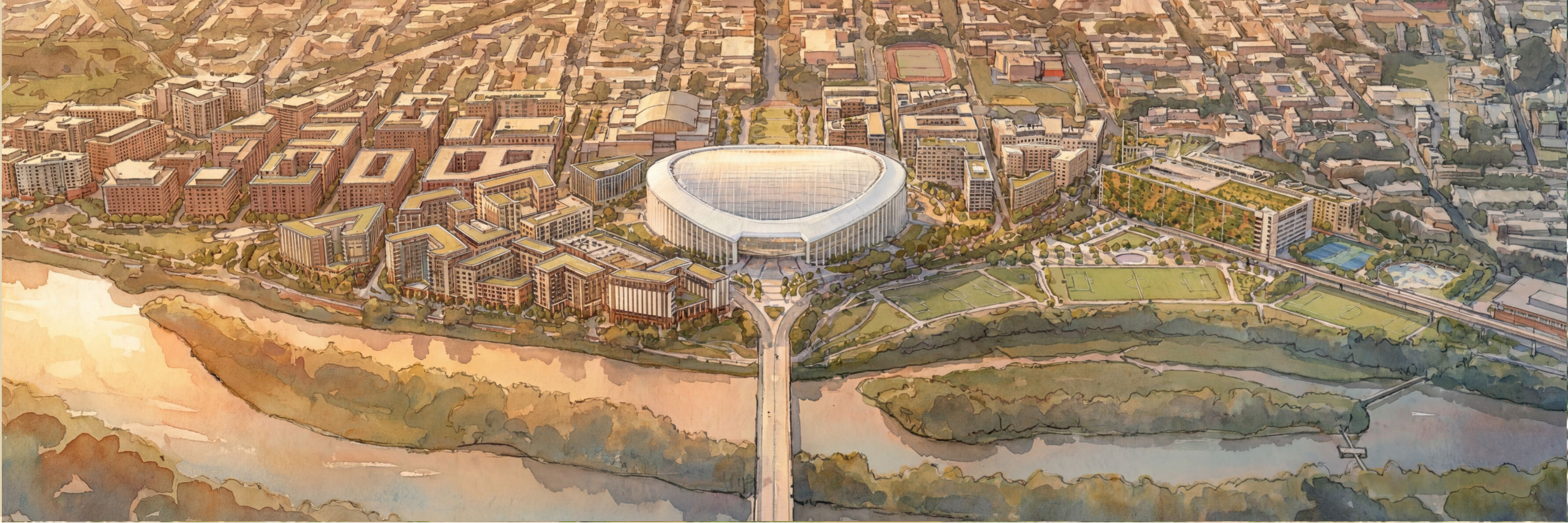




The RFK Campus Master Plan

Commission of Fine Arts – September 17, 2026

District of Columbia
Office of Planning



Agenda

- Federal Framework
- Master Plan Objectives and Timeline
- Engagement To-date
- Overview of the Master Plan
- Next Steps



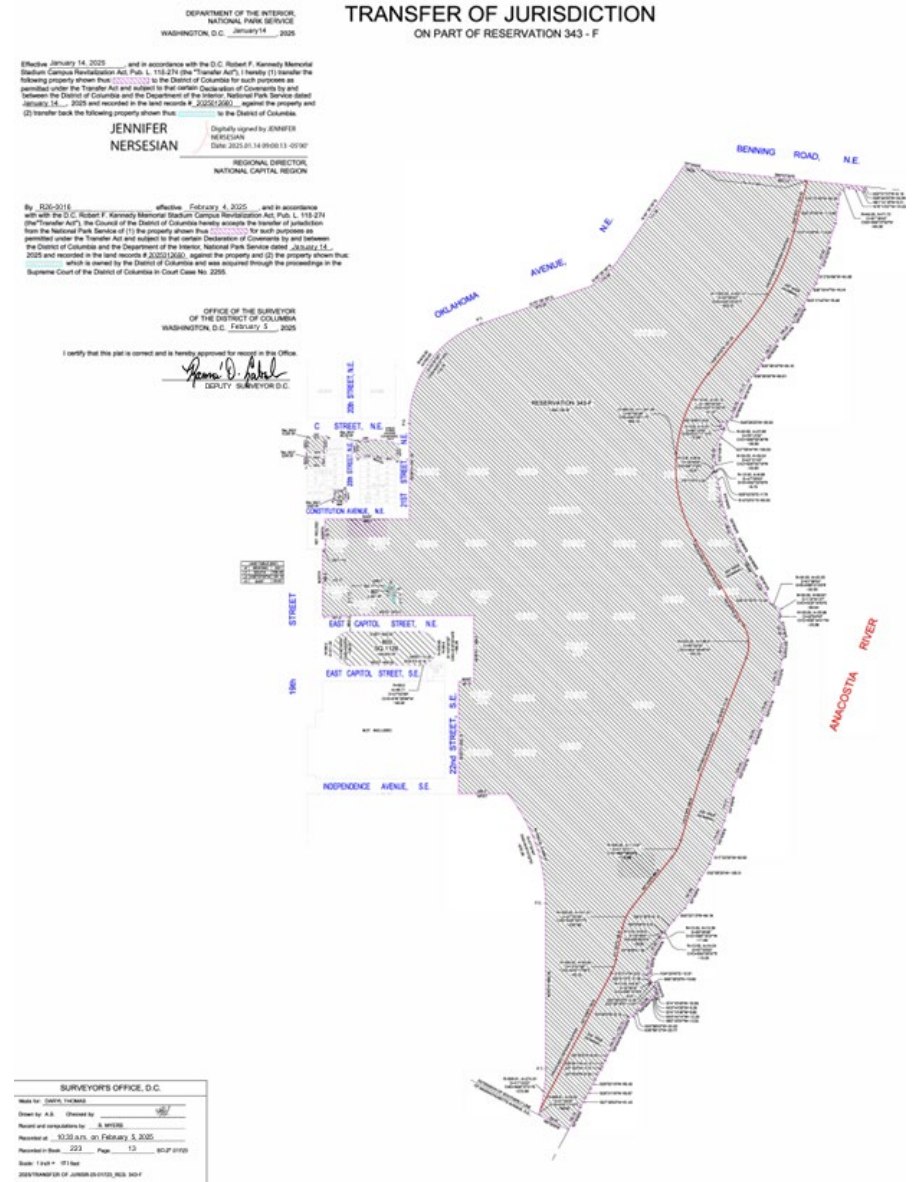
Federal Framework

The RFK Memorial Stadium Campus Revitalization Act permits the development and use of the Campus for:

- Stadium purposes, including training facilities, offices, and other structures necessary to support the stadium
- Commercial and residential development
- Facilities, open space, and public outdoor opportunities

The federal legislation further allows for the development of the stadium, parking garages, and recreation facilities as approved existing uses.

Given timing for delivery of the stadium and ancillary uses (public buildings), **the District is proceeding with federal design review and construction of these public buildings in parallel with master planning efforts** for commercial and residential development.



Master Plan Objectives

and Timeline

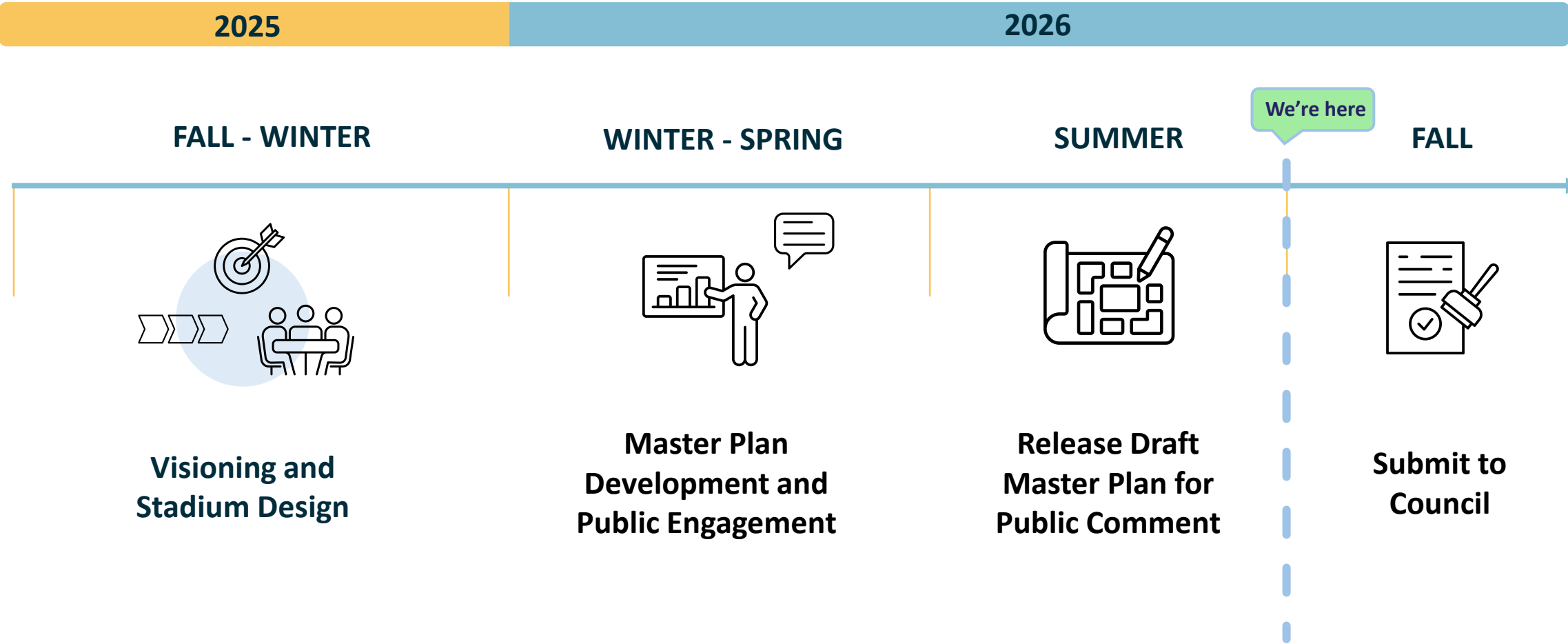
RFK Campus Master Plan Objectives

- **Outline the District's vision** for future redevelopment of the site.
- **Describe the land uses and overall development program**, including housing, retail, and recreational amenities.
- **Coordinate overall planning and site design with the Stadium** and related development plans.
- **Create a street network that improves access to the Anacostia River** and integrates new development with surrounding neighborhoods.
- **Recommend zoning designations** for each district.
- **Provide urban design guidance** for buildings, parks and open space, and streetscapes.



Illustrative rendering of Riverfront District

RFK Campus Master Plan Timeline



Engagement To-Date

Engagement

26 Engagements

- 3 Stakeholder forums
- 6 Community meetings
- 2 Community site walks
- 2 Surveys
- 2 Meet and Greets
- 2 Town Halls

5 Community Workshops



Draft Plan Comment Period (6/30-8/14):

- 1,100 survey participants
 - 2,200+ Comments
- 320 emails and letters

2/13/25	Kingman Park Community Meeting
3/6/25 and 3/7/25	Stakeholder Forums (Business, Recreation , and Sports stakeholder groups)
4/27/25	Commanders Deal Announcement
5/22/25	RFK Site Community Town Hall
6/8/25	RFK Fields Meet and Greet with Parents
7/12/25	Anacostia River Tour with Environmental Stakeholders
9/15/25	Business Engagement Meet and Greet
10/22/25	RFK Stadium and Campus Redevelopment Community Meeting
11/19/25	Scoping Meeting for the Redevelopment at the RFK Memorial Stadium Campus
12/4/25	NCPC Informational Presentation
12/17/25	RFK Stadium Campus Virtual Community Meeting
2/4/26	RFK Stadium and Campus Redevelopment Community Meeting
2/5/26	NCPC concept review hearing for the New Stadium at RFK Campus
3/16/26	RFK Campus Master Plan ANC and CBO Briefing
3/24/26 and 3/28/26	RFK Campus Master Plan Open Houses
4/18/26 and 4/23/26	RFK Campus Community Site Walks
4/20/26 – 4/24/26	RFK Master Plan Focus Groups
4/28/26	RFK Campus NEPA Meeting
6/15/2026	RFK Campus Master Plan ANC and CBO Briefing
6/30/2026	RFK Campus Master Plan Public Webinar – Draft Plan Release

Community Feedback on Built Form and Character

1. Promote high density development to support housing production goals
2. Transition building heights down towards the surrounding neighborhoods
3. Use building materials that are complementary to existing residential neighborhoods like Capitol Hill and Kingman Park
4. Reduce the visual impact of the two parking garages on nearby neighborhoods
5. Promote walkability through wide sidewalks and pedestrian paths with generous tree canopy
6. Keep the waterfront open, green, and accessible to all



Promote walkability and increased access to the riverfront



Building form and massing transitions to create visual interest



Integrate height transitions to nearby lower scale homes with complementary building materials

Overview of the Master Plan

Master Plan Structure

Chapter 1: Introduction

Introduces the master plan and its role in guiding future development; **establishes the District's vision and goals** for the future RFK campus; details the site's history; and summarizes the planning and engagement process.

Chapter 2: Development Framework

Outlines existing and new mobility networks; establishes a network of parks and open space; **describes the character, development program, and public realm strategy** of each site district.

Chapter 3: Design Guidelines

Guides the look and feel of new development, including **streetscape design**, viewshed preservation, **building form, heights and transitions**, sustainability principles, **parks and open space design**, and placemaking elements.



Examples of the master plan content and layout

1. Introduction - The Vision

The RFK Campus will become a vibrant, inclusive, and resilient riverfront district that reconnects communities, expands economic opportunity, and celebrates the cultural and recreational life of Washington, DC.

5,000-6,500
New housing units

30% affordable housing units

30% of site area
New parks and open spaces

An enhanced Anacostia River
Riparian Zone

\$4 billion
In new tax revenue over 30 years

30,000 construction jobs
2,000 permanent jobs

Investments in enhanced Multimodal
Transportation Network

6,000 new garage parking spaces

* 8,000 total parking spaces on day one including surface parking

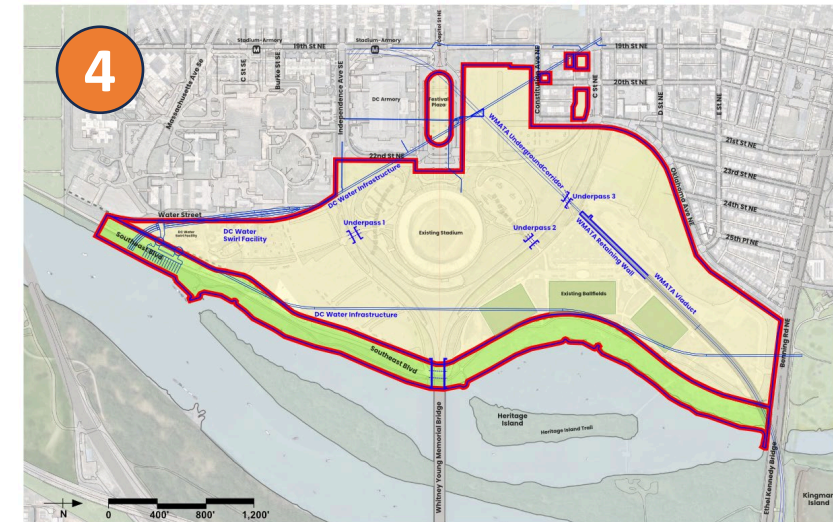
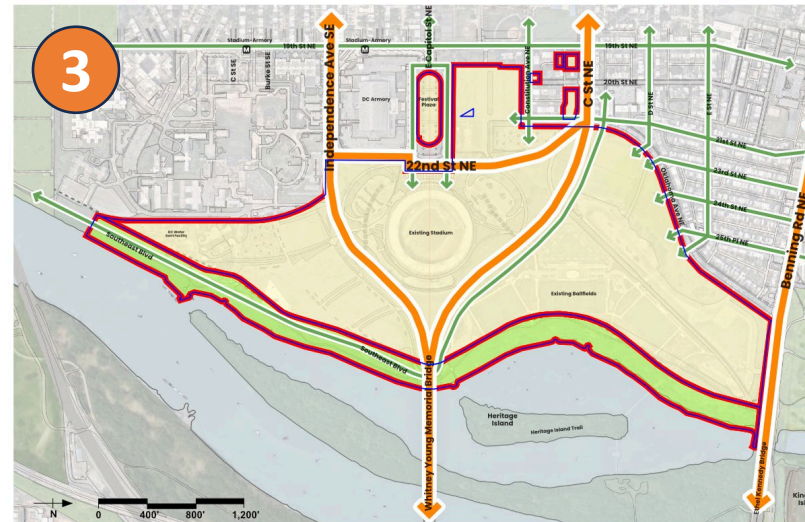
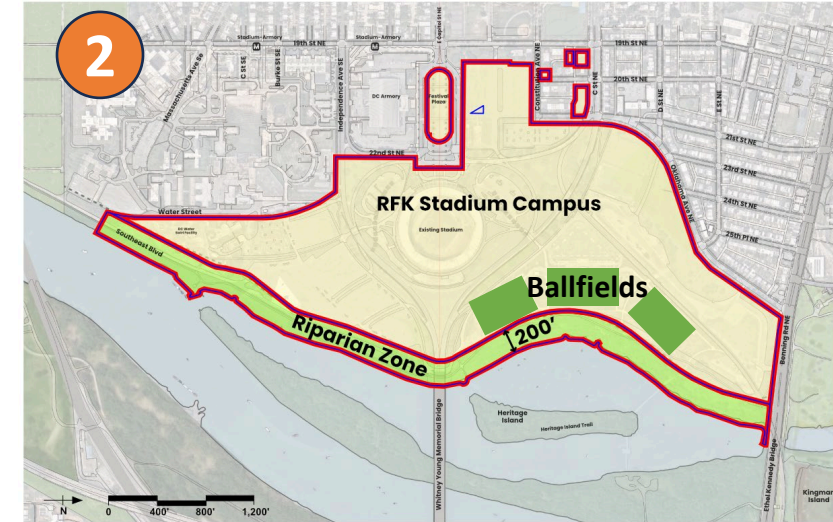
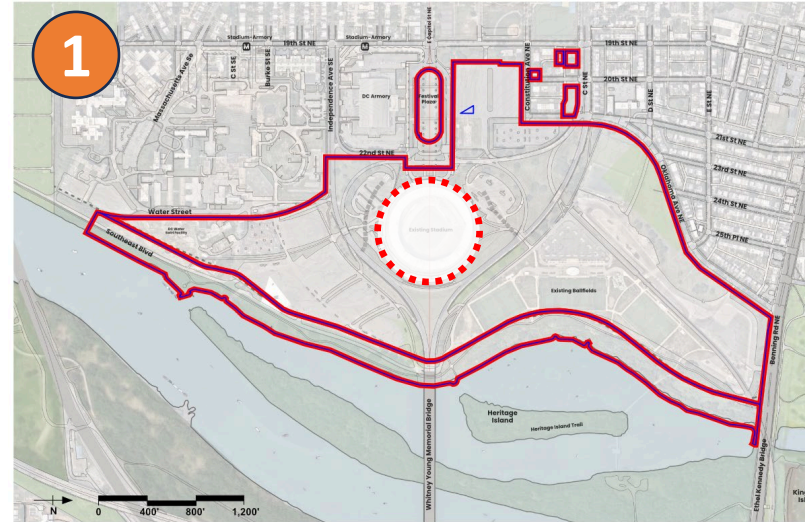
Gameday: The RFK Campus includes a flexible series of open spaces that will act as an extension of the stadium on gamedays. Visitors will have multiple ways to get to the site, and new public spaces will be sized to handle crowds and pre-event activities.



Every Day: The RFK Campus also provides walkable amenities, green spaces, and community gathering places for everyday by neighbors and visitors. Improved connections to the Anacostia River and new recreational features, includes a Sportsplex, will complete the campus.

Site Givens

1. Site TOJ boundary and stadium location
2. Riparian Zone (200-foot buffer) and existing ballfields
3. Existing roadways:
 - east-west Independence Avenue and C Street connecting to Whitney Young Memorial Bridge
 - north-south 22nd Street
4. Existing critical infrastructure including underground utilities and metro viaduct



2. Development Framework

The Development Framework describes existing and new mobility networks and introduces a series of parks and open spaces that will comprise the RFK Memorial Park system. It establishes land use and building recommendations for future zoning and implementation of the master plan.

Each Site District's page includes descriptions of:

- **Site Character:** The street-level and pedestrian experience
- **Use and Programming:** Proposed uses and amenities, including anticipated residential and commercial development
- **Urban Design and Built Form:** Building heights, form, and transitions to surrounding areas
- **Public Realm and Streetscape:** Streetscape design characteristics and proposed program and activation of public spaces
- **Mobility and Connectivity:** Key mobility and connectivity features and enhancements



Character Site Districts

2.a Stadium District

Site Character: Entertainment destination connected to the stadium, entry plaza, and concessions areas

Land area:

Approximately 29.3 acres

Anticipated uses:

- Commercial (office, retail, entertainment)
- Stadium

Building heights:

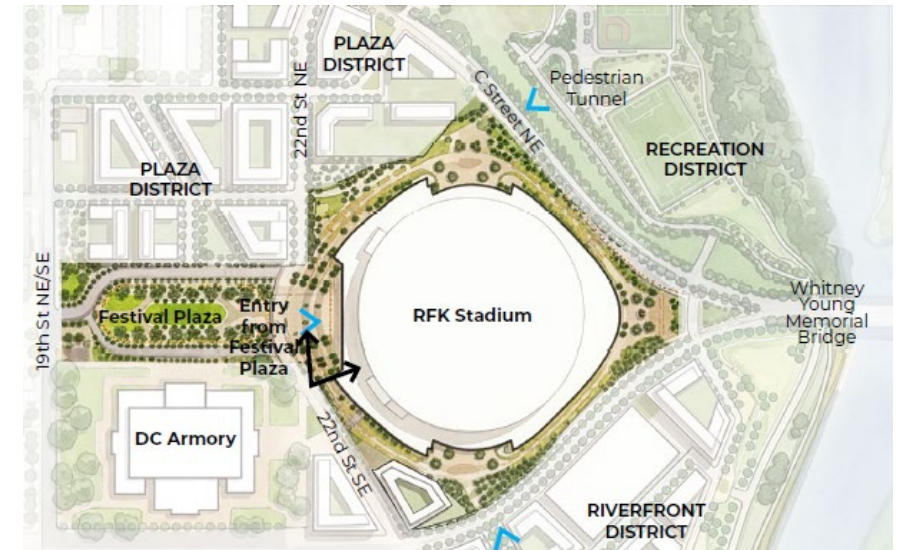
- Development blocks: Up to 110'
- Stadium: Up to 130'

Parks & Open Space:

Minimum 30% of land area
(8.8 acres)

Urban Design and Built Form: The architecture of the stadium will be a focal point of the development, with surrounding buildings arranged to promote visibility of the stadium from many angles.

Public Realm and Streetscape: A large festival plaza and smaller gathering areas around the stadium will support everyday activities and large event day gatherings.



Stadium District illustrative site plan



Figure 2.18: Stadium District view

Stadium District Illustrative rendering

2.b Plaza District

Site Character: Transit-oriented entertainment and mixed-use destination for game day and everyday events

Land area:

Approximately 18.7 acres

Anticipated uses:

- Residential, Commercial (office, hotels, retail, entertainment)

Building heights:

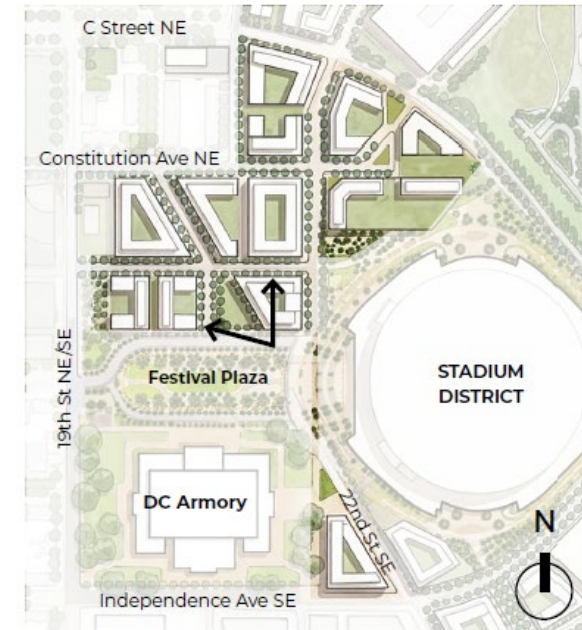
- Up to 110' with transitions to lower heights near existing rowhomes

Parks & Open Space:

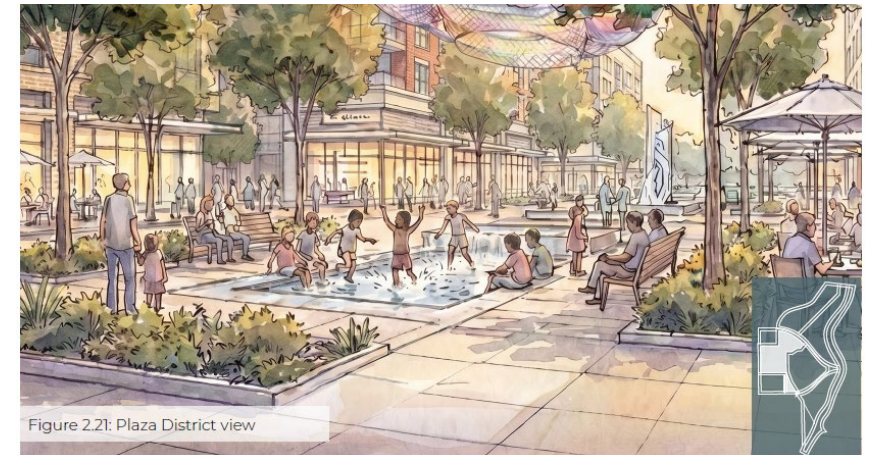
Minimum 10% of land area (1.8 acres)

Urban Design and Built Form: Development will be oriented to preserve views of the river. Building materials and height transitions will complement the existing neighborhood character. Building streetwalls, active frontages, and plazas will promote a rich pedestrian experience.

Public Realm and Streetscape: Plaza District will include wide sidewalks and pathways, wayfinding, lighting and clear sightlines to promote walkability, safety, and comfort.



Plaza District illustrative site plan



Plaza District illustrative rendering

2.c Riverfront District

Site Character: A waterfront community anchored by housing, retail, and restaurants, defined by views and access to the river

Land area:

Approximately 19.4 acres

Anticipated uses:

- Residential, Commercial (retail, office, hotels)

Building heights:

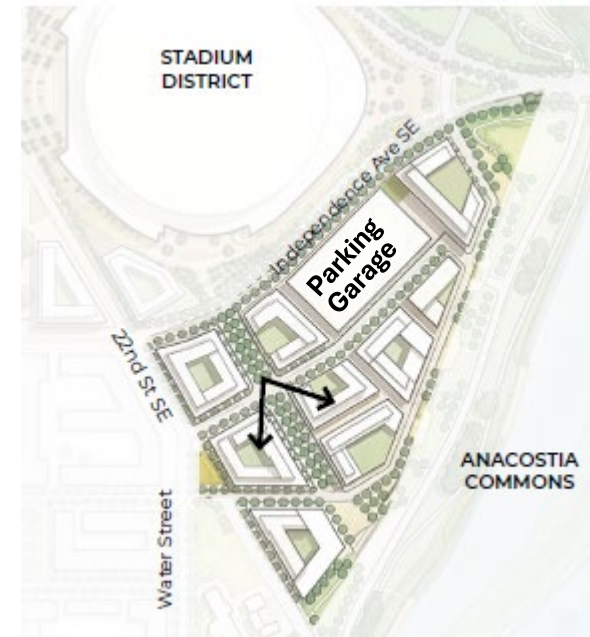
- Up to 130' with massing and form transitions

Parks & Open Space:

Minimum 15% of land area (2.9 acres)

Urban Design and Built Form: Building forms will frame views from and to the river as well the stadium. Building massing at upper levels are shaped and stepped to create an interesting skyline from the water.

Public Realm and Streetscape: Streetscape in this area will provide continuous pathways with ground level active uses. A new pedestrian-focused thoroughfare, River Street, creates physical and visual connections from the stadium to the river, with shaded a park space.



Riverfront District illustrative site plan



Riverfront District illustrative rendering

2.d Kingman Commons

Site Character: *A residential and recreational district with a new SportsPlex and enhanced outdoor spaces*

Land area:

Approximately 23.0 acres

Anticipated uses:

- Residential, Retail, Community Facilities

Building heights:

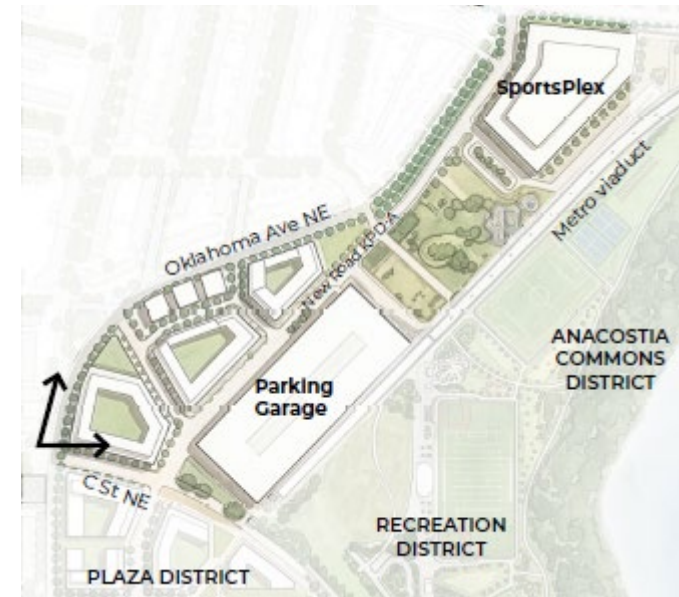
- Up to 110' with transitions to lower heights near existing rowhomes

Parks & Open Space:

Minimum 15% of land area (3.5 acres)

Urban Design and Built Form: Buildings in this area will consider the scale of the existing Kingman Park neighborhood, with building heights stepping down along Oklahoma Avenue to better align with adjacent homes. Garage screening is encouraged along the new roadway and adjacent to park spaces.

Public Realm and Streetscape: Public realm in this area will prioritize safe movement, particularly at the intersection of the new road and C Street NE with ample sidewalks, shading, and landscaping.



Kingman Commons illustrative site plan



Kingman Commons illustrative rendering

2.e Anacostia Commons and Recreation District

Recreation District

Approximately 32.4 acres

Anticipated uses:

- Parks, recreational fields and community facilities

Anacostia Commons

Approximately 30.0 acres

Anticipated uses:

- Riparian zone, shared use paths, recreation

Recreation District: A recreation hub anchored by athletic fields and community open space.

Anacostia Commons: Natural riparian zone with enhanced trails, recreational features, and connectivity to the water.



Anacostia Commons site plan



Recreation District illustrative plan

2.f Other Campus Areas

DC Armory: In 2026, the National Guard announced plans to leave the facility, and the District entered negotiations with the National Park Service to transfer the administrative jurisdiction to local control.

The DC Armory is eligible for Historic Landmark designation. **The facility provides opportunity for adaptive re-use as a commercial, civic, or entertainment facility.**

Neighborhood Parcels: Three parcels within a 2-block area, bounded by C Street NE, 21st Street NE, Constitution Avenue NE, and 19th Street NE, will be redeveloped for civic facilities and community amenities, including a new firehouse station.

DC Water Swirl Facility: The footprint of the existing DC wastewater treatment facility will be reduced to its minimum necessary size. The rest of the site will be converted into new green space with flexible lawn, native vegetation, and public art installations.



Site Review and Development

Public Buildings

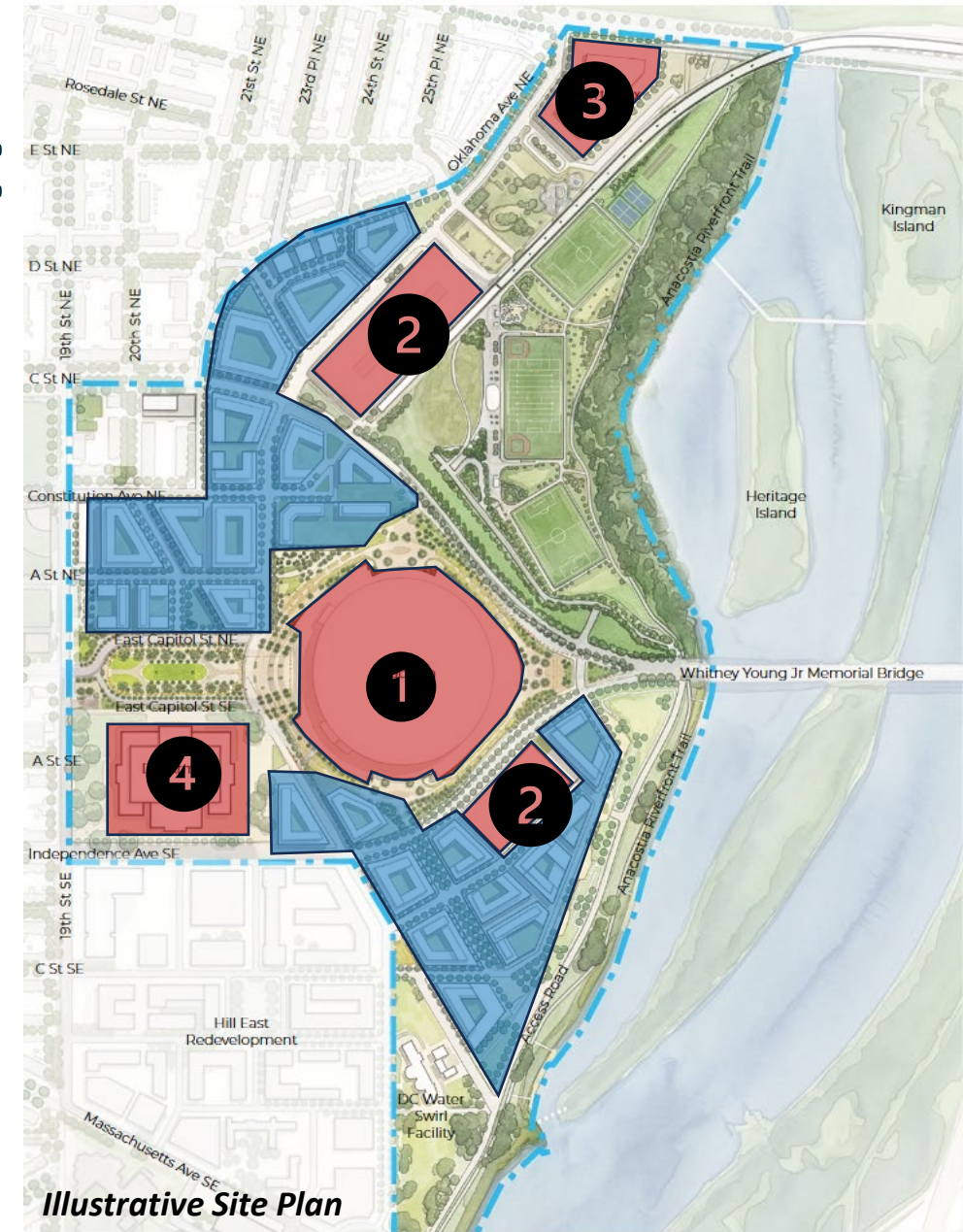
The site redevelopment includes several buildings that are subject to federal review by the National Capital Planning Commission and the Commission of Fine Arts.

1. Stadium
2. Parking Garages
3. SportsPlex
4. Stadium Armory (once TOJ is complete)

Private Development

Most buildings on the site will be mixed-use private development subject to local zoning regulations to be created following adoption of the master plan by DC Council

Public buildings, reviewed by the CFA, will influence future private mixed-use development.

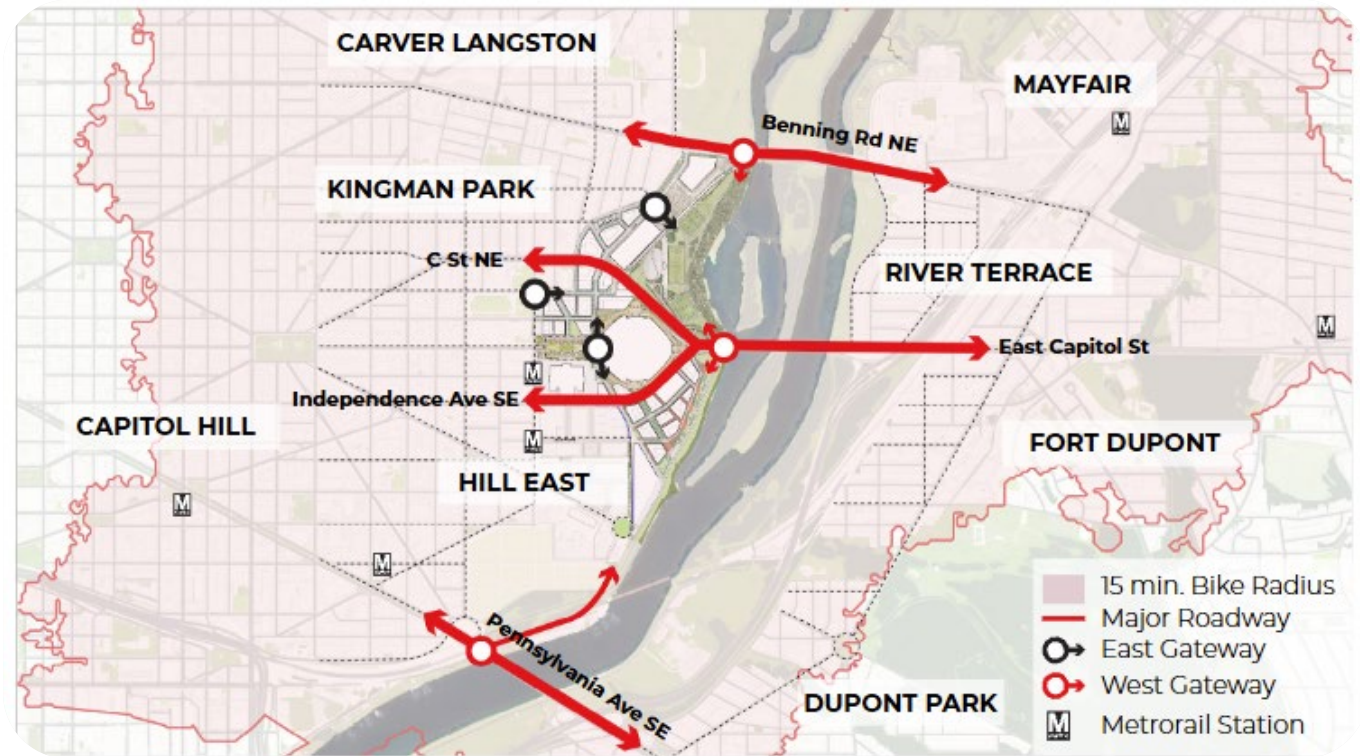


2.g Mobility and Connectivity

The new roadway system for the **RFK Campus** creates an **integrated network** that supports both local and regional access. **Street design prioritizes wider sidewalks, protected bicycle facilities, safer crossings, and improved transit access** to support safe, convenient, and efficient travel for all modes.



Illustrative view of Oklahoma Ave in Kingman Commons



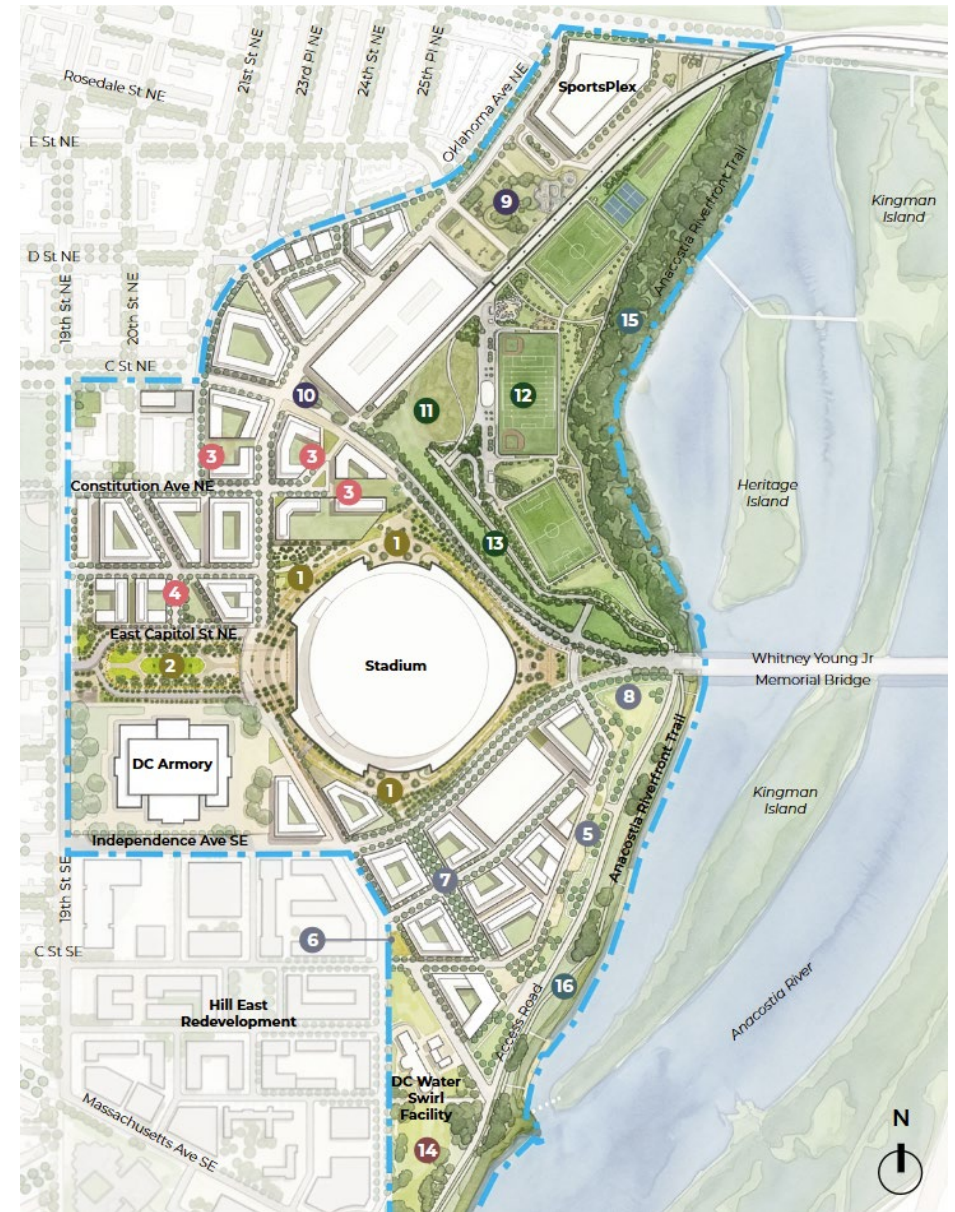
15-minute bike shed context map

2.h Parks and Open Spaces

The RFK Campus will include **over 75 acres of parks and open spaces**, including a 30-acre riparian zone.

The Master Plan defines parks and open spaces as:

A network of parks, recreation spaces, natural areas, plazas, and other public open spaces that supports recreation, gathering, and environmental functions for District residents, visitors, and workers. These spaces promote community wellbeing, foster neighborhood vibrancy, and preserve the ecological health of the Anacostia Riverfront.

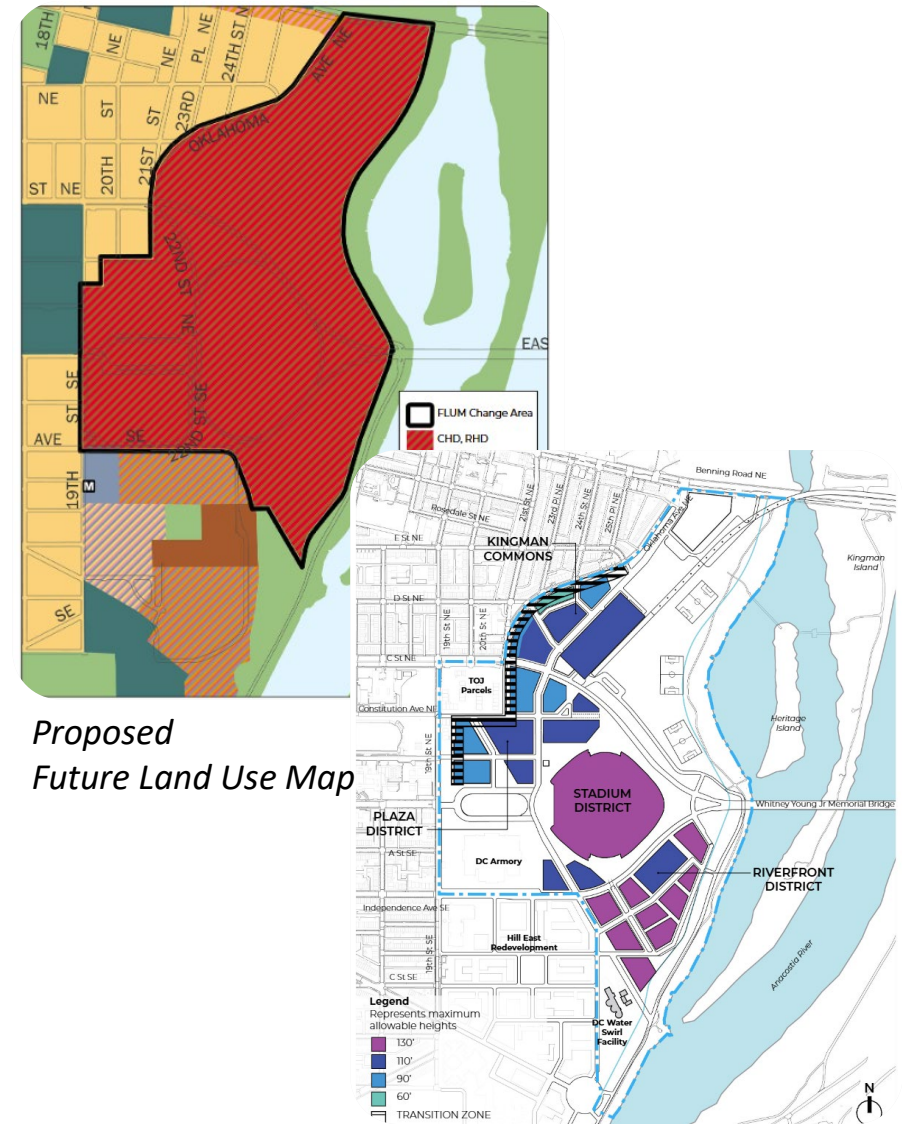


2.i Zoning Framework

Each district of the RFK Campus, excluding Anacostia Commons, will allow for a combination of residential, commercial, parks, and recreational uses. This will **encourage mixed-use, walkable neighborhoods that prioritize livable spaces.**

Land Use and Zoning

Following completion of the master plan and adoption of conforming adjustments to the Comprehensive Plan's Future Land Use Map, **the DC Office of Planning will submit zoning text and map amendments to the Zoning Commission for consideration and approval.**



*Proposed
Future Land Use Map*

Building Heights Diagram

3. Design Guidelines

The Design Guidelines build on the aspirational goals and concepts established in the plan's Vision and Development Framework and recommends **actionable strategies** for creating well-designed and sustainable streets, buildings, and public spaces.

The design guidelines establish a sense of place through:

- spaces that are **inclusive and welcoming**,
- architecture that is **bold yet sensitive** to its context, and
- neighborhoods that are **unique and connected** to the surrounding communities.

They are intended to be used by private property owners, developers, design professionals, District agencies, and community groups when developing or reviewing proposals for new zoning regulations, development projects, or public space improvements.

Strategies

Building architecture should reinforce the human scale of the public realm while creating unique and memorable environments

1. All buildings should maintain a streetwall height of 25 - 35' along primary and secondary streets. The streetwall is the face of buildings along the visible sides of street, which create a sense of enclosure for pedestrians.
2. In the vertical direction, for frontages greater than 90' in length along a primary or secondary street, provide vertical façade articulation, such as recesses (min. 2'-0") or projections that break down scale, and create depth and relief along the building's facade. This is particularly important in transitional zones adjacent to existing low-scale neighborhoods.
3. In the horizontal direction and above the streetwall, provide strong horizontal articulation to support readings of base-middle-top façade organizations. such as a change in plane or change in material.
 - For buildings that rise over 90' provide a 12-foot setback at the last floor of the structure (not including penthouse).
 - For buildings or structures over 50' in height, provide a 12-foot setback at the last floor of the structure (not including penthouse).
4. Projecting elements such as structural bays, balconies, overhangs, etc. provide additional relief and interest. These elements may project beyond the build-to line as outlined in the street frontage guidelines.



Figure 3.39: Illustration of building articulation strategies; Plaza District facing 19th Street NE

3.a Height and Massing Transitions

The general height strategy for the RFK Campus locates the tallest buildings along the perimeter of the stadium and riverfront, reduces overall building heights to a maximum of 75' next to the surrounding neighborhoods, and establishes a “transition zone” adjacent to existing rowhomes.

Along the riverfront, buildings should provide articulated facades and break down massing to avoid creating the appearance of a wall along the river. Open courtyards and changes in plane create variation in building forms and maximize river views and access to light and air.



Illustration of height transitions to existing rowhomes

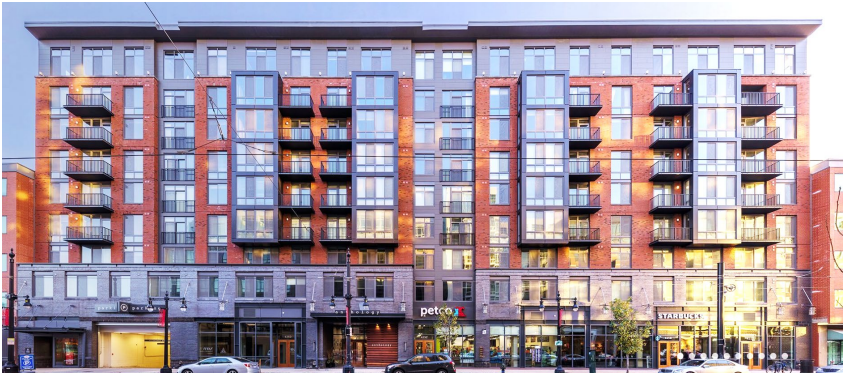


Illustration of form and massing variation in Riverfront District

3.b Architectural Character

To maintain harmony with the surrounding neighborhoods, material and character of new buildings in the RFK Campus should be most like that of the existing neighborhoods adjacent to Kingman Commons and the Plaza District and becoming less similar moving toward the river.

For visual continuity across the project, buildings closer to the river should feature materials that complement the existing neighborhoods but will have greater flexibility to introduce varied architectural languages and palettes.



Example of using material changes to create traditional organization of base, middle, and top



Example of contemporary architecture with referential materials like masonry

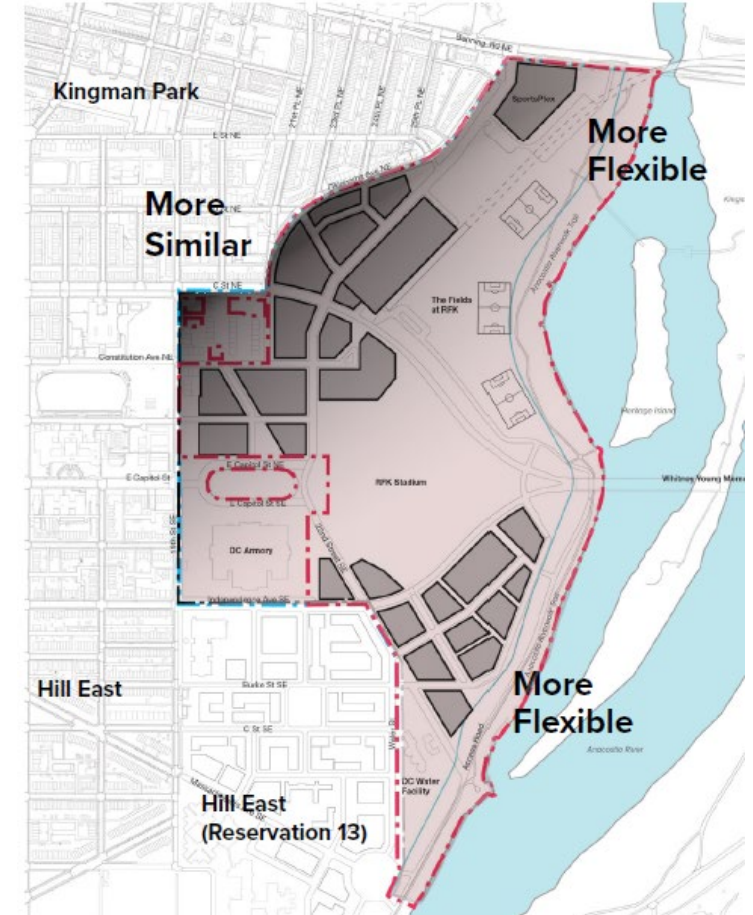
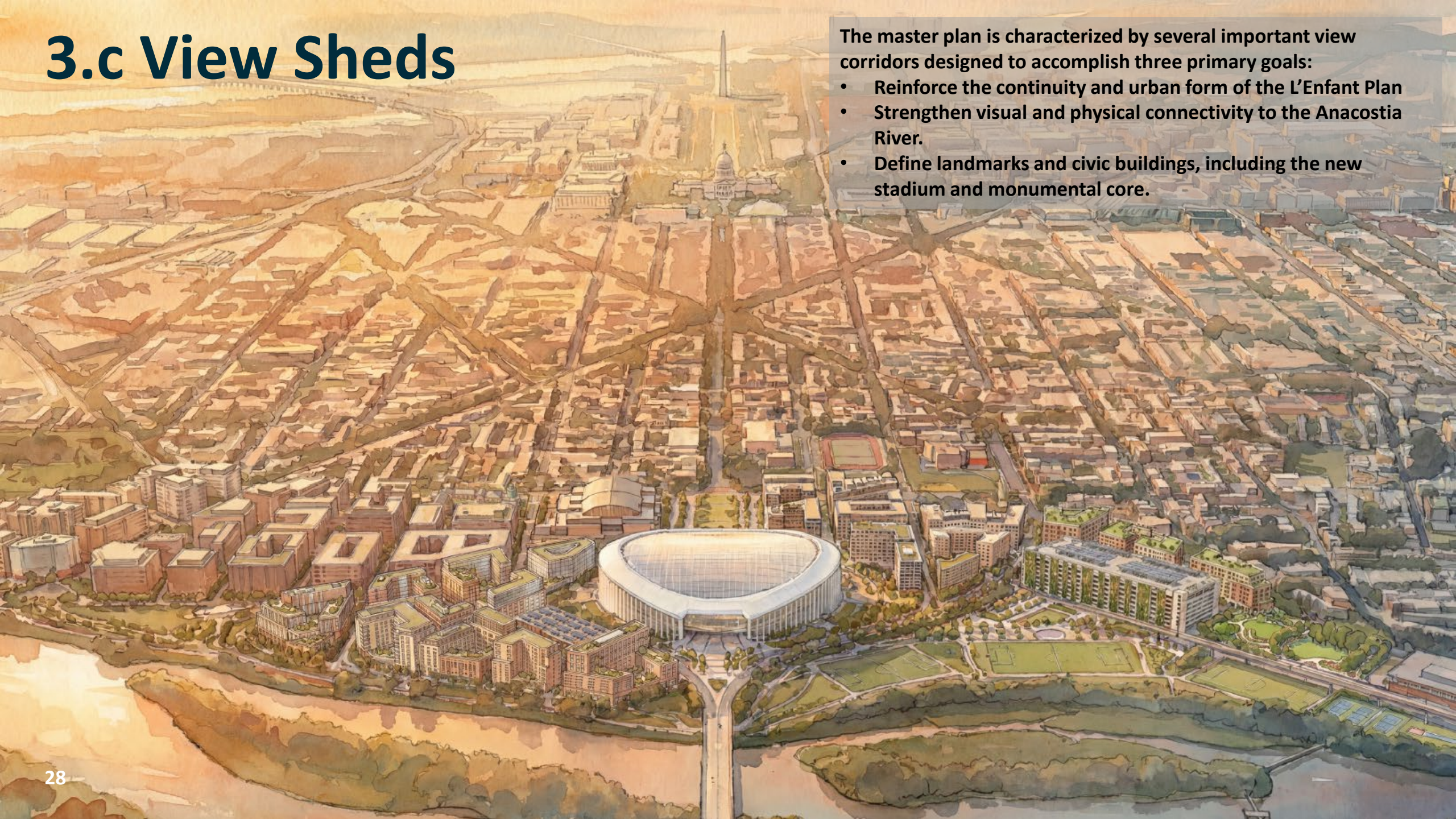


Diagram of recommended architectural character

3.c View Sheds

The master plan is characterized by several important view corridors designed to accomplish three primary goals:

- Reinforce the continuity and urban form of the L'Enfant Plan
- Strengthen visual and physical connectivity to the Anacostia River.
- Define landmarks and civic buildings, including the new stadium and monumental core.



3.c View Sheds

Constitution Avenue



Constitution Ave view corridor should be preserved and enhanced.



Kingman Commons



Views under the elevated Metro track should promote connectivity and a sense of arrival.



River Street



River Street orientation should provide direct visual connection between the Stadium and the river.



Stronger views and connection from the river to the interior of the site and the stadium.



3.c Open Space Guidelines

The Open Space Guidelines establish the framework for a **cohesive and high performing public realm** across the RFK Campus. Rooted in the site's unique relationship to the Anacostia River and its surrounding neighborhoods, **the guidelines define how parks, plazas, promenades, green corridors, and natural areas work together to support everyday life, major events, and long-term ecological health.**



Figure 3.71: Photo of a water edge walk

1



Figure 3.72: View of a natural play garden

2



Figure 3.73: View of a curbsless street

Riverfront District Overview & Characteristics

The Riverfront District is a waterfront community anchored by housing, retail, and restaurants, where public spaces transition from active urban promenades to green park areas along the Anacostia River. The district benefits from close proximity to the growing Hill East neighborhood, the activity of the future stadium site, and the nature and recreation of Kingman and Heritage Islands.

Most of the area today consists of surface parking lots. These will transform into a mixed-use neighborhood with parks, plazas, and pedestrian-oriented streets. Parking will be provided both in a freestanding garage and in structured parking below the ground level of the district that will position the public realm above the Anacostia floodplain.

The master plan identifies four principle public spaces within the Riverfront District:

- A. A 1.1 acre park space sloping down to the riverfront identified as "Anacostia Place".
- B. A half-acre neighborhood park called "Burke Green"
- C. A 900' long civic promenade called "River Street"
- A. A 1,600' long promenade along the Anacostia Riverfront called "The Esplanade"

Character precedents shown left:

- 1. Transition between urban conditions and natural conditions at the Di Shui Lake Green Belt, Shanghai
- 2. Nature play at the Waterfront Park, Vancouver
- 3. A pedestrian promenade flanked by controlled vehicular traffic at the 16th Street Mall, Denver

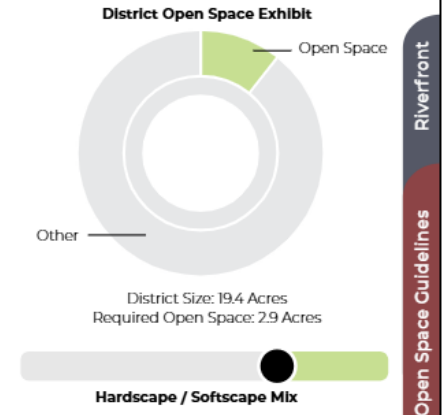


Figure 3.74: Hardscape/ Softscape Mix

Design Emphasis

- Pedestrian and bicycle connectivity to riverfront and Anacostia Riverfront Trail network
- Visual connectivity to the riverfront
- Scaling and shaping open spaces to provide a range of programs that suit district character
- Thoughtful interface between the Anacostia Commons and the southeastern face of the Riverfront District
- Opportunities to integrate stormwater infrastructure into park space

Masterplan & Design Guidelines 147

Sample page from the Open Space Guidelines

Next Steps

Upcoming Master Plan Milestones

- **September 17-September 23:**
Consolidate feedback and develop final plan
- **Late September:** Master plan submitted to Council for approval

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