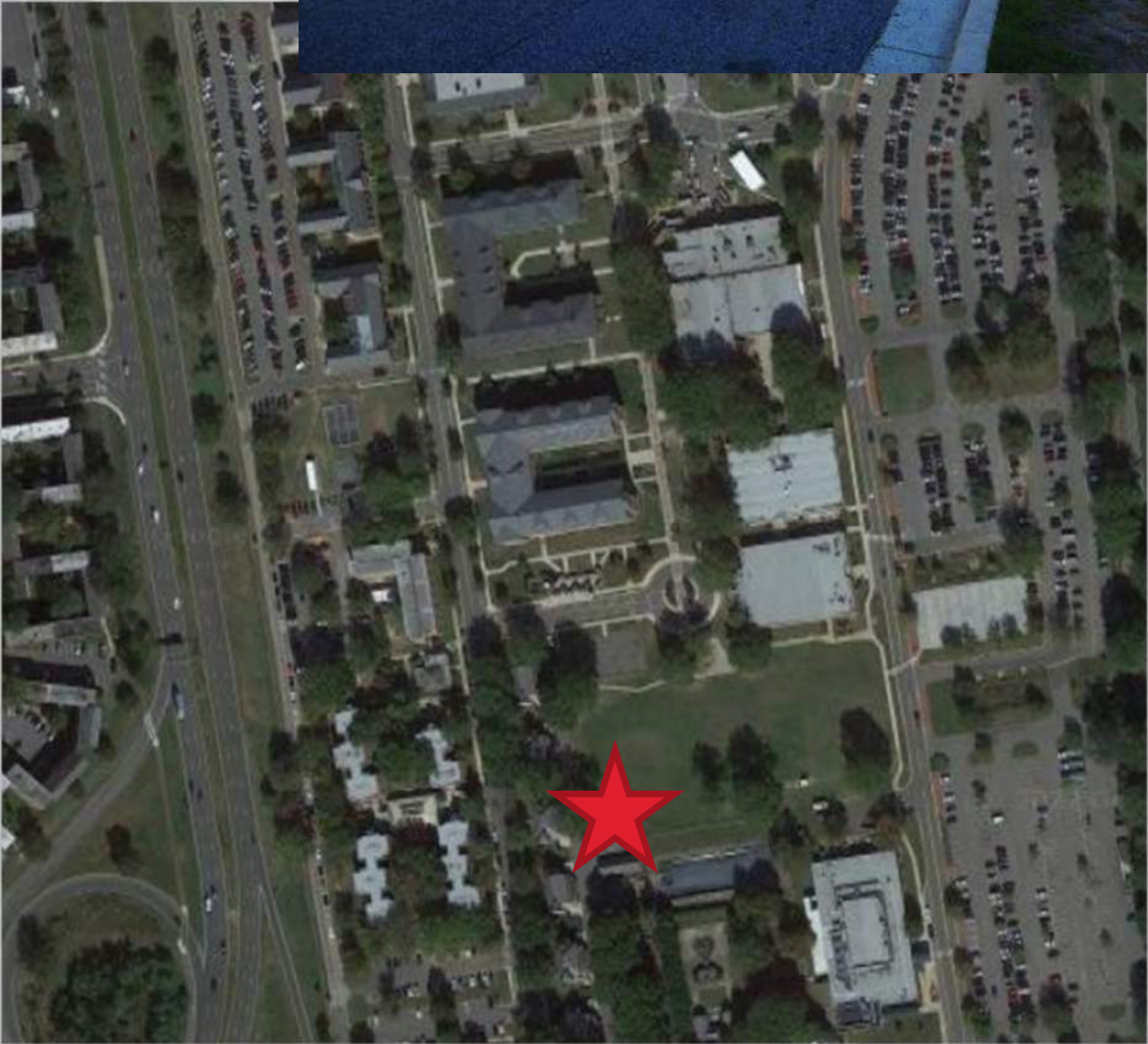


# Commission of Fine Arts

## Concept Submission UEPH Barracks at JBM-HH



"The views, opinions and findings contained in this report are those of the authors(s) and should not be construed as an official Department of the Army position, policy or decision, unless so designated by other official documentation."



US Army Corps  
of Engineers®





# PRESENTERS

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## U.S. Army Corps of Engineers, Baltimore District

- Alan Eidsmore, R.A., Chief of Architecture Section
- Ogechi Wallace, R.A., NCARB, LEED AP BD+C, Project Architect

## Joint Base Myer – Henderson Hall (JBM-HH)

- Eric Cope, Director of Public Works
- Kelly Whitton, Cultural Resources & NEPA Program Manager



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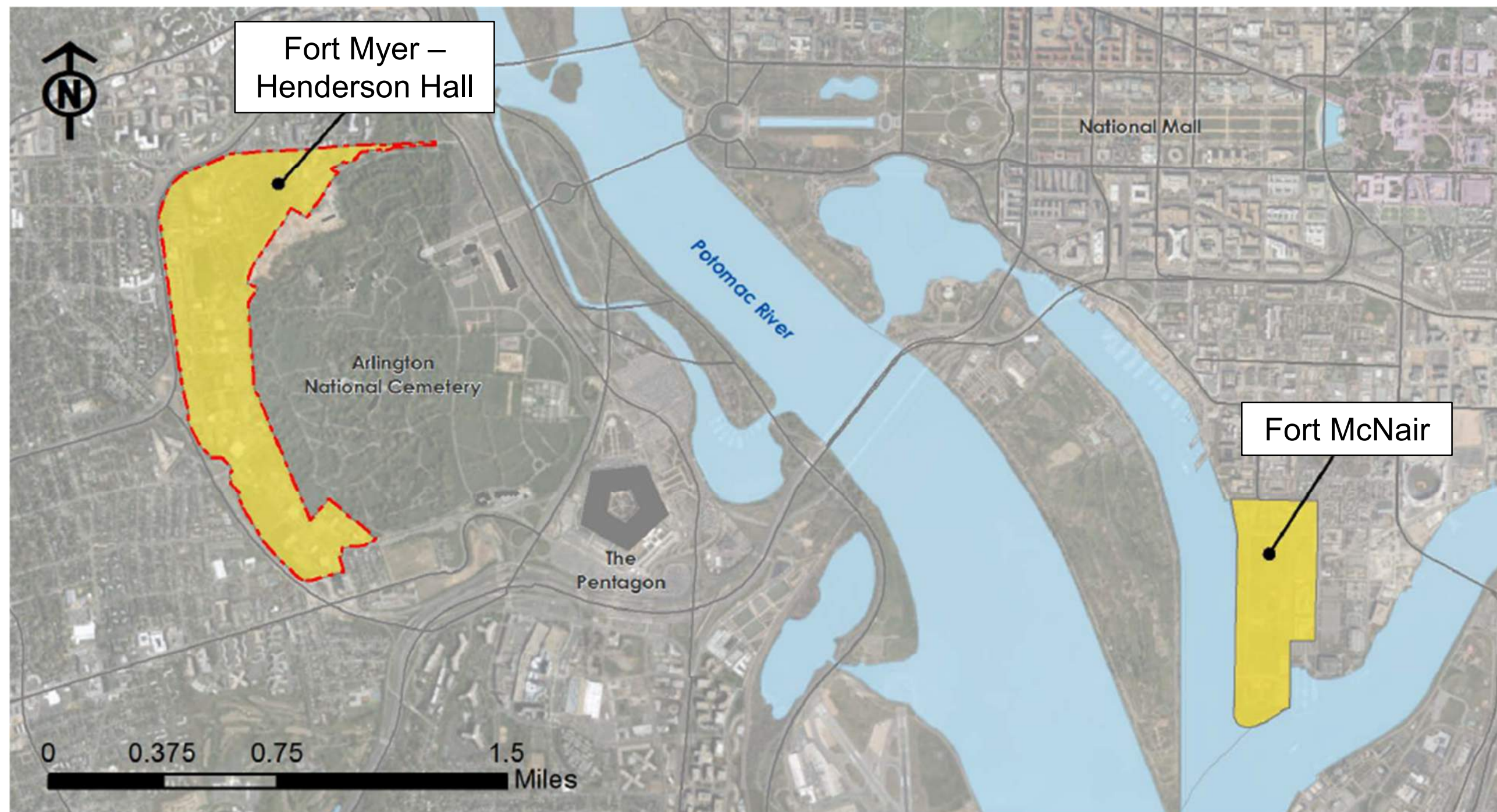




# VICINITY MAP



4



Source: Fort Myer-Henderson Hall District Area Development Plan (2017)





# SITE LOCATION MAP



S: Selected Barracks Site

O: Habitat Restoration Area



Source: Fort Myer-Henderson Hall District Area Development Plan (2017)



# PROJECT SCOPE, PROGRAM, AND GOALS

## Barracks Campus Program:

- Create Unaccompanied Enlisted Personnel Housing (UEPH) barracks to support 200 beds.
- Existing barracks buildings 250 and 251 are not preferred for renovation or demolition and site reuse COAs.
  - Buildings 250 and 251 are in poor condition and continuing to deteriorate. These barracks were constructed in 1908 and 1934 respectively and are listed on the National Historic Register as contributing buildings to the Fort Myer Historic District (NHL). They are proposed to be repurposed to Company Operations Facility (COF), Administrative, Aide Station, and Mission Support functions to allow for new barracks to meet the design standards of the Army as well as The Old Guards Mission.
- The JBM-HH barracks inventory is 212 beds deficient across all buildings.

## Requirement:

Construct 200-bed permanent party barracks for The Old Guard

*Source – DD1391 07 July 2022*

## UEPH Building Program:

USACE to implement Design-Bid-Build Process with FY25 Construction Contract Award

- Programed Amount: \$150,000,000
- Approximate Square Footage: 165,000 square feet
- 200 beds
- Follow Army Center of Standardization Guidance for Barracks

*Source – DD1391 07 July 2022*





# PROJECT SCOPE, PROGRAM, AND GOALS

---

## Project Goals:

Construct permanent party barracks facilities that will:

- Provide 200 new beds for soldiers on Joint Base Myer – Henderson Hall.
- Enhance, improve and replace deteriorate sub-standard barracks.
- Improve quality of life for The Old Guard and support their mission supporting ceremonial duties at Arlington National Cemetery.
- Decrease local traffic demands by providing on base housing for soldiers (live-work setting).
- Increase morale, mission and retention for The Old Guard of the U.S. Army.

## ADP Goals

- ADP Goal 1.b. Encourage vertical development and proper siting to ensure flexibility and the ability to adapt to future mission requirements.
- ADP Goal 3: Retain historic character and resources while modernizing infrastructure.
- ADP Goal 3.b. Construct modern facilities and rehabilitate historic facilities for continued use.
- ADP Goal 3.d. Maximize green space and preserve scenic vistas and viewsheds

## Incorporate responsible planning standards:

- Meet JBM-HH master planning and installation design standards.
- Reference architectural characteristics and material palette of existing barrack buildings.
- Renovate of Building 250 and 251 within the NHL historic district for new uses (separate project).
- Retain one Non-Commissioned Officer Duplex (Building # 439, not in project footprint) for reuse.
- Extend centralized pedestrian walkway creating primary conduit of travel through campus.
- Preservation of existing site and street trees, with replacement ratio of approximately 3:1.
- Retain green space east of pedestrian corridor.



# COMPLIANCE



8

## NEPA / SECTION 106 / CULTURAL RESOURCES

**National Environmental Policy Act (NEPA)** requires federal agencies to consider any potential project impacts to the environment

**Section 106 of the National Historic Preservation Act of 1966 (NHPA)** requires federal agencies to consider the potential effects of their undertakings on historic properties.

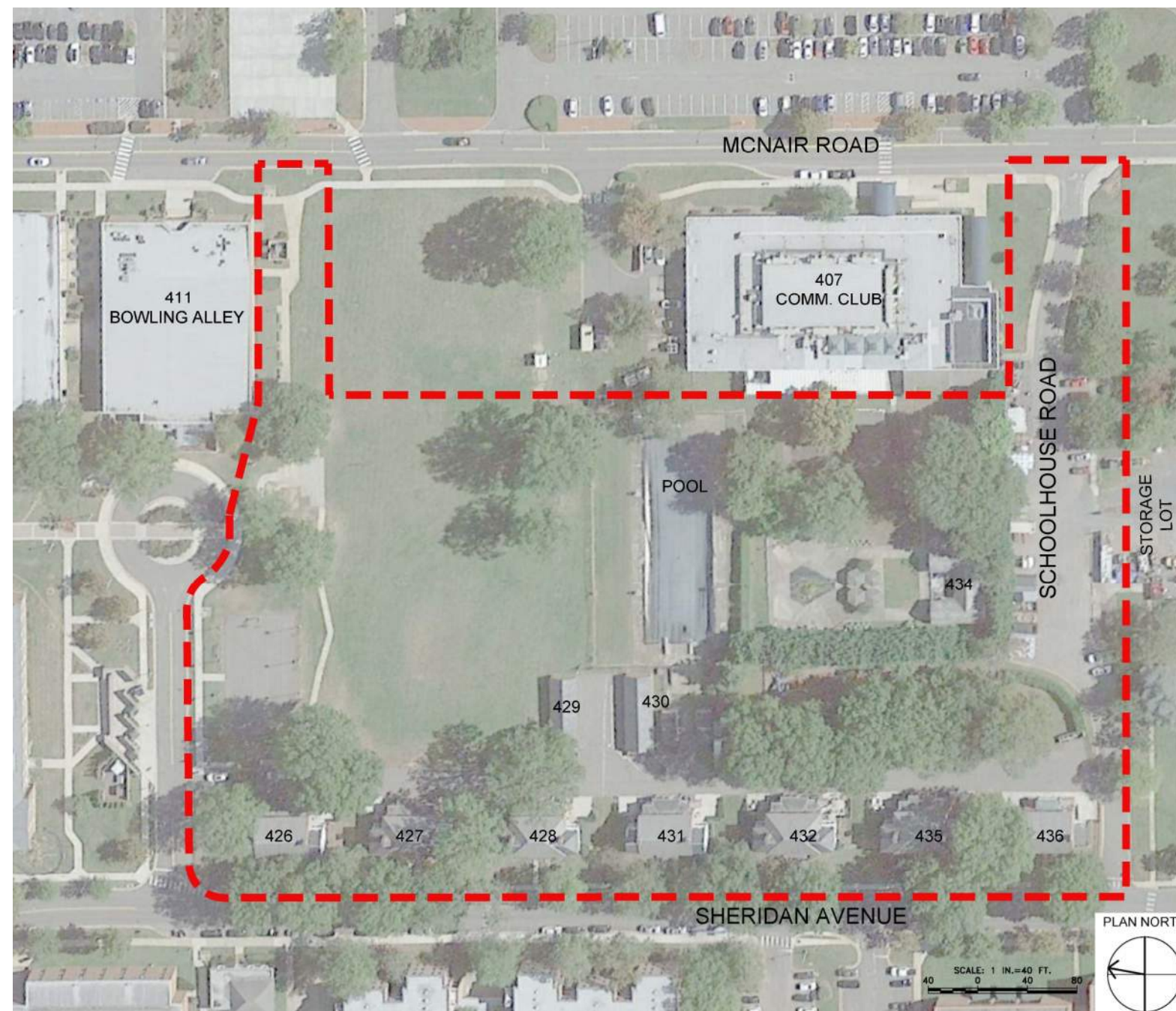
Demolition activities and associated compliance tasks are being coordinated under the Army's **Program Comment for Historic Housing (Inter-war, 1919-1940)**.

### Compliance Considerations:

- Archeological Resources – Low potential
- Built Resources - Exterior character defining features of the FMHD to be referenced.
- Natural Resources – Tree replacement at a target rate of 3:1 (2:1 required by JBM-HH); and 2-acre habitat restoration site
- No flood plains identified
- Stormwater – Bioretention proposed

### Next Steps:

- NEPA scoping initiated 11/23/2022
- Section 106 initiated 11/23/2022
- Public engagement

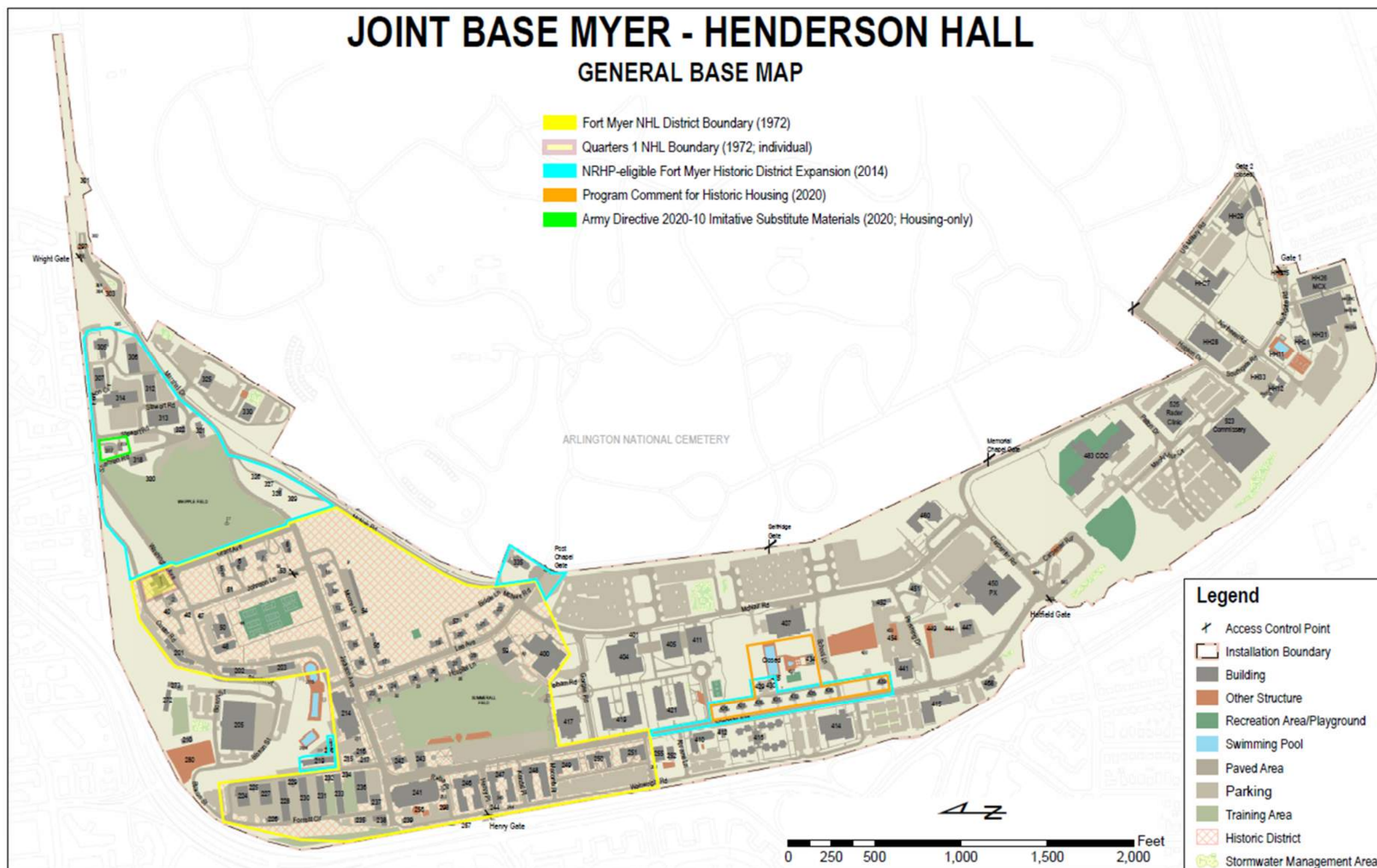






# FORT MYER CULTURAL RESOURCE MAP

9







# SITING HISTORY

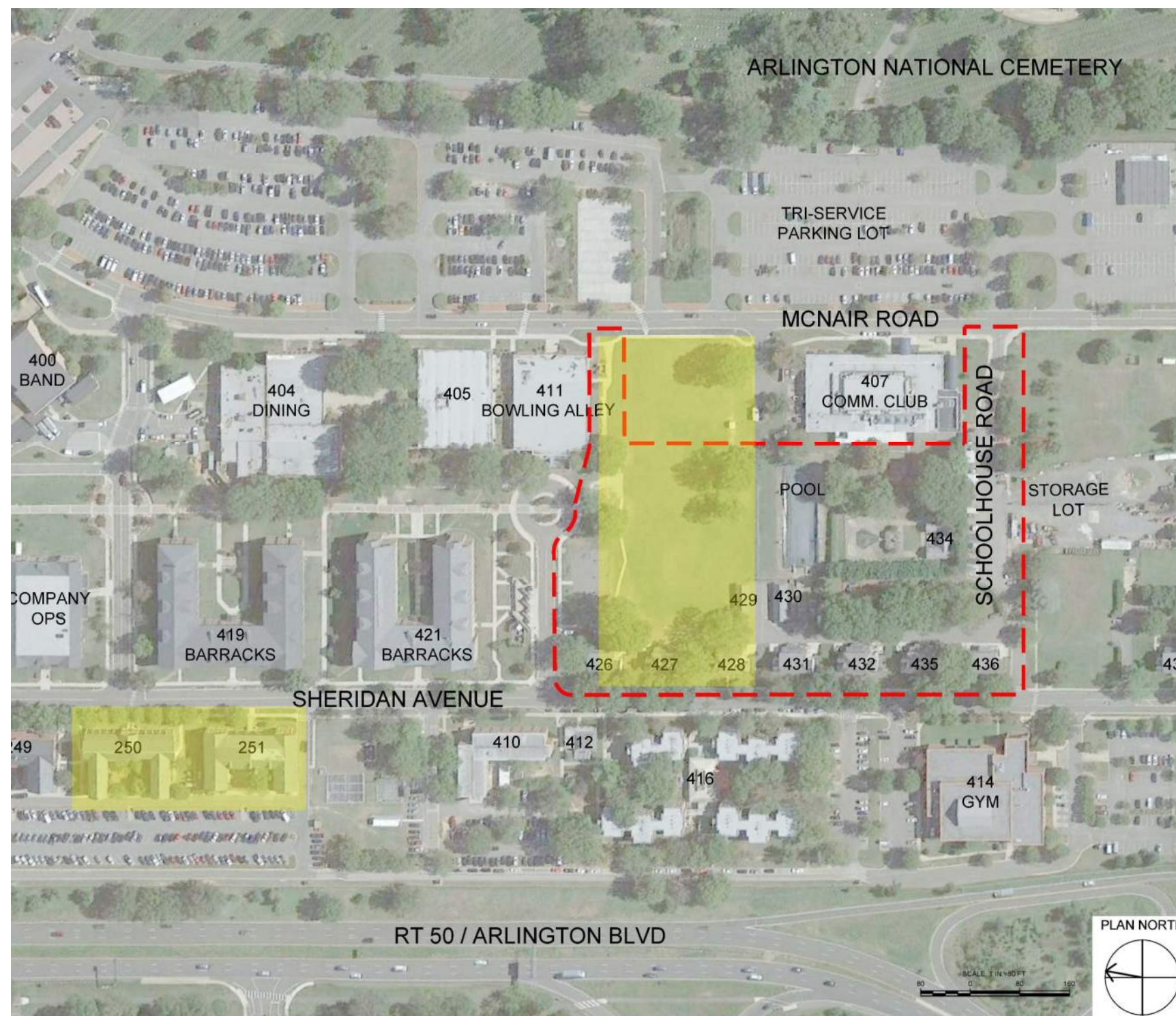


## Buildings 250-251

As depicted in the ADP, the 200-bed barracks requirement was first planned to be constructed via addition to, or demolition and replacement of, historic Buildings 250 and 251. Due to the size of existing Buildings 250 and 251, site constraints, and evolving standardization of US Army Barracks, it was determined the site is not large enough to accommodate the required number of beds needed in this new facility.

## Site Moved South

The selected Barracks site then moved south, to Building 406's former location. This is captured in JBM-HH's Area Development Plan addendum (2023).

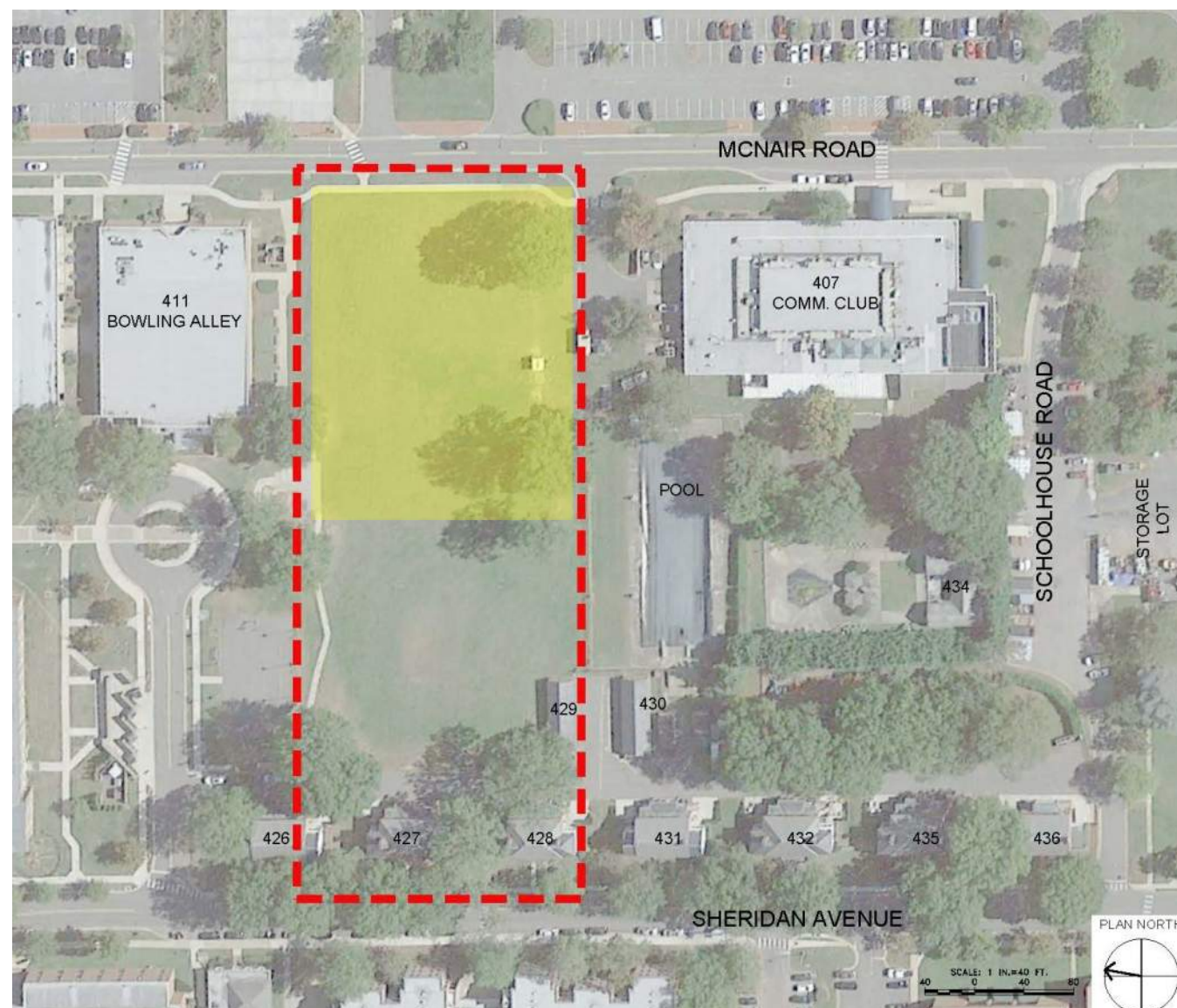




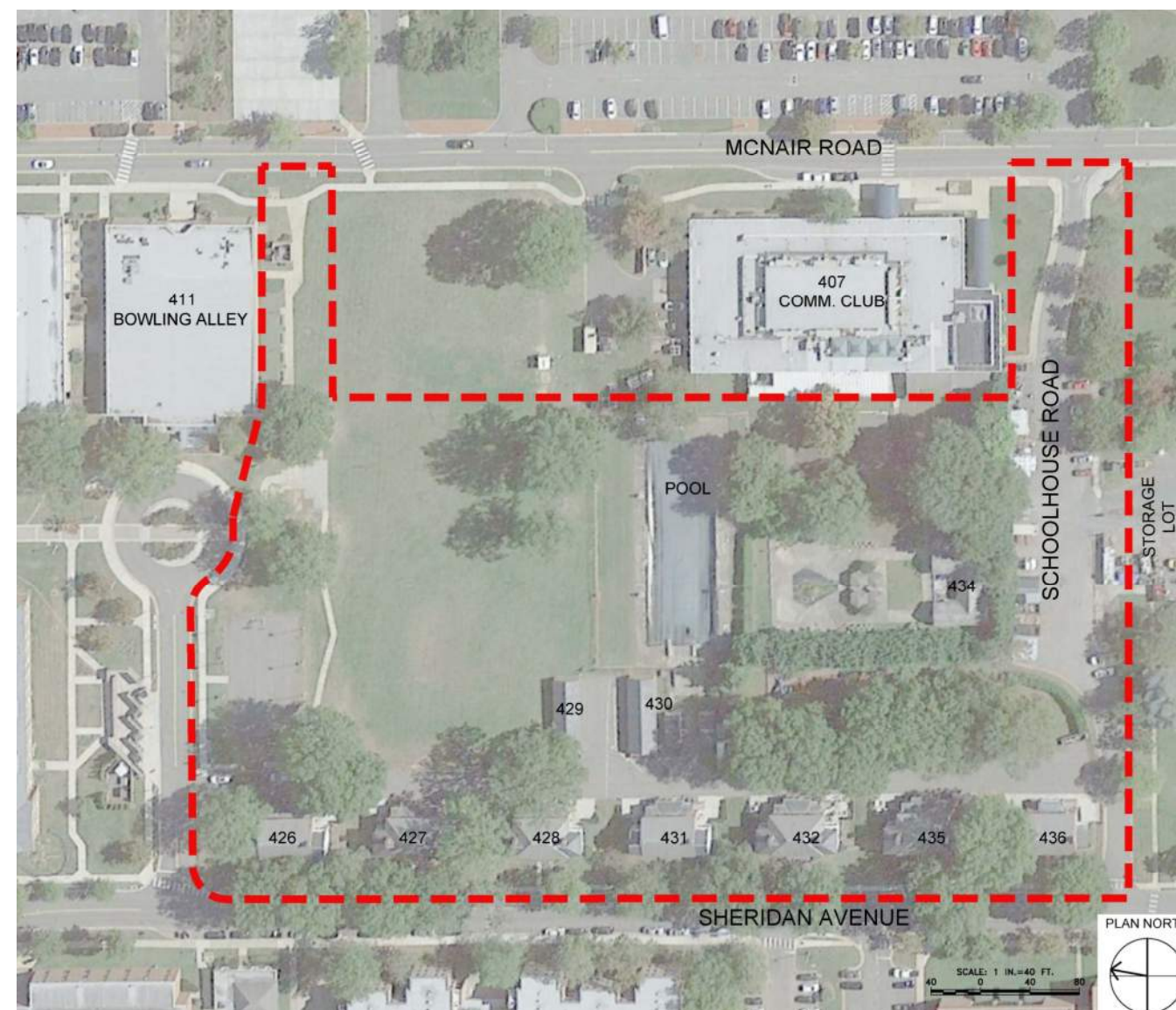


# SITING HISTORY

11



- The selected site was originally oriented east-west;
- Barracks building along McNair Rd does not fit with the community service buildings
- DPW has operational security and mission driven need to keep east half of site open space.



- Site rotated south to include removal of seven residences, abandoned pool and its supporting facilities and improving Schoolhouse Road.





# SITING HISTORY

12



1966 to 1969: Three contemporary H-shaped barracks buildings constructed as part of central campus development.



2012: Building 421 construction complete, immediately south of Building 419.

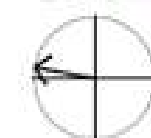


2007: Building 417, library and mission support, and the U-shaped Building 419 Barracks and Company Ops constructed.



2014: Building 406 demolished.

PLAN NORTH





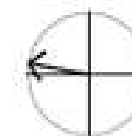


# AERIAL MAP

13



PLAN NORTH







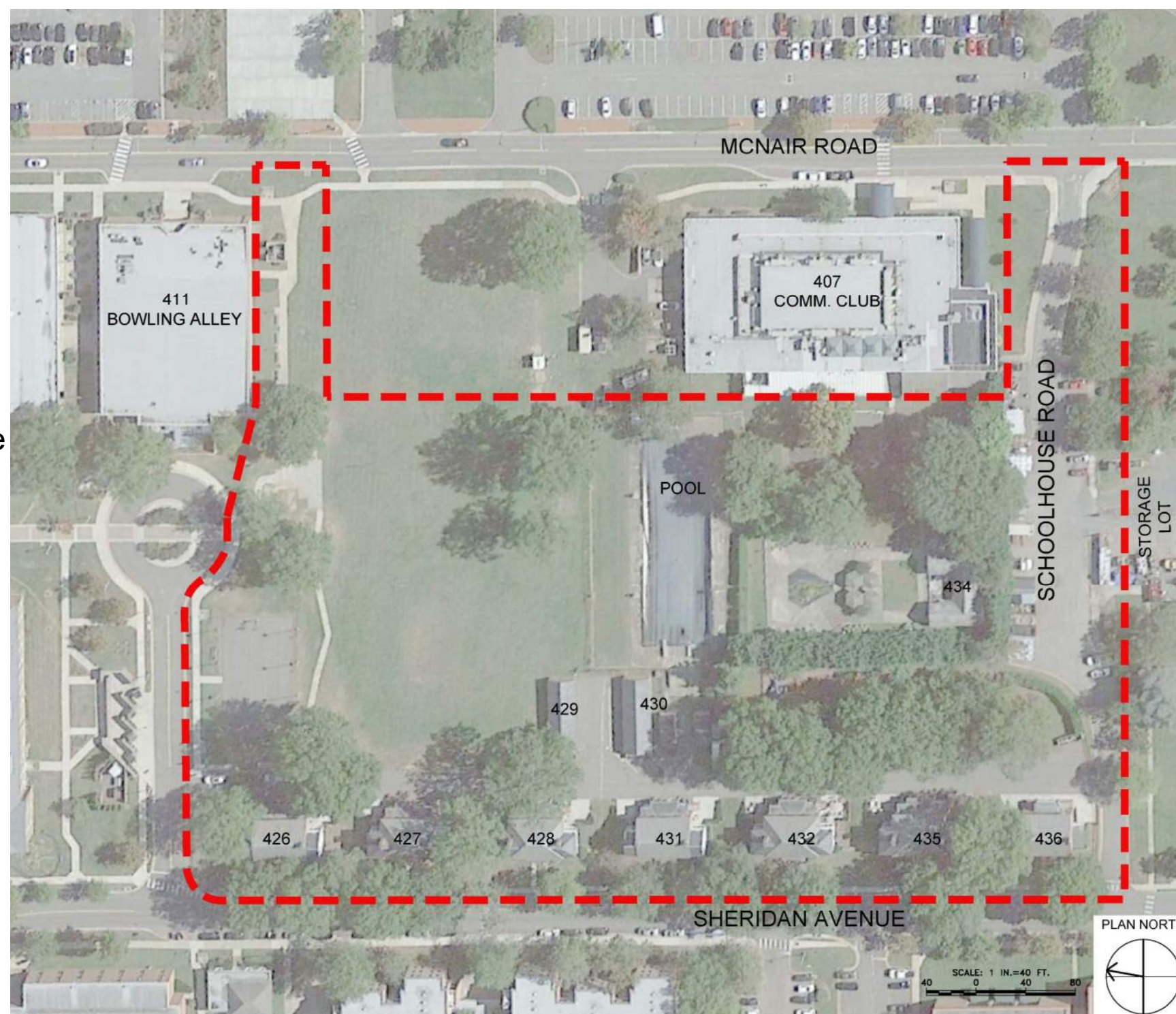
# EXISTING CONDITIONS

14



## Land Use

The site is approximately 8 acres, with previously developed existing land uses, including roads, buildings, lawn areas, trees and shrubs. Along Sheridan Avenue, there are seven two-story residences. Behind the houses (to the east) there is an access road with resident parking, playground, two brick one-story garages (Buildings 429 and 430), and two one-story siding storage sheds (no building numbers). Moving further east is the pool complex that is no longer in use, which includes an in-ground pool, two underground pool pump and utility rooms (Buildings 425 and 437), an in-ground baby pool, and the one-story siding pool house (Building 434). East of the pool complex is a paved area formerly used by Building 407. North of the pool complex is a lawn area, where Building 406 formerly stood, and is currently being used for the Bldg. 416 Renovation Swing Space project.







# EXISTING CONDITIONS

15

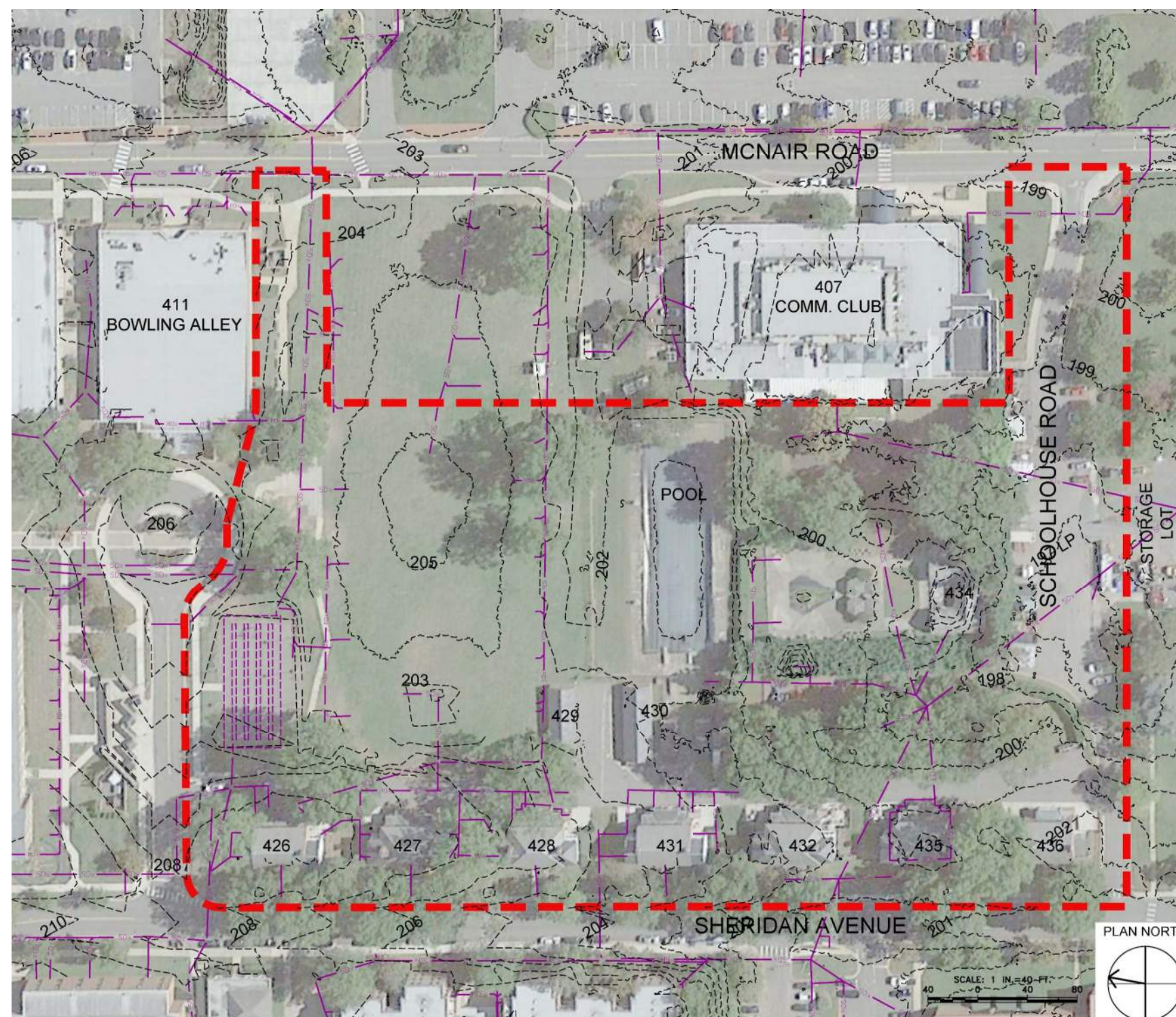


## Topography

The site's topography generally falls from northwest to southeast, with the high point being at the corner of Sheridan Avenue and Building 421's service drive, elevation 209. There is a 12-foot elevation drop to the site's low point, on the south side of Schoolhouse Road (elevation 197). Slopes throughout the site are gradual ranging from 2 to 12%.

## Drainage

The site drains by a combination of surface runoff and storm drain inlets. All storm drain inlets that collect runoff are conveyed to meet a major 36" storm drain, south of the site, which crosses the Base Ops storage lot. This storm drain network continues southwest across the installation and eventually discharges west of Sheridan Avenue.



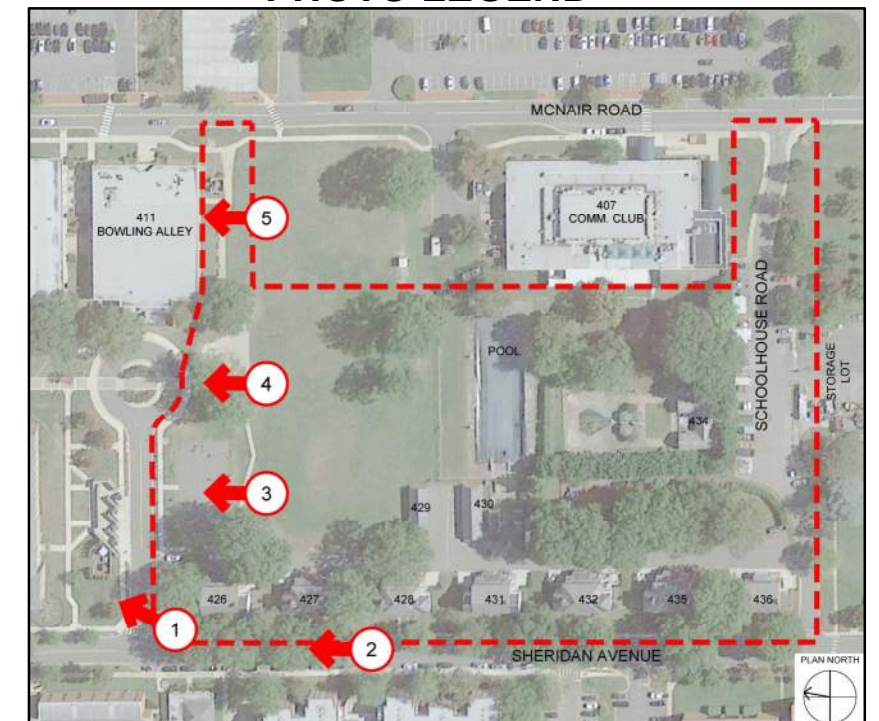




# EXISTING SITE - NORTH



## PHOTO LEGEND



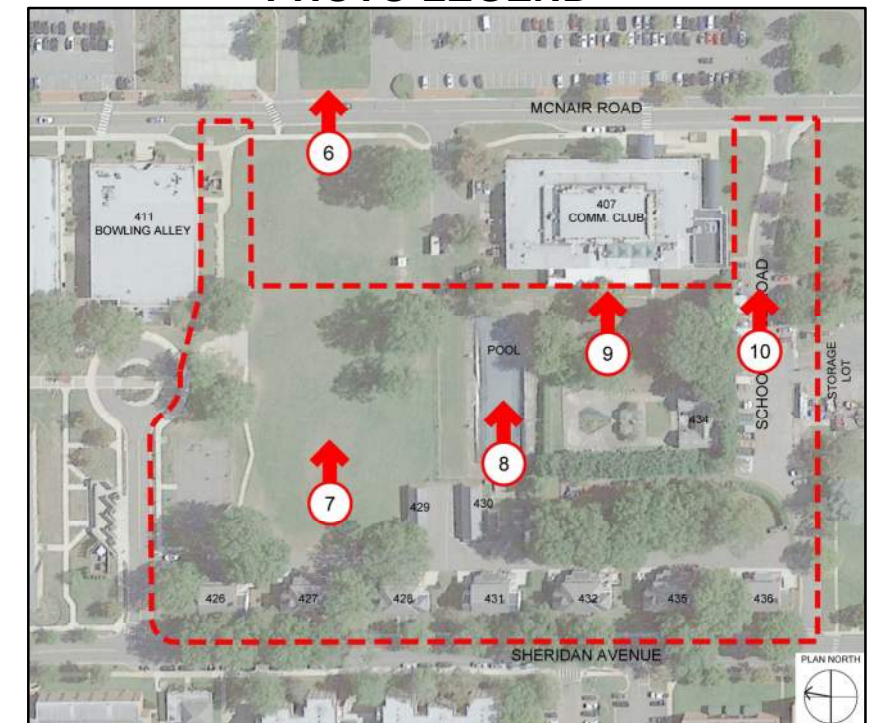




# EXISTING SITE – EAST



## PHOTO LEGEND



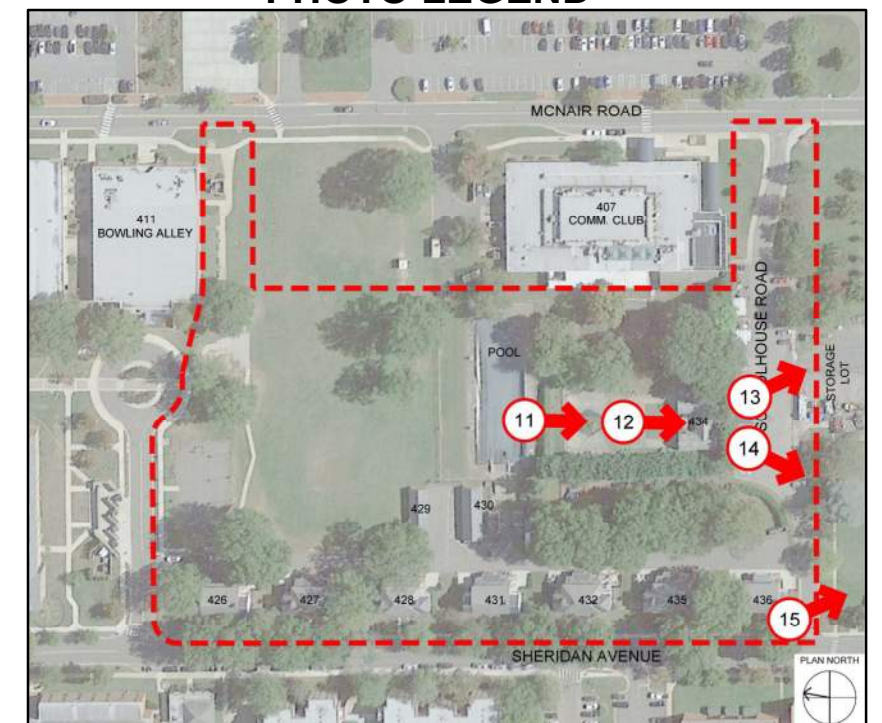




# EXISTING SITE – SOUTH



## PHOTO LEGEND





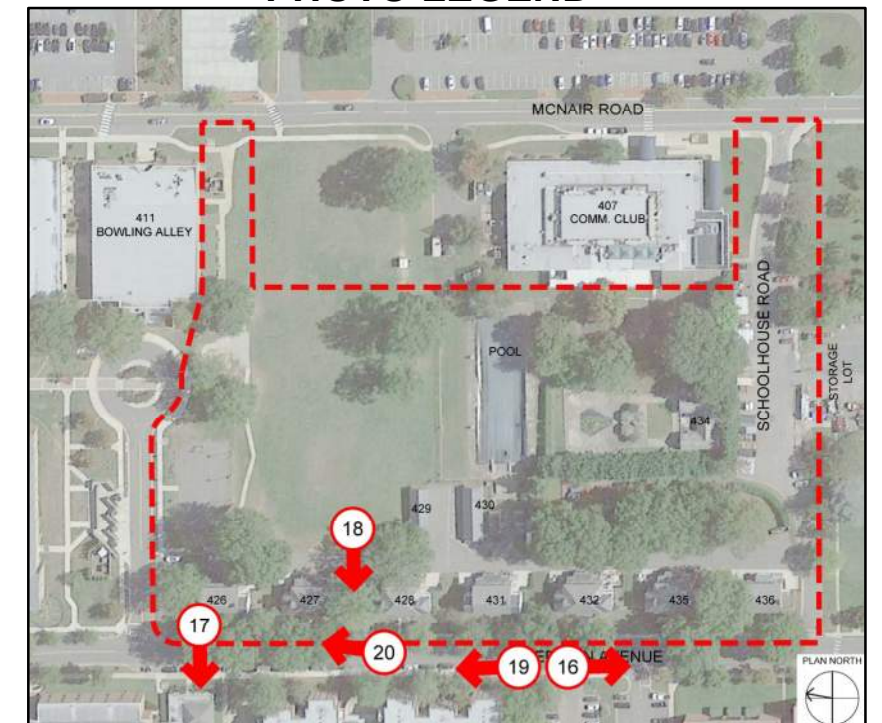


# EXISTING SITE - WEST

19



## PHOTO LEGEND







# NON-COMMISSIONED OFFICER DUPLEXES

---

## 2019-2020 JBM-HH Army Family Housing Renovation Project

- Current Condition: failing condition, HAZMAT, not code compliant
- Renovation design of buildings 426, 427, 428, 431 (8 dwelling units) completed in 2020.
  - Full renovation scope including interior reconfiguration.
  - Bring the houses up to current building and UFC codes.
  - Remove HAZMAT.
  - Make safe and occupiable.
  - 200 SF addition per house to account for standard design requirements.
- Final cost report reflects the following:
  - Average renovation cost of \$3,100,000 per building in 2020 dollars
  - $\$3.1\text{M} \times 7 = \$21.7\text{M}$  in 2020 dollars
  - Escalating to an FY25 construction mid-point and accounting for inflation and other market factors yields \$5.8M per house
  - $\$5.8 \times 7$  duplexes = \$41.2 Million total restoration estimate.





# DEMOLITION



The project will comply with the *Program Comment for Department of the Army Inter-War Era Historic Housing, Associated Buildings and Structures, and Landscape Features (1919 – 1940)*, as enacted by the ACHP on September 4, 2020. This document sets forth the way in which the Army complies with Section 106 of the National Historic Preservation Act for its inventory of Inter-War Era historic housing management actions, including: maintenance, repair, rehabilitation, renovation, abatement, mothballing, demolition, replacement construction, new construction, lease and conveyance.

The intent of the *Program Comment* “is to address the Army’s National Historic Preservation Act (NHPA) compliance requirements by establishing procedures for management of the Army’s nation-wide inventory of over 3,200 Inter-War Era housing units that balance historic preservation requirements with the Army’s responsibility to provide the thousands of military families who live in this historic housing with the quality of life, health, and safety they require.” (Federal Register, Vol. 85, No. 198, page 64495)

A demolition procedure and requirements for Major Decision (MD) package submitted to Headquarters, Department of the Army for approval. The MD package will include:

- a. Executive overview
- b. Scope of demo action with cost and justification
- c. Financial assessment of the impacts to overall housing project
- d. A schedule
- e. Building Disposition Report
- f. All public, SHPO, Indian tribe and/or NHO comments and how each comment was addressed or adjudicated
- g. Summary of major deficiencies in following the outlined Demo Procedure and action to resolve the deficiency
- h. Army FPO concurrence

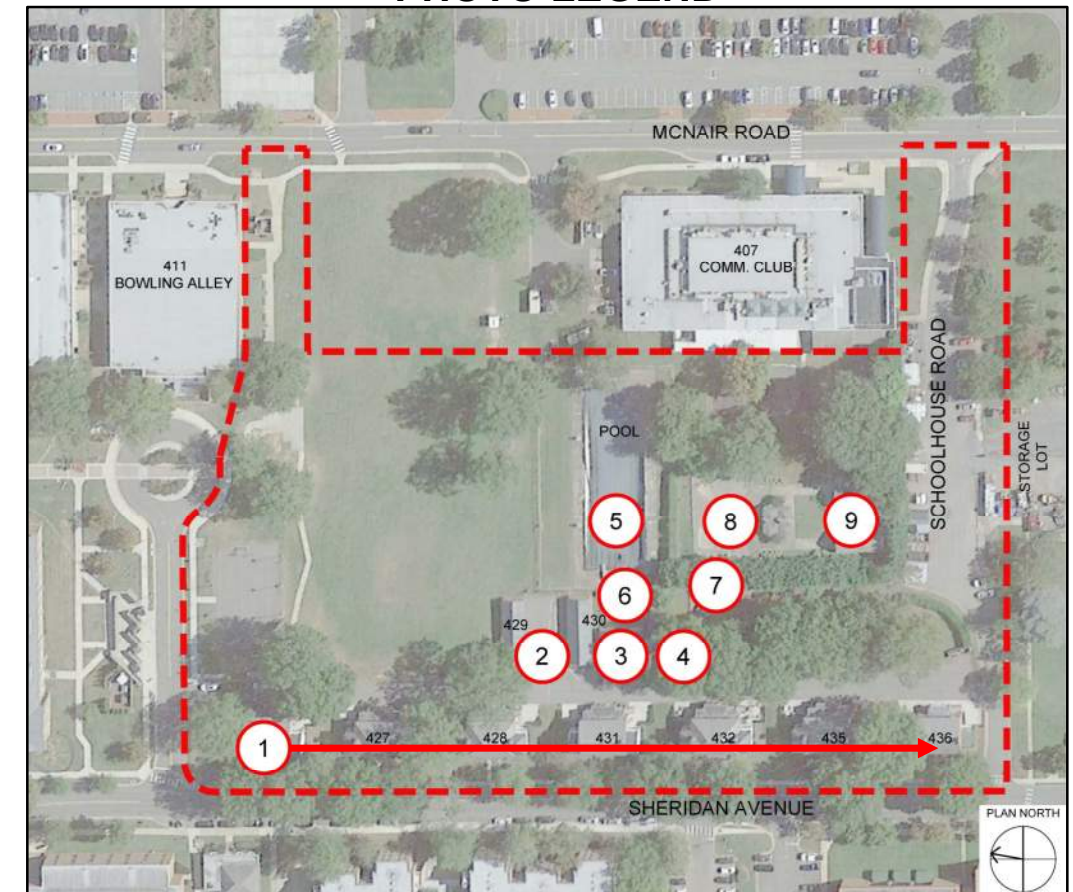
Consultation under the Program Comment is to identify if there is major deficiency in following the Demolition Procedure. If any reviewing party believes the major deficiency has not been addressed, they may request ACHP review and comment regarding the major deficiency.



# EXISTING STRUCTURES TO BE REMOVED



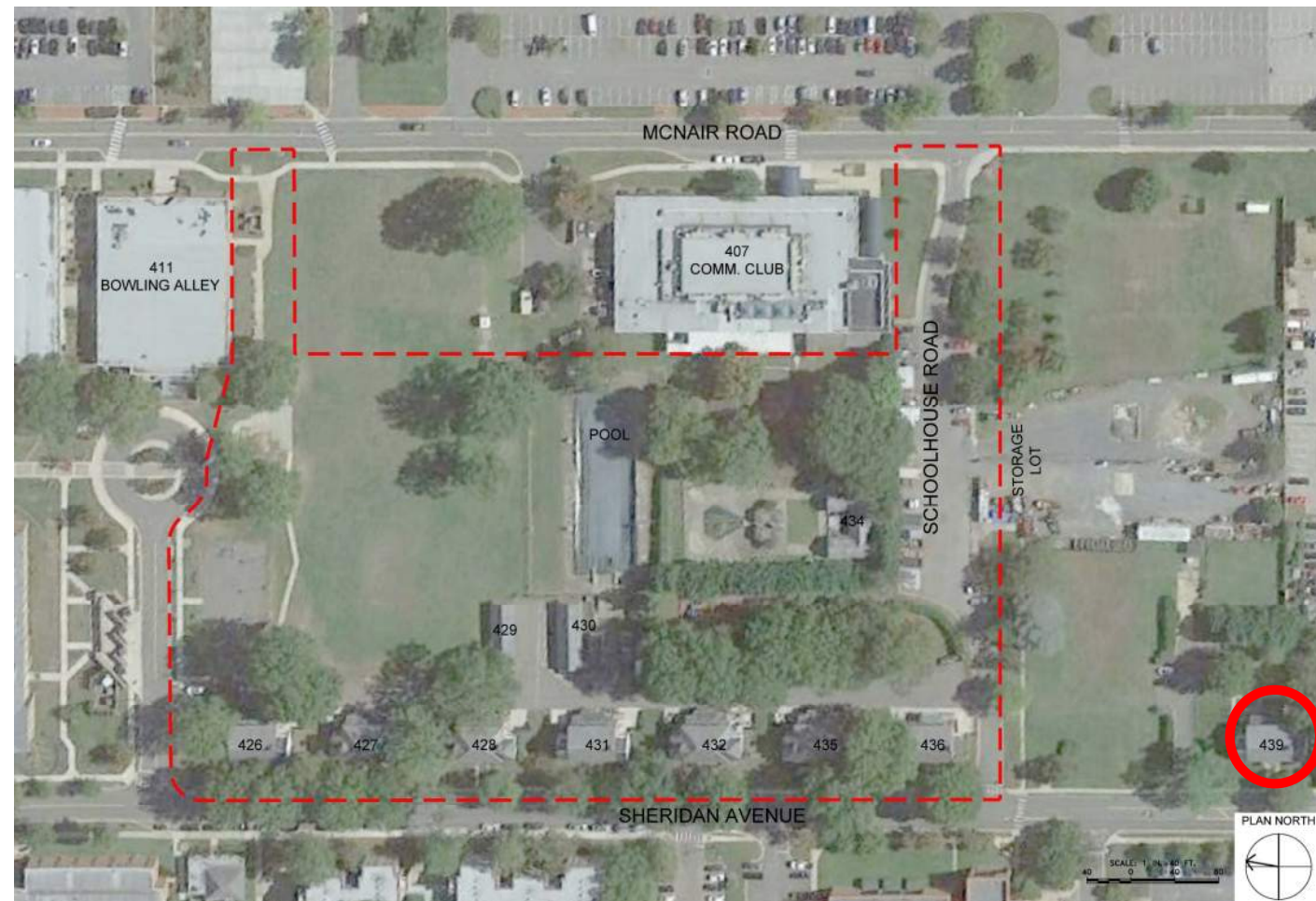
## PHOTO LEGEND







# EXISTING DUPLEX TO BE RETAINED



Location Map

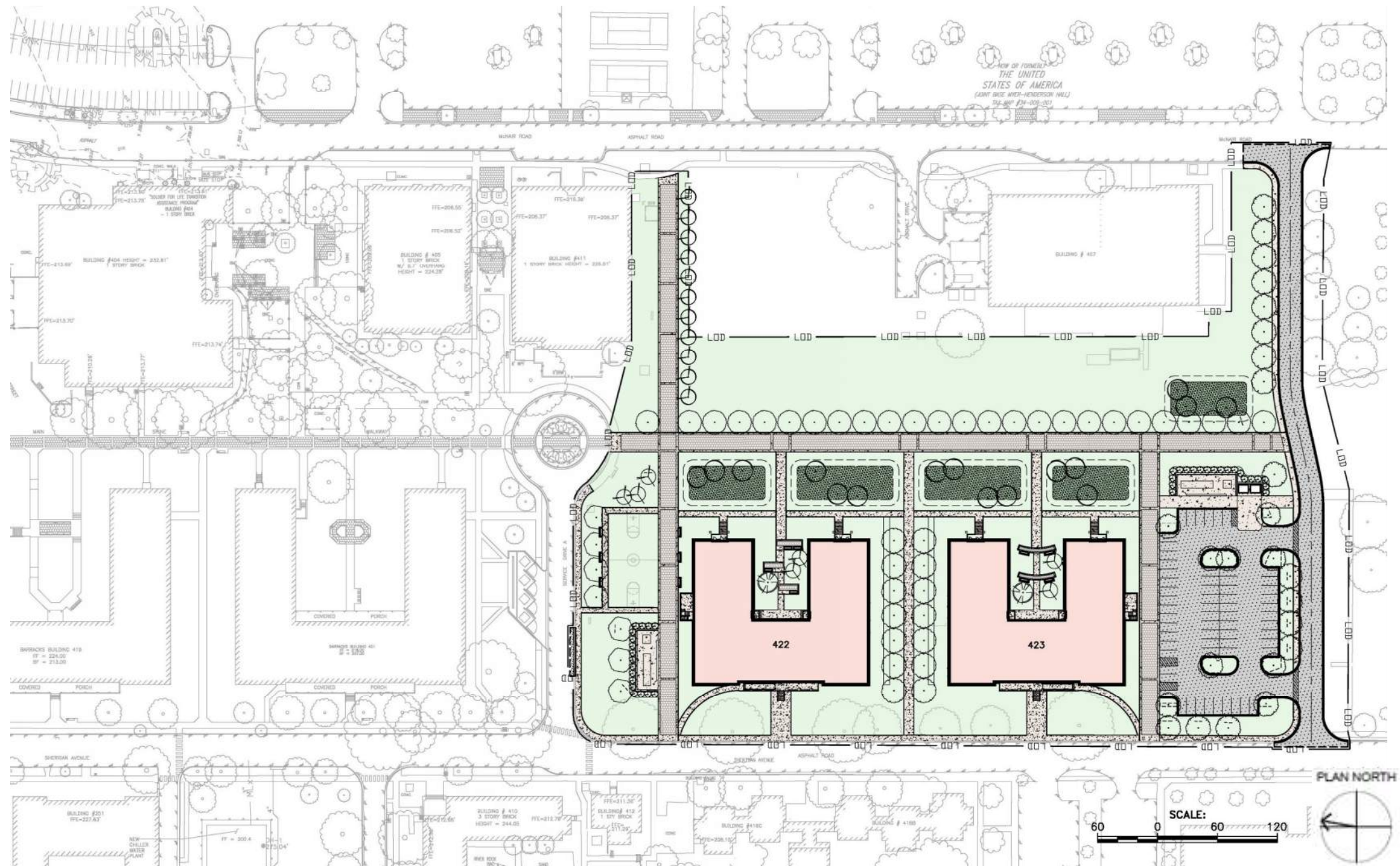


Building 439





# PROPOSED CONDITIONS



Site Plan Neighborhood View





# SITE PLAN

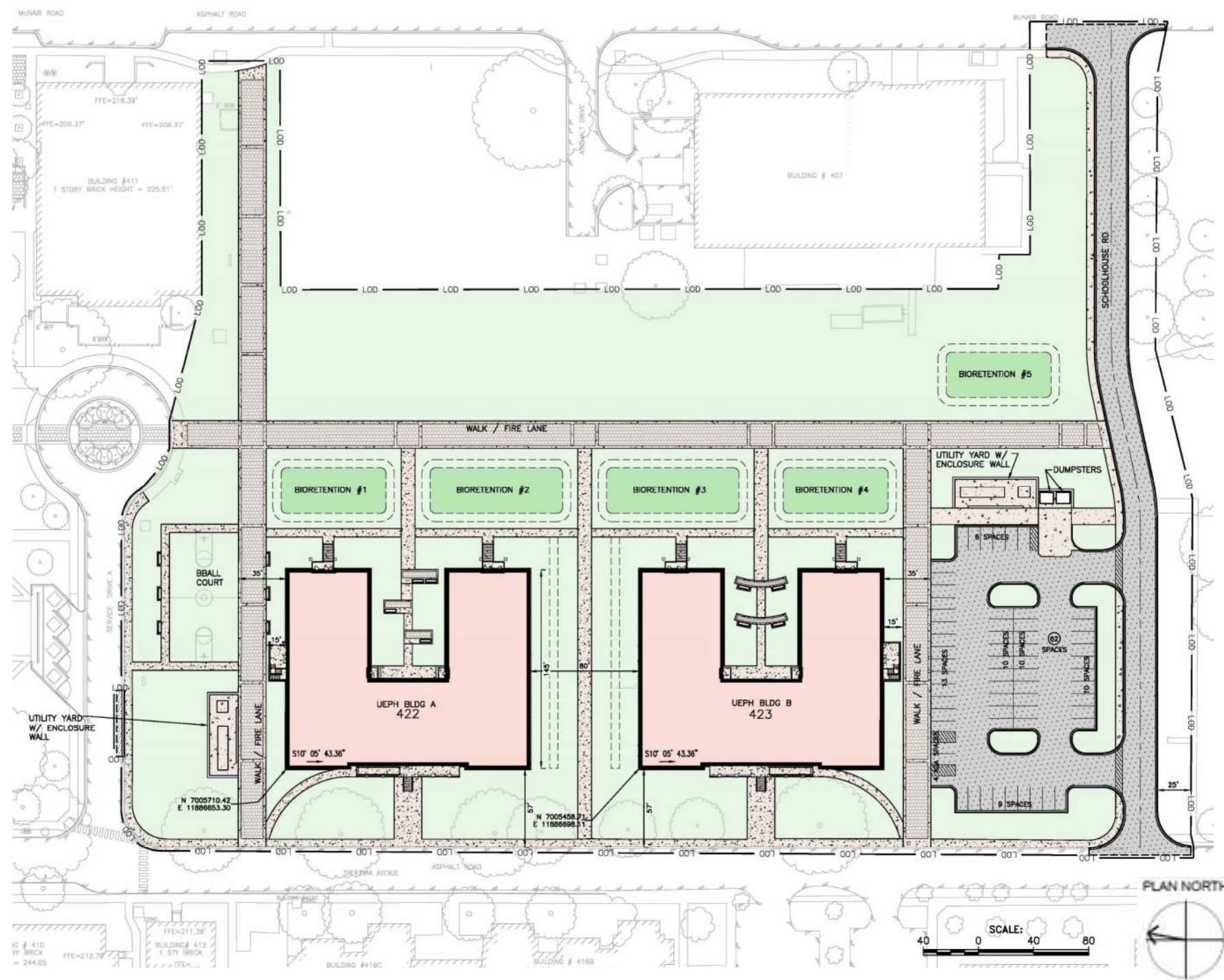


## Building Siting

The two new Barracks buildings are sited to align with the front façades of existing Barracks Buildings 419 and 421 along Sheridan Avenue, providing a continuation of the barracks community. The building setback along Sheridan Avenue, approximately 60 feet, also allows preservation of as many of the large deciduous street trees along Sheridan Avenue as feasible. On the east side of the new buildings, the existing paver pedestrian corridor, that originates at Summerall Field, will continue south until it reaches Schoolhouse Road.

## Parking

A 62-space parking lot is provided between the new barracks buildings and Schoolhouse Road. Schoolhouse Road will be realigned from its existing poor condition.







# GRADING PLAN



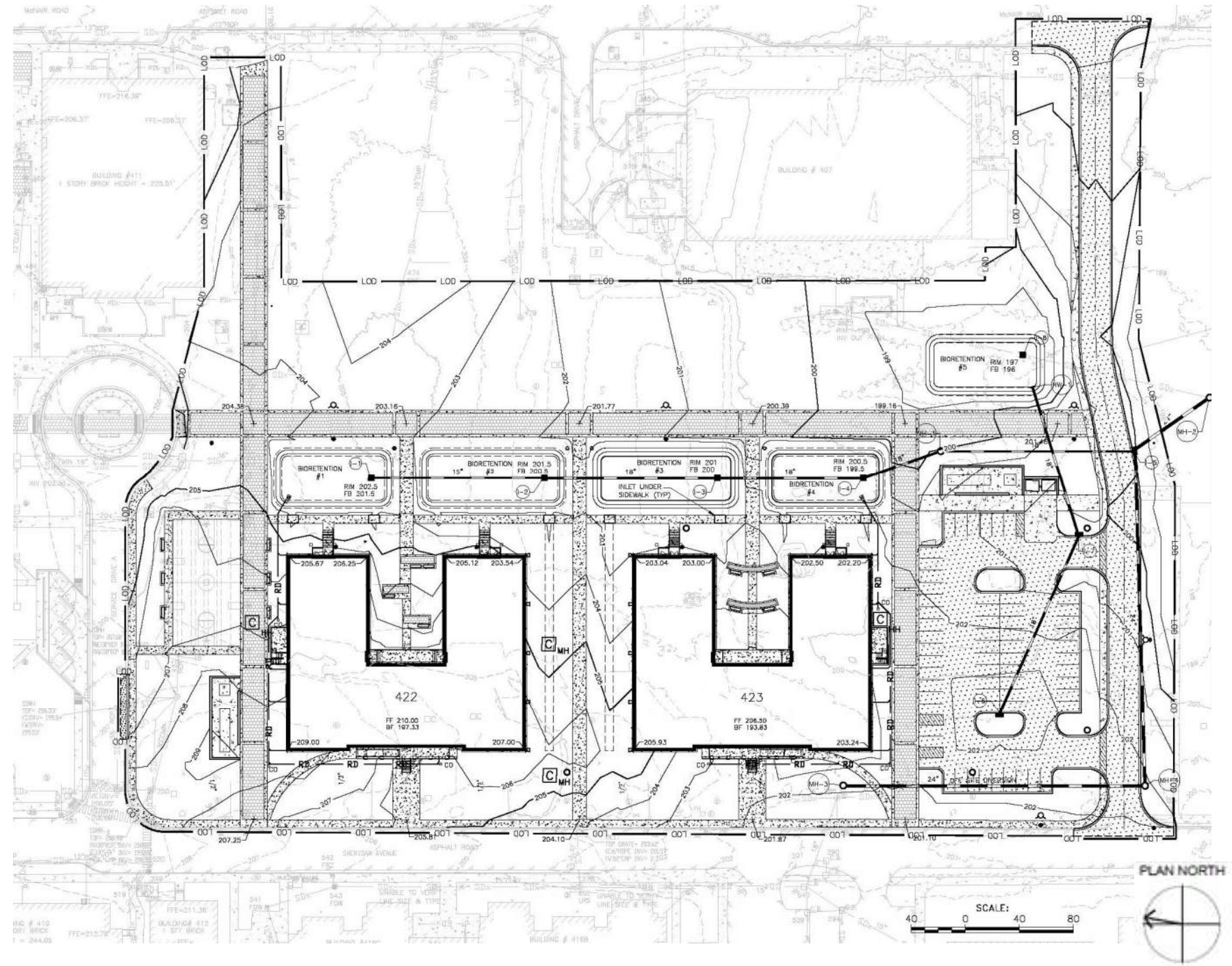
## Finish Floor Elevations

The grading concept in this parametric design uses the existing elevations along Sheridan Avenue to determine the new barracks buildings finish floor elevation. For continuity with adjacent existing Barracks Buildings 419 and 421, the new buildings are set a few feet higher than the existing sidewalk along Sheridan. This allows for a similar elevated porch to the other barracks buildings.

Building A's (Building 422) first floor is set at elevation 210 feet. Building B (Building 423) first floor is set at 206.5 feet. The proposed grade falls from west to east along the sides of the new buildings, so more of the basement wall will be exposed on the west side. This follows the existing topography of the site.

## Slopes

Proposed grades will vary from minimum 2% on the flattest lawn areas to maximum 33% on the stormwater management facility side slopes.







# LANDSCAPE PLAN

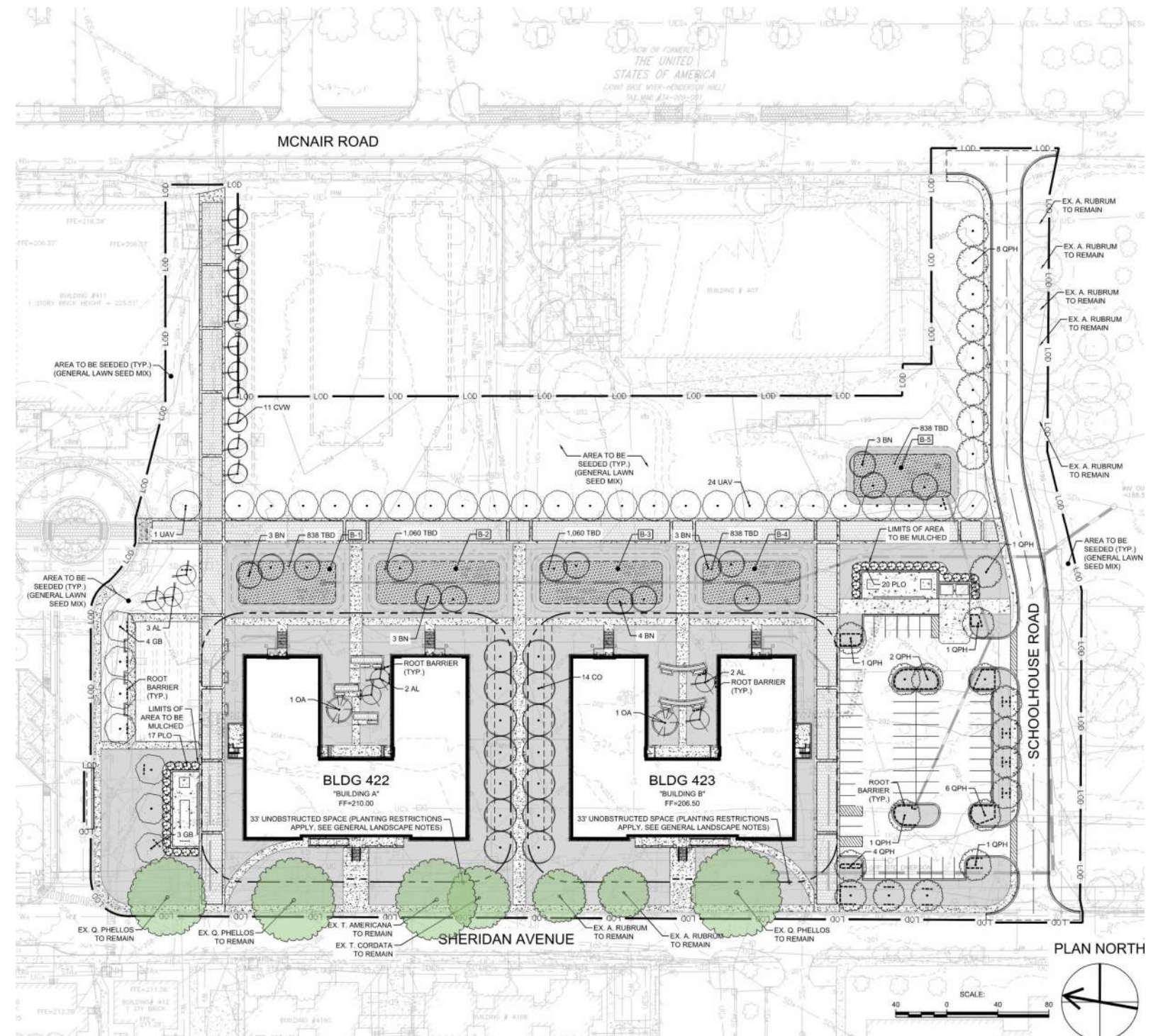


## Trees

Along Sheridan Avenue, specimen trees will be retained and incorporated into the final landscape design as much as practicable. Of the existing 12 street trees along the Sheridan Avenue frontage, the current design allows for retaining seven. The project necessitates the removal of approximately 25 specimen trees (as defined by the UFC on Landscape Architecture) in “fair” condition or better; to mitigate for this loss, the design team proposes a 3:1 or more replacement of major deciduous trees throughout the landscape.

## Landscape Features

The dominant feature of the landscape will be a continuation of the pedestrian walk that runs north to south to its terminus at Summerall Field north of the project site, allowing for further continuation south of the project site with future improvements. The two proposed UEPH barracks buildings are constrained by this pedestrian walk and Sheridan Avenue, the existing basketball court converted to a plaza, and the new parking lot for barracks residents. Each barracks will have a unique courtyard area with associated amenities such as bench seating and accessible walks surrounding the buildings, contributing to an urban, walkable development. Because of the residential nature of the project, care has been taken to provide for multi-seasonal interest in the planting selections to create a sense of place.





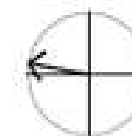


# AERIAL MAP

28



PLAN NORTH



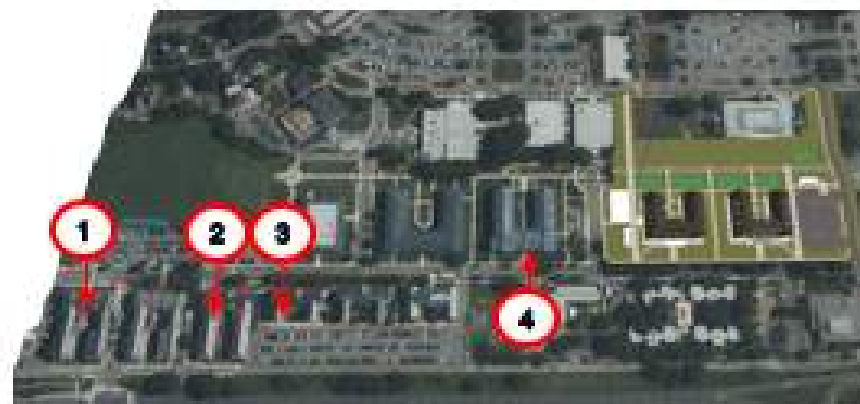


# DESIGN PRINCIPLE



BLDG 246

- Scale and Massing along Sheridan
- Community Feel – Pedestrian Focused
- Architectural features



- 2 Story Building
- Raised single story Porch
- Architectural features – Porch, Dormers, Windows



BLDG 248



BLDG 249

- 2 Story Building
- Balcony over Raised Porch
- Double Brick columns
- Architectural Features – Porch, Chimney.



BLDG 421

- 3 Story Building
- Raised Single story Porch
- Architectural Features – Porch, Dormers, Windows





# ARCHITECTURAL FEATURES

FAUX SLATE ROOF  
CORNICE  
DORMERS W/ LOUVERS

CORNICE/TRIM  
COMPOSITE WINDOWS W  
STONE SILL-HEADERS.  
STRING COURSING

FACE BRICK  
FACE BRICK  
STANDING SEAM  
METAL ROOF

PORCH COLUMN  
PORCH RAILINGS  
WATER TABLE  
STONE BASE



PROPOSED FACADE



EQUIPMENT SCREEN



REAR PORCH





# PERSPECTIVE #1

CURRENT VIEW



PROPOSED VIEW



SHERIDAN AVE. FACING SOUTHEAST







# PERSPECTIVE #2

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BUILDING A – SHERIDAN AVENUE







# PERSPECTIVE #3

33



**BUILDING B – SHERIDAN AVENUE**







# PERSPECTIVE #4

CURRENT VIEW



PROPOSED VIEW



PEDESTRIAN WALKWAY FACING NORTHWEST







# PERSPECTIVE #5



East Elevation







# PERSPECTIVE #6



PROPOSED VIEW



PEDESTRIAN CORRIDOR FACING SOUTHWEST



EXISTING VIEW



PEDESTRIAN CORRIDOR FACING NORTH







# ELEVATIONS – BLDG A



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION





# ELEVATIONS – BLDG B



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



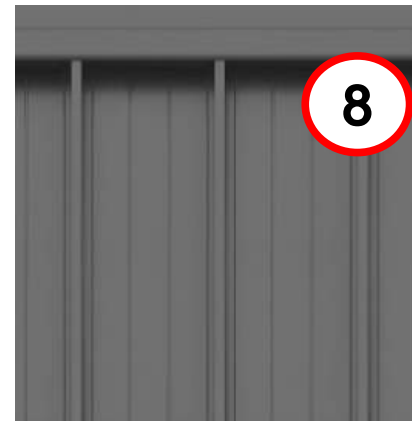
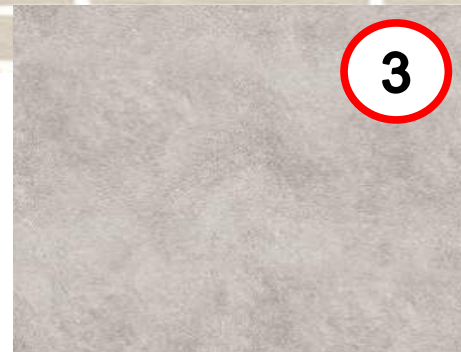
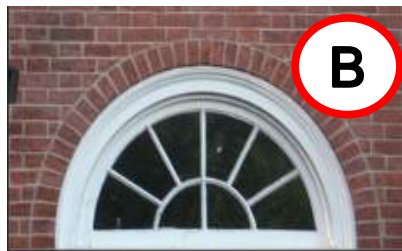
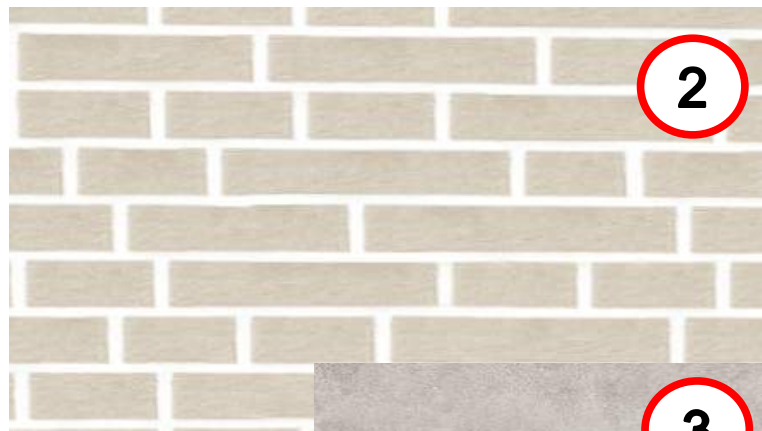
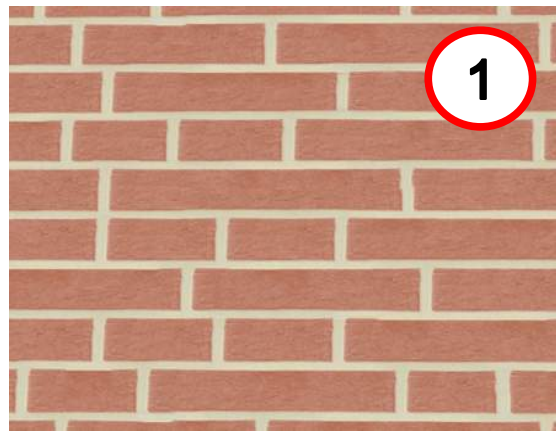


# MATERIALS

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## EXTERIOR



1- BRICK – RUNNING BOND

2 - BRICK ACCENT COLOR

3 – LIMESTONE WATER TABLE

4 –GROUND FACE CMU

5 – STONE BASE

6 – FAUX SLATE ROOF

7- FC SIDING (DORMERS)

8 – SS METAL ROOF

9 –COLUMN COVER/ CORNICE

10 – COPPER GUTTER/DS

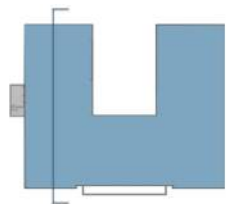
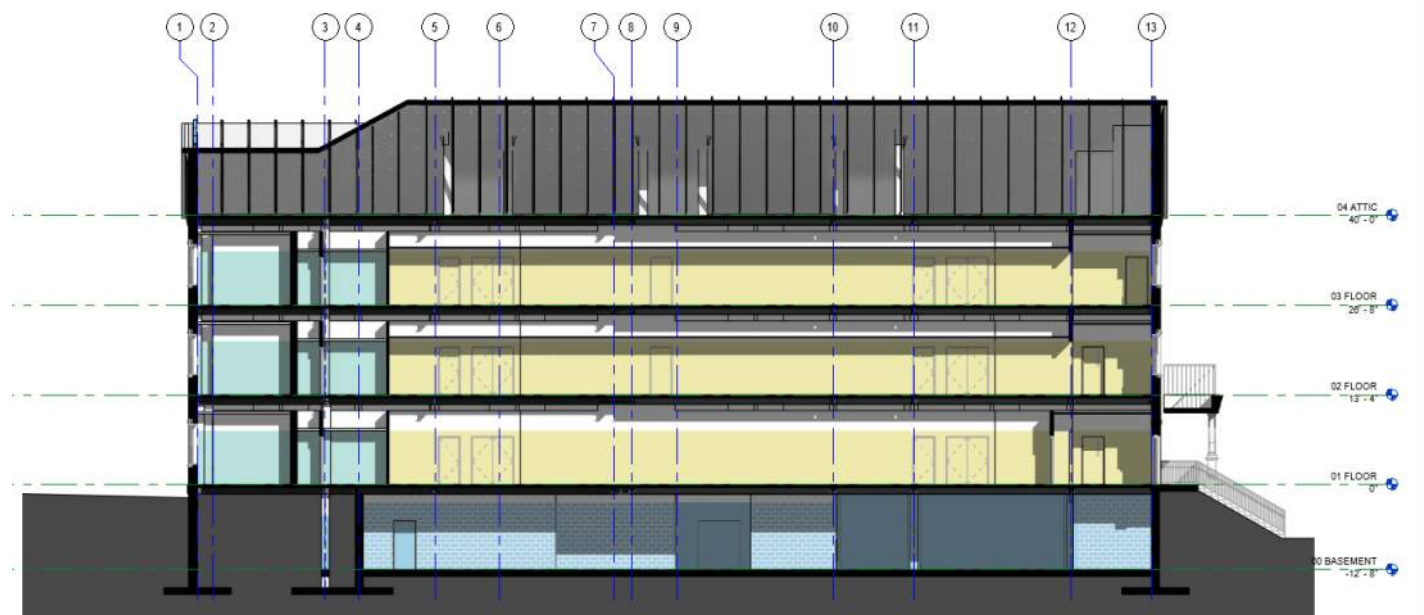
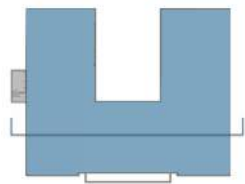
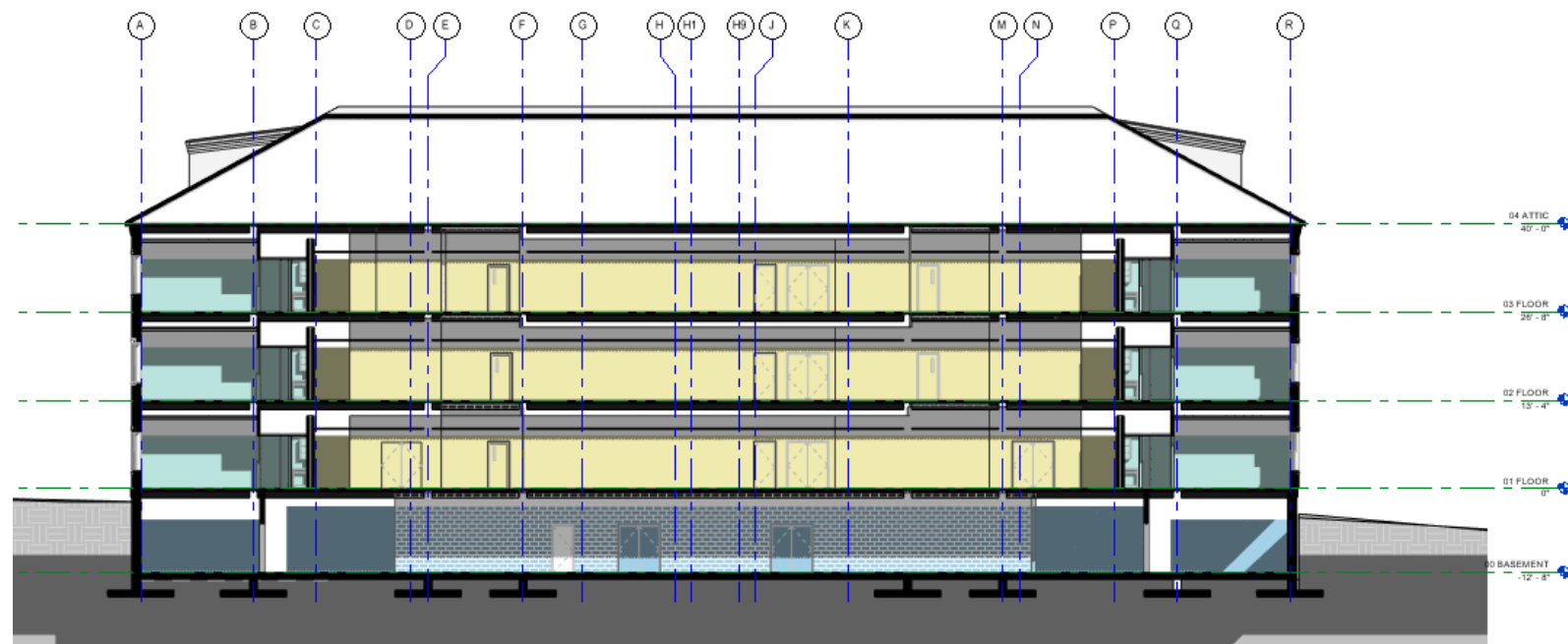
A –WOOD WINDOWS

B – HALF ROUND ATTIC WINDOWS








# SECTIONS



## LEGEND

-  CIRCULATION
-  RESIDENTIAL MODULE
-  UTILITY



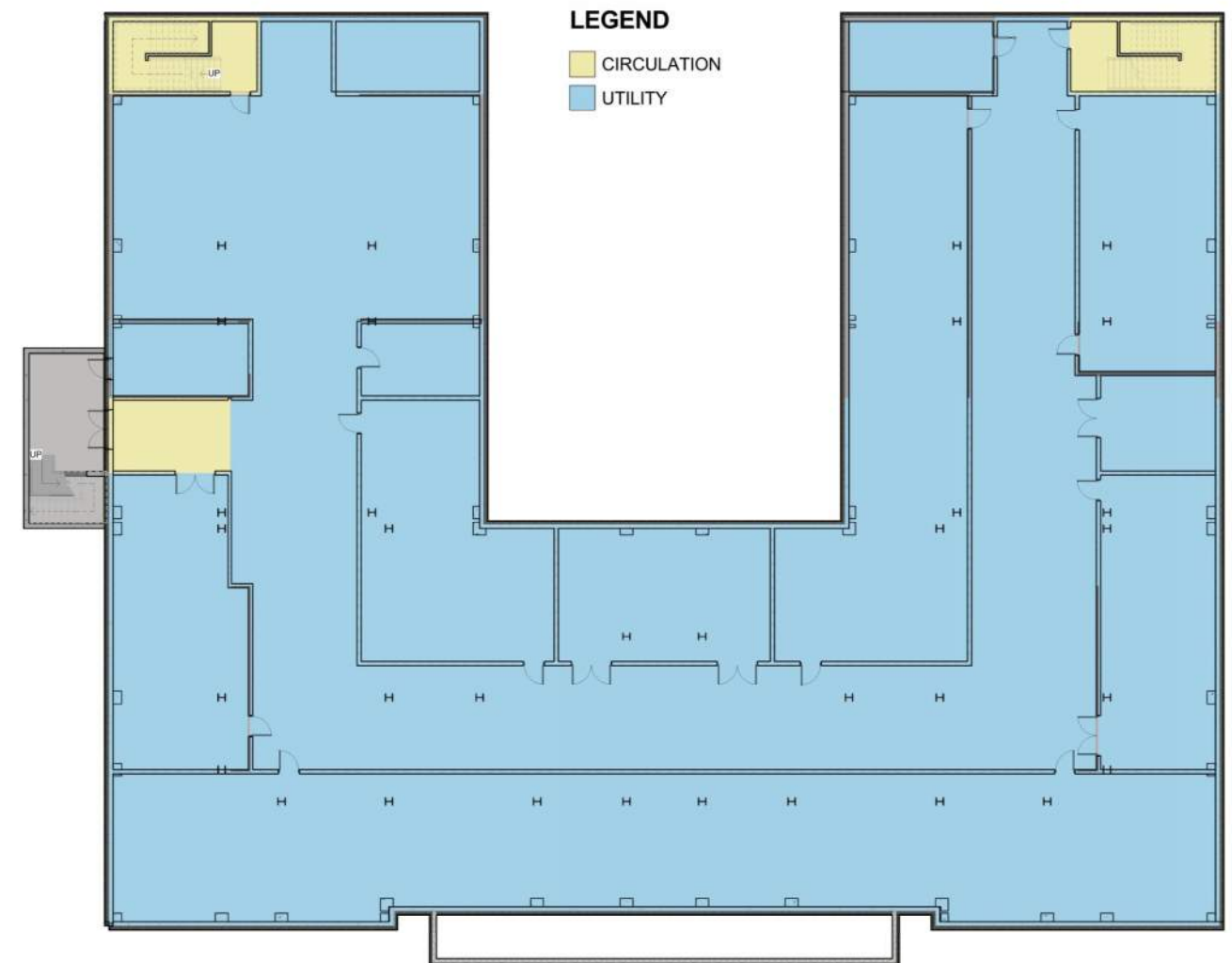


# PLANS

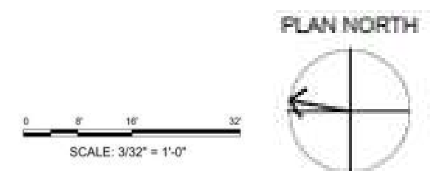


## Basement Floor Plan

- The Installation Design Standard & Master Planning restricts site mounted & rooftop equipment; therefore, a basement is necessary to provide required HVAC, electrical & communication support. Each U-shape building configuration will feature an enclosed basement with concrete retaining walls around the perimeter.
- Access to the basement is restricted to utility and service personnel through an area well at the building exterior and the two-egress stair along the East Façade.



**BASEMENT PLAN**  
3/32" = 1'-0"







# PLANS



## First Floor Plan

- The building shape is dictated by the existing campus features. The U-Shape is consistent with the other Barracks at Ft. Myer.
- The finish floor elevation is raised above sloping grades, which is standard with Federal style architecture at Ft. Myer. Access to the lobby is provided by several stair risers leading up to a covered front porch. The elevated front porches are provided on the west elevation and at facility egress points and facilitate ramp access for handicap users.
- Access to the courtyard is through the two separate stair lobbies flanking the lobby area.





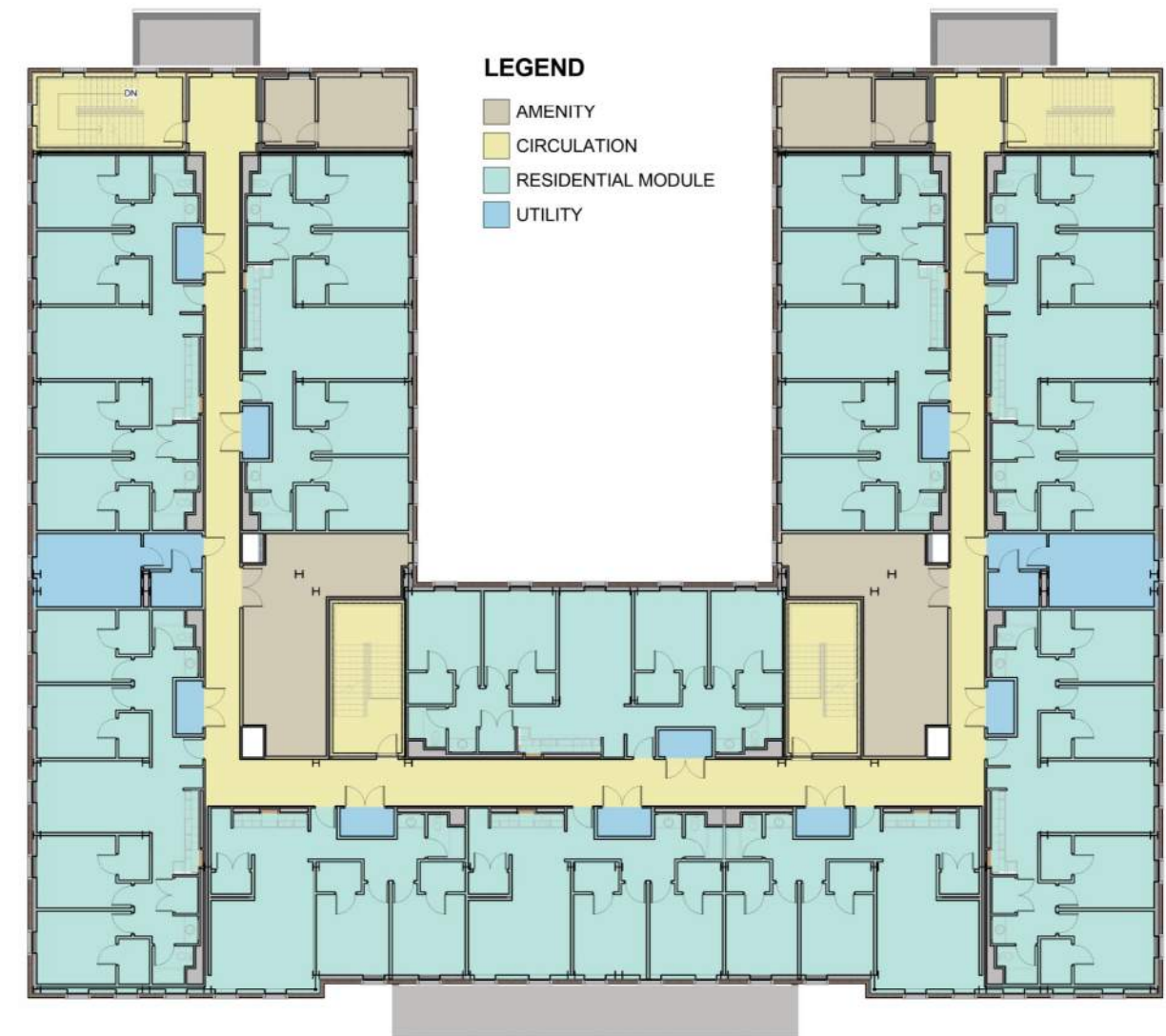


# PLANS



## Typical Floor Plan

- The building shape is appropriate for laying out the required housing modules in the most efficient way. This will meet the mission and conform to the existing historic streetscape.
- Other requested program space include fitness rooms, dayroom and steam presses conveniently distributed within the available footprint.



TYPICAL FLOOR PLAN - LEVEL 2 & 3



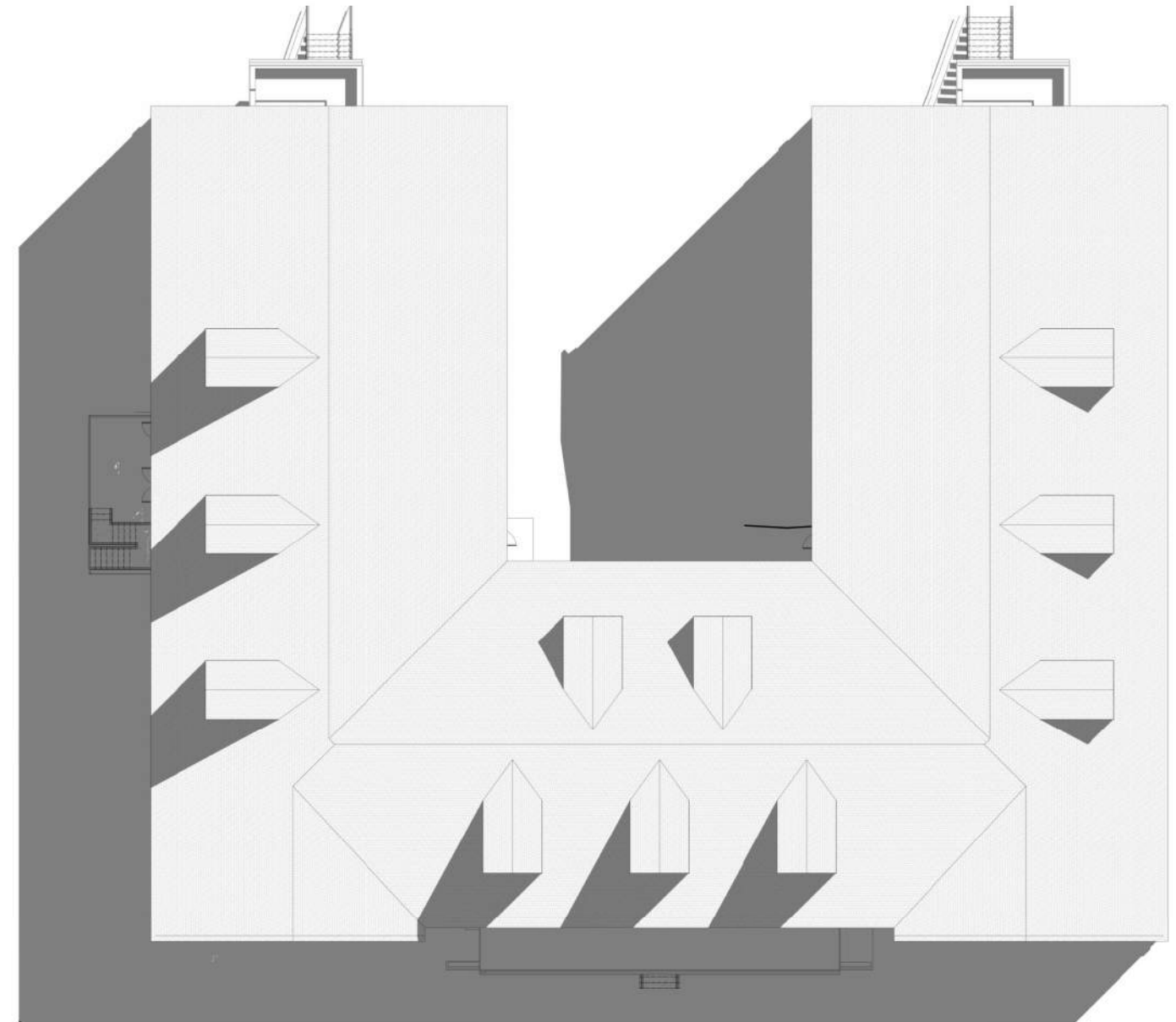


# PLANS



## Roof Plan

- Roof top equipment is prohibited due to historic characteristics and line of site from Arlington National Cemetery.
- Sloped gable roofs are utilized using artificial slate with dormers.



ROOF PLAN  
3/32" = 1'-0"

0 8' 16' 32'  
SCALE: 3/32" = 1'-0"







# HABITAT RESTORATION AREA



## Existing Land Use

An existing lawn hillside with scattered trees, approximately 1/3 mile northeast of the Barracks site along McNair Road, is available for Habitat Restoration to contribute to the project's sustainability goals. It is estimated that approximately 2 acres of the 4-acre area will be needed to satisfy the requirements. The Habitat Restoration Area will be forested with a minimum of five tree species (including major and minor deciduous trees) and two shrub species, including flowering species to provide for native pollinators. Low maintenance, hardy plantings will be selected to ensure the longevity of the Habitat Restoration Area with minimal human intervention. A 10-foot wide porous asphalt pedestrian trail, connecting to the existing trail along the west side of McNair Road, may be incorporated within the Habitat Restoration Area to achieve a human engagement component.

## Viewsheds

This area is in the historic district and will be coordinated with all interested agencies: CFA, SHPO, NCPC, NPS, ANC, and Arlington County.

The viewsheds from both the officer residences (along Moore Lane and Lee Avenue) looking down towards the cemetery, and from the Millennium Area of Arlington National Cemetery looking up the hillside, will be improved from the existing condition with more pastoral and natural scenery.







# VIEWSHEDS RESTORATION AREA



## PHOTO LEGEND



The hillside's existing condition contains scattered trees and shrubs, with several standing dead trees.





# PROPOSED RESTORATION PLANTINGS



Arrowwood Viburnum  
*Viburnum dentatum*



Carolina Silverbell  
*Halesia carolina*



New Jersey Tea  
*Ceanothus americanus*



Eastern Redbud  
*Cercis canadensis*



American Hackberry  
*Celtis occidentalis*



American Sweet Gum  
*Liquidambar styraciflua*



Willow Oak  
*Quercus phellos*