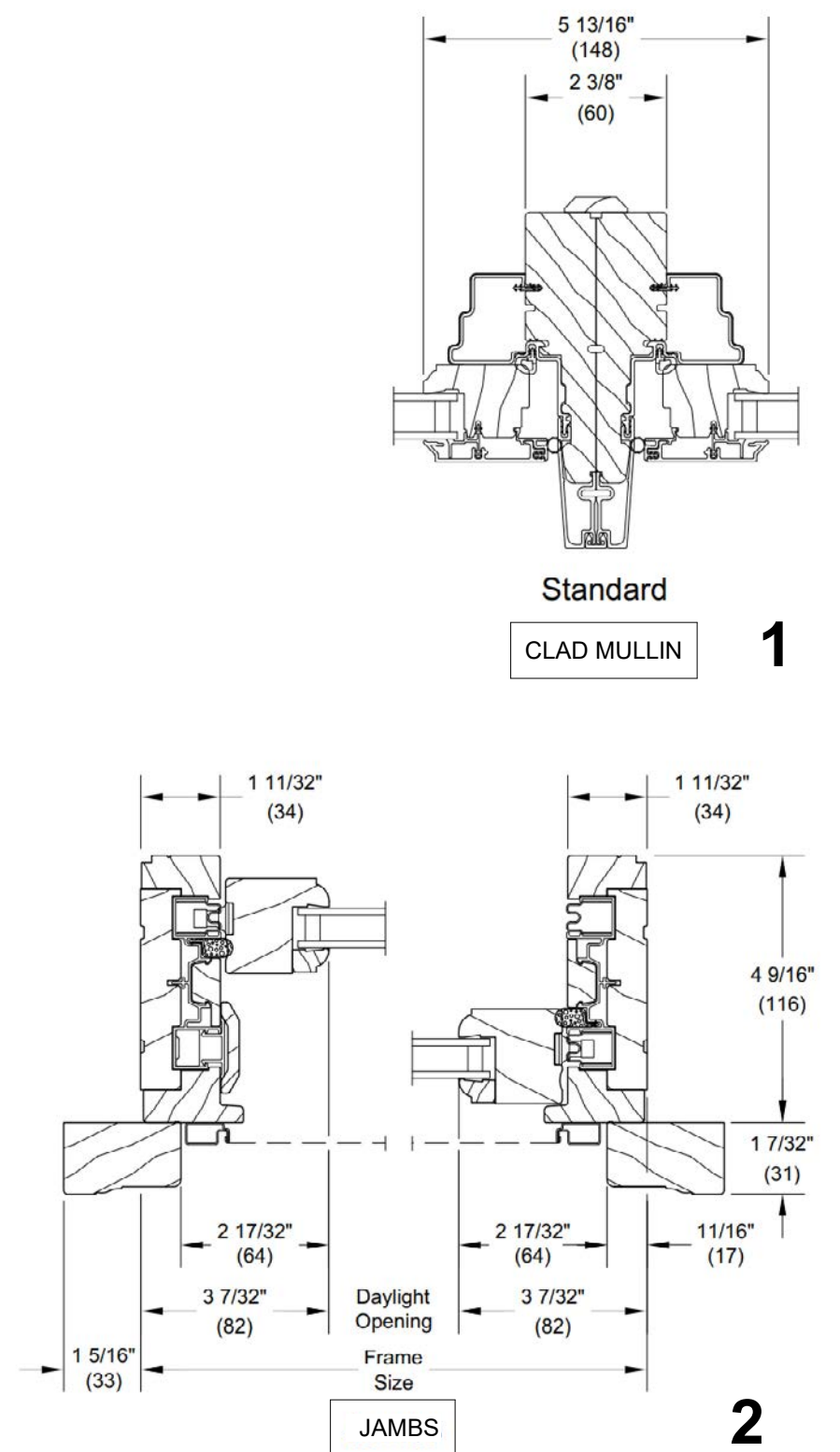
REAR WINDOWS:  
MARVIN SIGNATURE ULTIMATE DOUBLE HUNG UDHG2 3230 E



1 11/16" IG ADL  
DIVIDED LITE MUNTIN **4**



HEAD JAMBS AND SILL **3**



JAMBS **2**

Standard  
CLAD MULLIN **1**

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Washington, DC



3223 M Street NW

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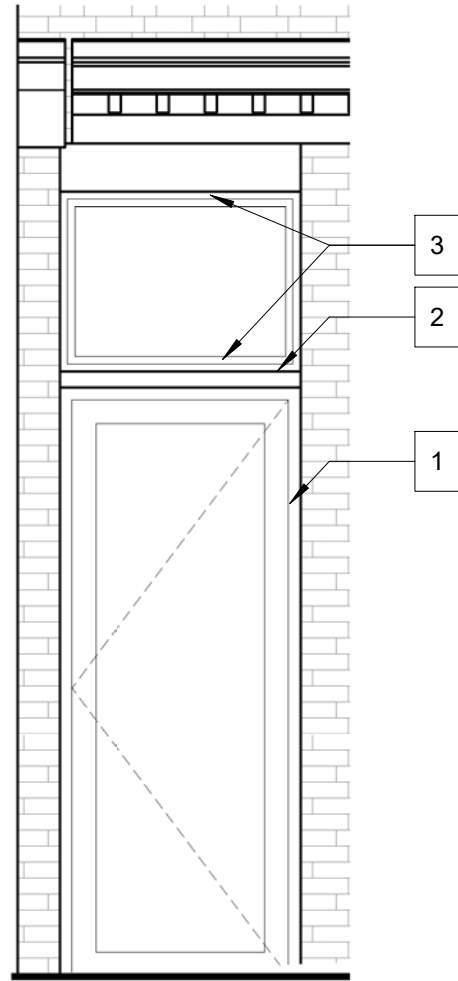
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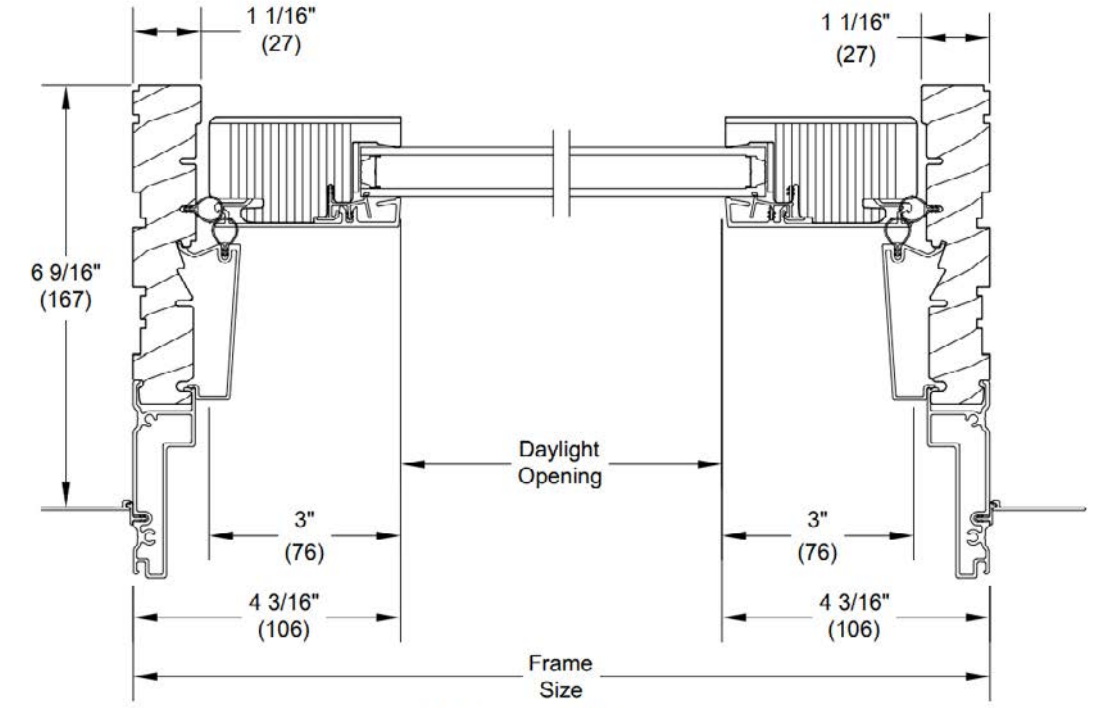


# MAIN RESIDENTIAL DOOR DETAILS

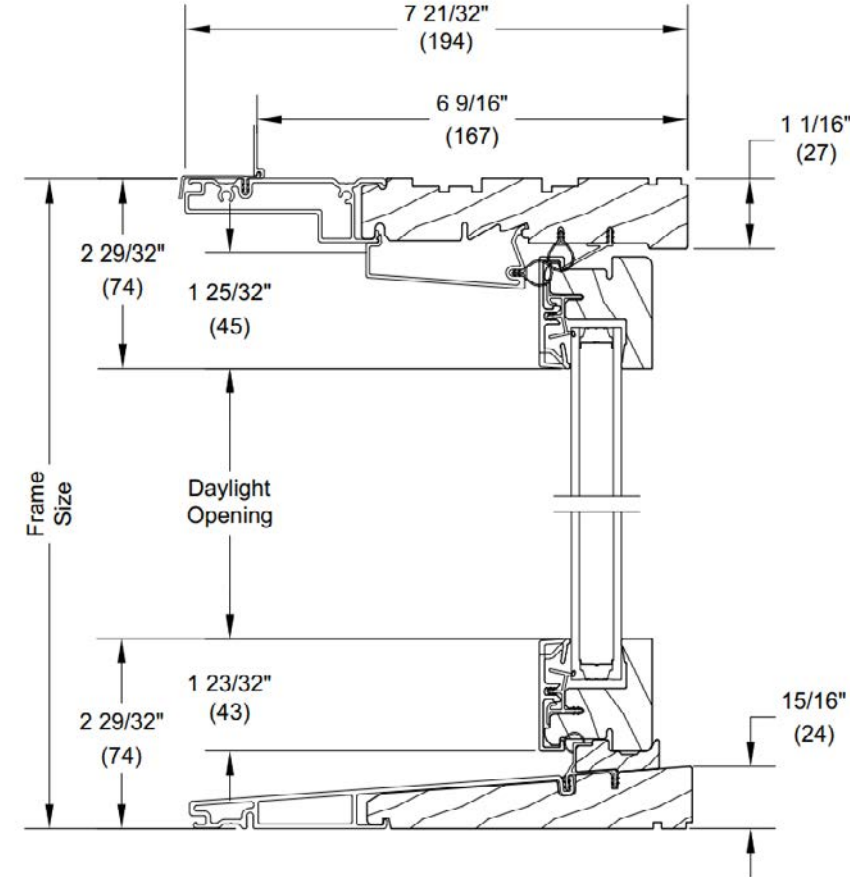
HPR 25



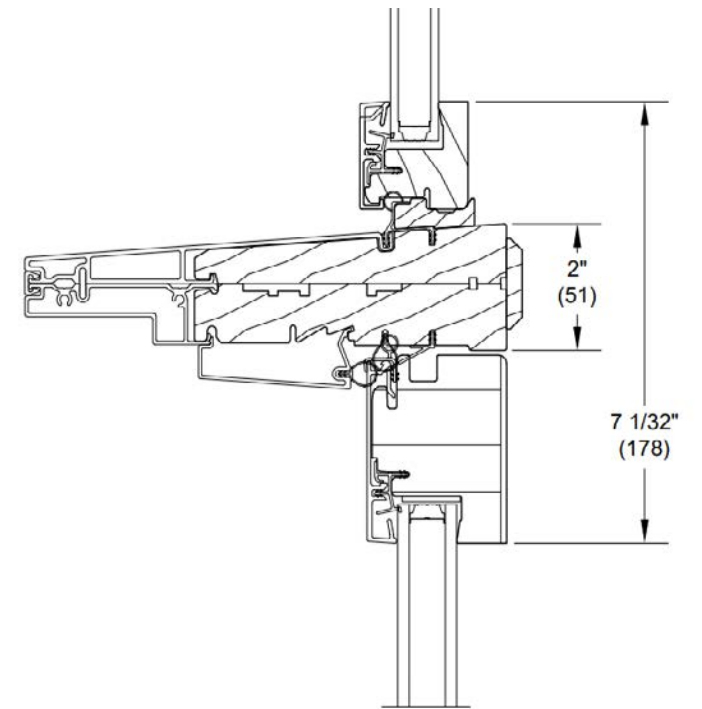
MAIN RESIDENTIAL ENTRY DOOR:  
MARVIN SIGNATURE ULTIMATE IN SWING DOOR TRANSOM  
FL100-TRG100



In Sash Ultimate Transom Jamb **1**



6 9/16" In Sash Ultimate Transom Head Jamb and Sill **3**



Rectangular Ultimate Transom Over Ultimate In swing Door **2**

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