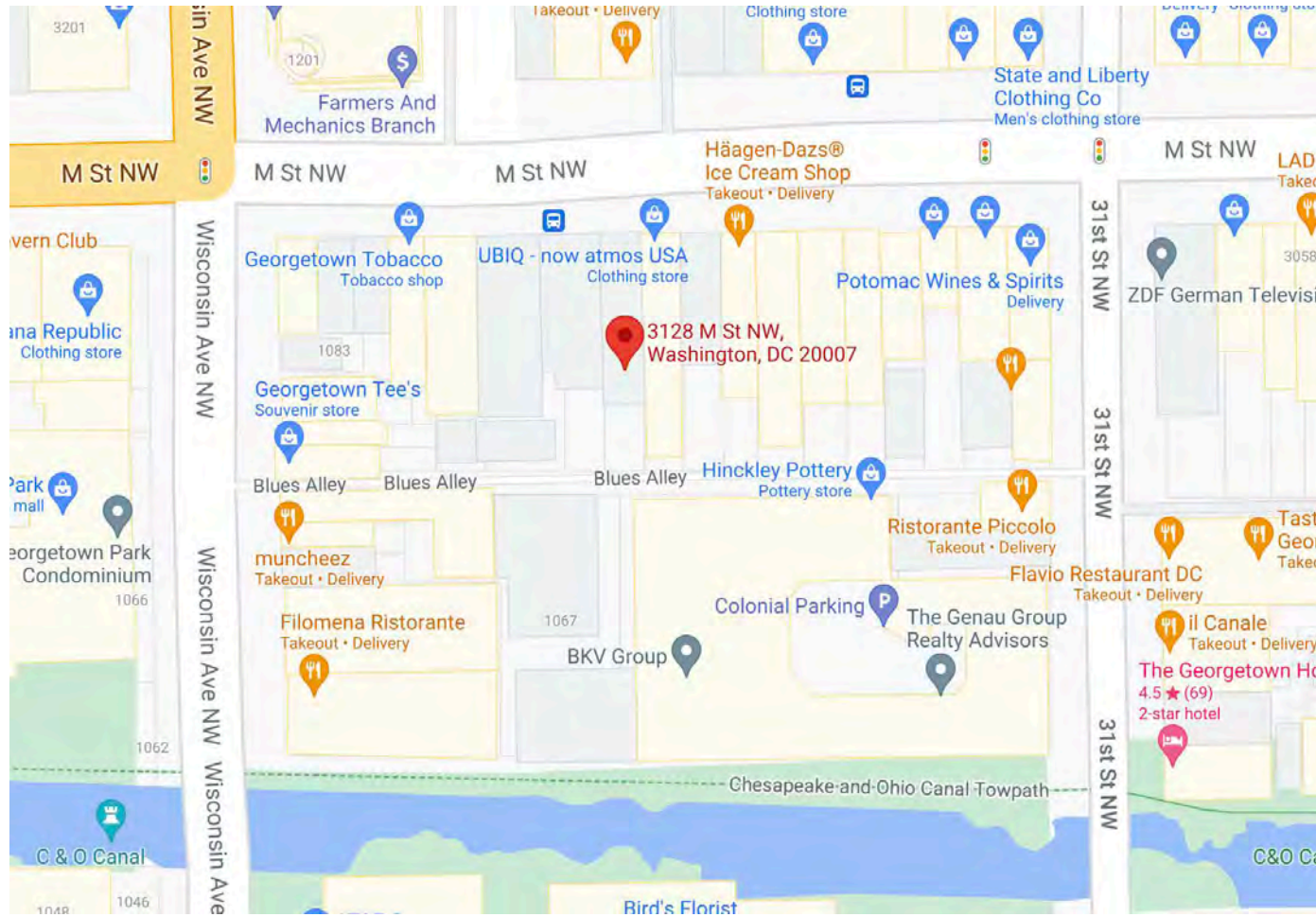
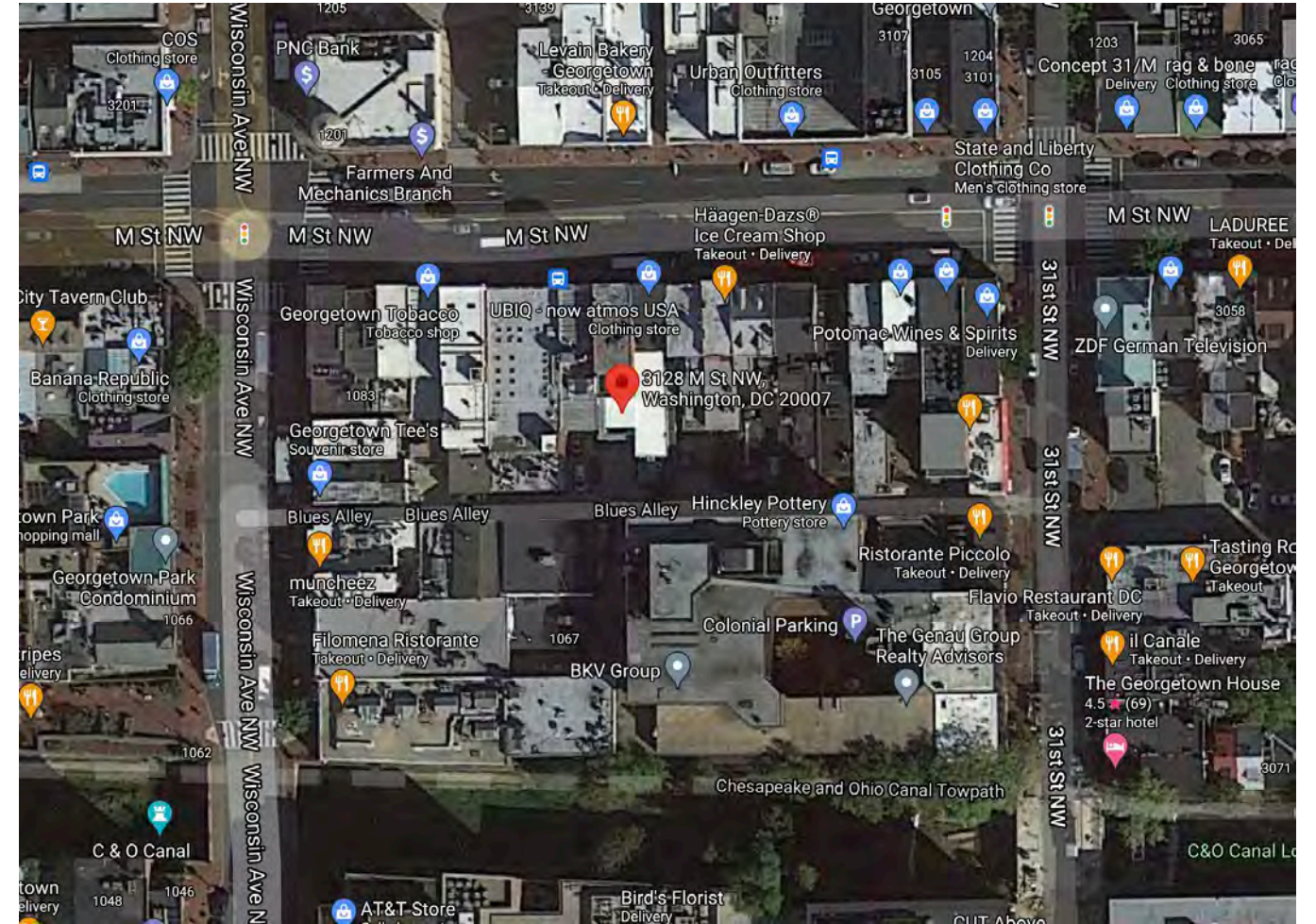


BUCK MASON

WASHINGTON D.C.



AERIAL SITE MAP



AERIAL SITE MAP



EXISTING

EXISTING PICTURES



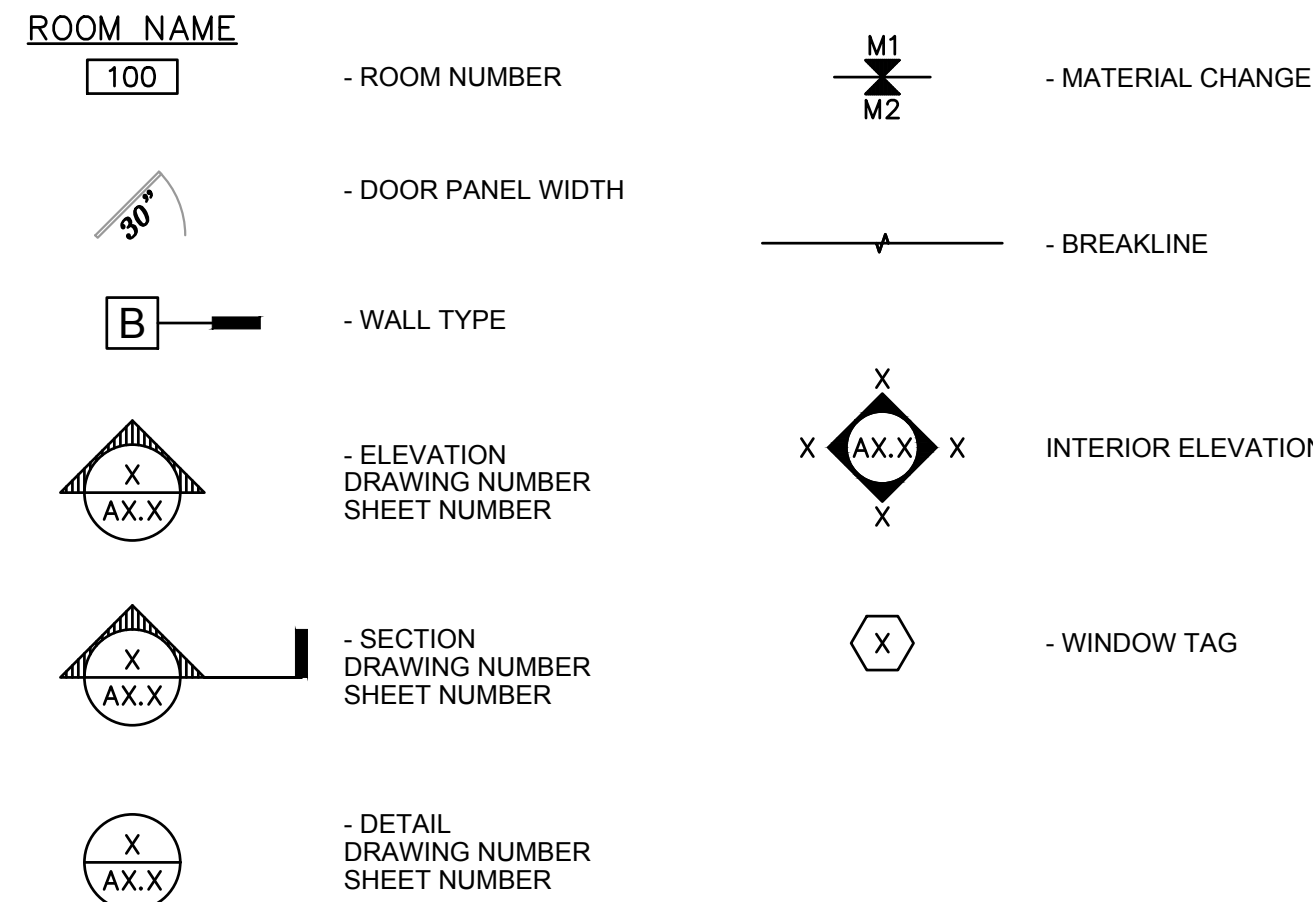








SYMBOLS LEGEND



STANDARD ABBREVIATIONS

A	@ ADJ A.F.F. ALUM ALT AMP APPROX ARCH	AT ADJACENT ABOVE FINISHED FLOOR ALUMINUM ALTERNATE AMPERE APPROXIMATE ARCHITECT or ARCHITECTURAL	M	MATL MAX. M.D.F. MECH MFG MFR, MNFR MIN MISC M.O. MSNRY MUL MTD MTL	MATERIAL MAXIMUM MEDIUM DENSITY FIBERBOARD MECHANICAL MANUFACTURING MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MULLION MOUNTED METAL
B	BD B.F.C. BLDG BLDG STD BLK B.O. BR BRNZ B.S.N. BTM B.T.U. BTWN	BD BELOW FINISHED CEILING BUILDING BUILDING STANDARD BLACK BOTTOM OF BRICK BRONZE ANODIZED BUILDING SYSTEM NOTES BOTTOM BRITISH THERMAL UNIT BETWEEN	N	N.I.C. NO. NOM N.T.S.	NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
C	CAB CIR CL CLG CLO CLR COL CONC CONST CONT CPT CT CFG	CABINET CIRCLE CENTERLINE CEILING CLOSET CLEAR COLUMN CONCRETE CONSTRUCTION CONTINUOUS CARPET CERAMIC TILE CORRUGATED FIBERGLASS	O	O.A.E. O.C. OPNG OPP O.H.	OR ARCHITECT-APPROVED EQUAL ON CENTER OPENING OPPOSITE OPPOSITE HAND
D	DEG DIA / Ø DIAG DIM DR DTL DWG	DEGREES DIAMETER DIAGONAL DIMENSION DOOR DETAIL DRAWING	P	P P.B. PLAM PLAS PLYWD POL PT PTD	PARTITION PUSH BUTTON PLASTIC LAMINATE PLASTER PLYWOOD POLISHED PAINT PAINTED
E	EA ELEV ELEC ENGR EQ ETC E.T.R. E.W.C. EX EXIST EXT	EACH ELEVATION ELECTRICAL ENGINEER or ENGINEERING EQUAL ETCETERA EXISTING TO REMAIN ELECTRIC WATER COOLER EXISTING EXISTING EXTERIOR	Q	Q.T.	QUARRY TILE
F	F-F F.B.O. F.D. F.E. F.E.C. F.H.C. FIN FLR F.O. FLUOR F.R. F.S. FT F.V.C.	FINISH TO FINISH FURNISHED BY OWNER (OTHERS) FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FINISH FLOOR FINISH OPENING FLUORESCENT FIRE RETARDANT FINISH SURFACE FEET FIRE VALVE CONNECTION	R	R R.C.P. RD RECT REF REFL REFRIG REINFC RELOC REQ REV RM R.O. R.S. RUB RR RWL	RADIUS REFLECTED CEILING PLAN ROUND RECTANGULAR REFERENCE REFLECTED REFRIGERATOR REINFORCED RELOCATE or RELOCATED REQUIRED or REQUIREMENT REVISION ROOM ROUGH OPENING ROUGH-SAWN RUBBER RESTROOM RAIN WATER LEADER
G	GA GWB GALV GL GYP. BD.	GAUGE GYPSUM WALLBOARD GALVANIZED GLASS GYPSUM BOARD	S	SECT SHT SIM SPECS SQ S.S. STD STL STN STRUCT SURF SUSP	SECTION SHEET SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STAIN STRUCTURE or STRUCTURAL SURFACE SUSPENDED
H	HDW HDWD H.M. HORIZ HR HT H.W.T.	HARDWARE HARDWOOD HOLLOW METAL HORIZONTAL HOUR HEIGHT HOT WATER TANK	T	T & G T.B. TEL T.O. TYP T.B.D.	TONGUE & GROOVE TO BE SPECIFIED TELEPHONE TOP OF TYPICAL TO BE DETERMINED
I	IBC INSUL INT	INTERNATIONAL BUILDING CODE INSULATION INTERIOR	U	U.C.F. U.F. UNF U.N.O.	UNDER CABINET FIXTURE UPHOLSTERY FABRIC UNFINISHED UNLESS NOTED OTHERWISE
J	JAN J.B.	JANITOR JUNCTION BOX	V	VCT VERT VEST V.G. V.I.F. V.T.R.	VINYL COMPOSITE TILE VERTICAL VESTIBULE VERTICAL GRAIN VERIFY IN FIELD VENT THROUGH ROOF
L	LAM LAV LBS LIN	LAMINATE LAVATORY POUNDS LINOLEUM	W	W/ W/N W/O W.C. WD WWF	WITH WITHIN WITHOUT WALL COVERING WOOD WELDED WIRE FABRIC

GENERAL NOTES

- THE CONTRACTOR SHALL BECOME ACQUAINTED WITH LANDLORD CONSTRUCTION CRITERIA AND REQUIREMENTS PRIOR TO BIDDING ON PROJECT. NO EXTRAS WILL BE ALLOWED DUE TO LACK OF FAMILIARITY WITH REQUIREMENTS OR SITE CONDITIONS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND JOB CONDITIONS AND SHALL REPORT TO OWNER'S REPRESENTATIVE AND ARCHITECT REPRESENTATIVE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL FIELD MEASUREMENTS, FIELD CONSTRUCTION, AND INSTALLATION CRITERIA, COORDINATION OF ALL TRADES AND OWNER-SUPPLIED ITEMS, AND THE MEANS AND METHODS OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL CODES, ORDINANCES, AND REGULATIONS APPLICABLE AT PROJECT LOCATION. CONTRACTOR IS RESPONSIBLE FOR FILING AND SECURING ALL NECESSARY PERMITS, APPROVALS, ETC. FOR ALL TRADES.
- ALL WORK TO CONFORM WITH DRAWINGS AND SPECS. DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- CONTRACTOR SHALL PROTECT ALL WALLS, DOORS, FRAMES, SURFACES, FIXTURES, ETC. ADJACENT TO THE WORK AREA OR SCHEDULED AS "EXISTING TO REMAIN" FROM DAMAGE DURING DEMOLITION. CONTRACTOR SHALL VERIFY IF THESE SURFACES ARE PLUMB, SQUARE, AND TRUE AND SHALL CORRECT AS REQUIRED.
- CONTRACTOR TO OVERSEE CLEANING AND ENSURE THAT THE PREMISES ARE MAINTAINED FREE OF TRASH DURING CONSTRUCTION. FINAL CLEAN-UP IS THE RESPONSIBILITY OF THE CONTRACTOR. REPAIR, PATCH, TOUCH-UP, OR REPLACE MARRED SURFACES AND MAINTAIN CLEANING UNTIL OCCUPIED BY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STORAGE AND HANDLING FOR ALL TENANT SUPPLIED ITEMS AND MATERIALS.
- AT THE TERMINATION OF THE WORK, SUBMIT TO THE OWNER ALL MAINTENANCE MANUALS PRESENTING FULL DETAILS FOR CARE AND MAINTENANCE OF SURFACES AND EQUIPMENT OF EVERY NATURE. CONTENTS SHALL INCLUDE MANUFACTURERS' AND INSTALLERS' NAMES, ADDRESS AND PHONE NO., AND INSTRUCTIONS FOR INSTALLATION, START-UP OPERATION, MAINTENANCE PARTS LIST, AND DATA SHEET.
- CONTRACTOR SHALL TAKE WHATEVER PRECAUTIONS NECESSARY TO PROTECT EXISTING UTILITY LINES, DUCTWORKS, FIXTURES, FINISHES, ETC. WHICH REMAIN AS PART OF THE FINAL SYSTEMS. CONTRACTOR SHALL CLEAN, REPAIR, RELAMP, ETC. THESE ITEMS AS REQUIRED FOR PROPER FUNCTIONING OF THE FINAL SYSTEM.
- THE CONTRACTOR SHALL COORDINATE ALL ARCHITECTURAL WORK WITH ELECTRICAL, PLUMBING, MECHANICAL AND FIRE PROTECTION DRAWINGS BY OTHERS AS PART OF THE DESIGN/BUILD DELIVERY OF THESE SCOPES BY THE INSTALLING CONTRACTORS.
- G.C., ARCHITECT AND OWNER'S REPRESENTATIVE TO COORDINATE THE NUMBER AND LOCATION OF ADA HORN/STROBES AND ANY OTHER WALL OR CEILING-MOUNTED FIRE ALARM ACCESSORIES REQUIRED.
- PATCHING: CONTRACTOR SHALL PATCH SMOOTH AND FLUSH, SURFACES WHERE EXISTING PARTITIONS, DOORS, ETC., HAVE BEEN REMOVED FROM WALLS AND FLOORS. SURFACES SHALL BE READY TO RECEIVE FINAL FINISHES.
- ALIGN NEW CONSTRUCTION WITH EXISTING ADJACENT CONSTRUCTION, U.N.O.
- DIMENSIONING NOTED TO ROUGH FRAMING OF PARTITIONS, U.N.O.
- G.C. TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION AT ALL TIMES.
- PROVIDE NEW OPENINGS REQ'D IN NEW & EXISTING PARTITIONS & FLOOR SLABS FOR NEW & EXISTING PLUMBING, ELECTRICAL & MECHANICAL WORK. FURNISH & INSTALL SLEEVES & FIRE STOPPING FOR NEW & EXISTING PIPING, CONDUITS, DUCTS ETC. COORDINATE THIS WORK WITH THE MECHANICAL & ELECTRICAL CONTRACTORS.
- CONTRACTOR SHALL PROVIDE FIRE RATED WOOD BLOCKING CONCEALED IN WALL FOR ALL WALL HUNG MILLWORK UNITS, DOOR JAMBS, SHELVES, SIGNS, ETC. AS REQUIRED.
- WHEN "APPROVED EQUALS", "EQUAL TO" OR SIMILAR QUALIFYING TERMS ARE USED IT SHALL BE BASED UPON THE REVIEW AND APPROVAL BY ARCHITECT.
- G.C. TO MAINTAIN A SAFE & CLEAR MEANS OF EGRESS FROM THE SITE DURING ALL PHASES OF CONSTRUCTION.

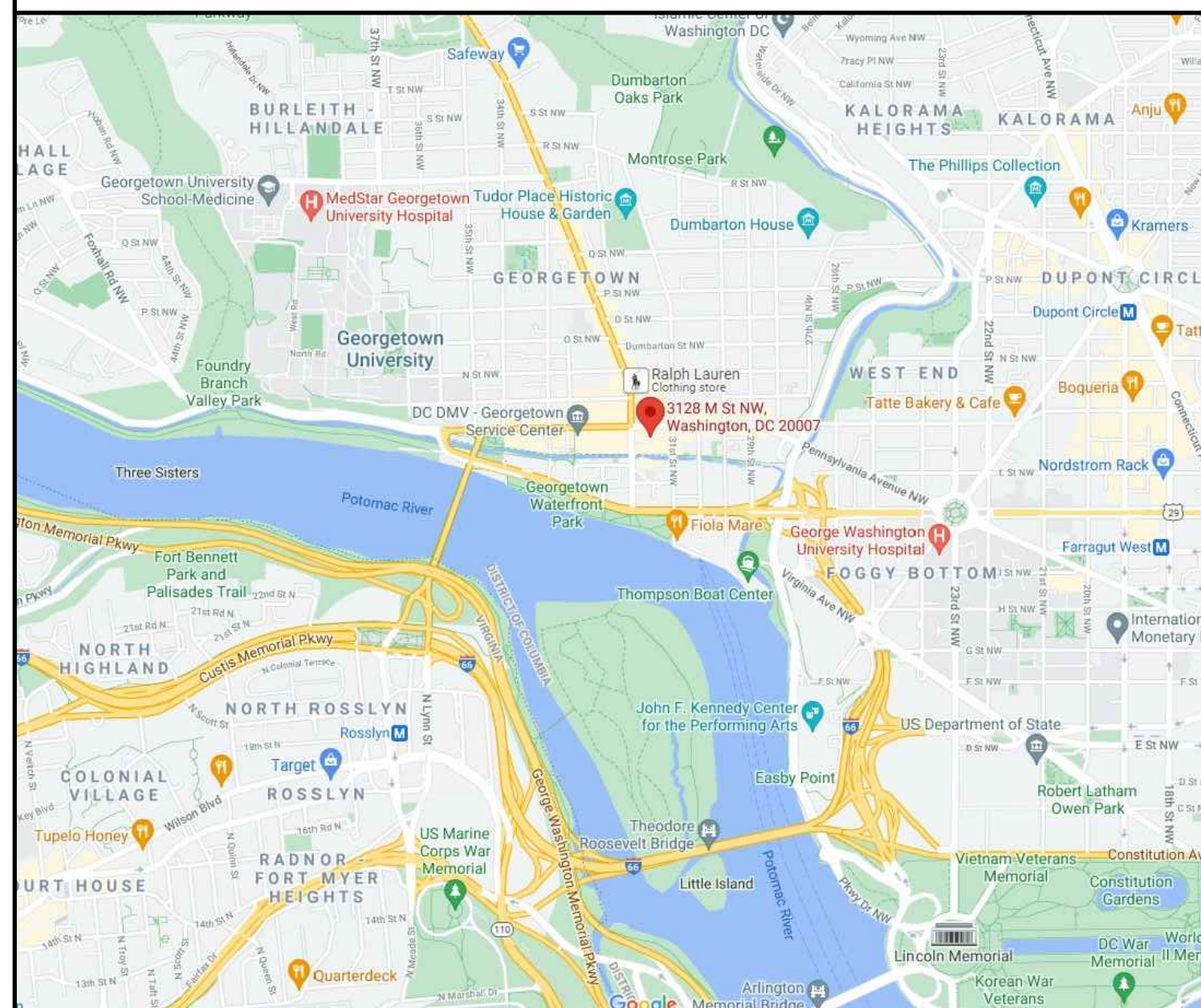
SCOPE OF WORK NOTE

THE PROJECT IS COMPRISED OF THE FOLLOWING AREAS/SPACES: SALES AREA, BACK OF HOUSE/STOCK, HALL, RESTROOM.

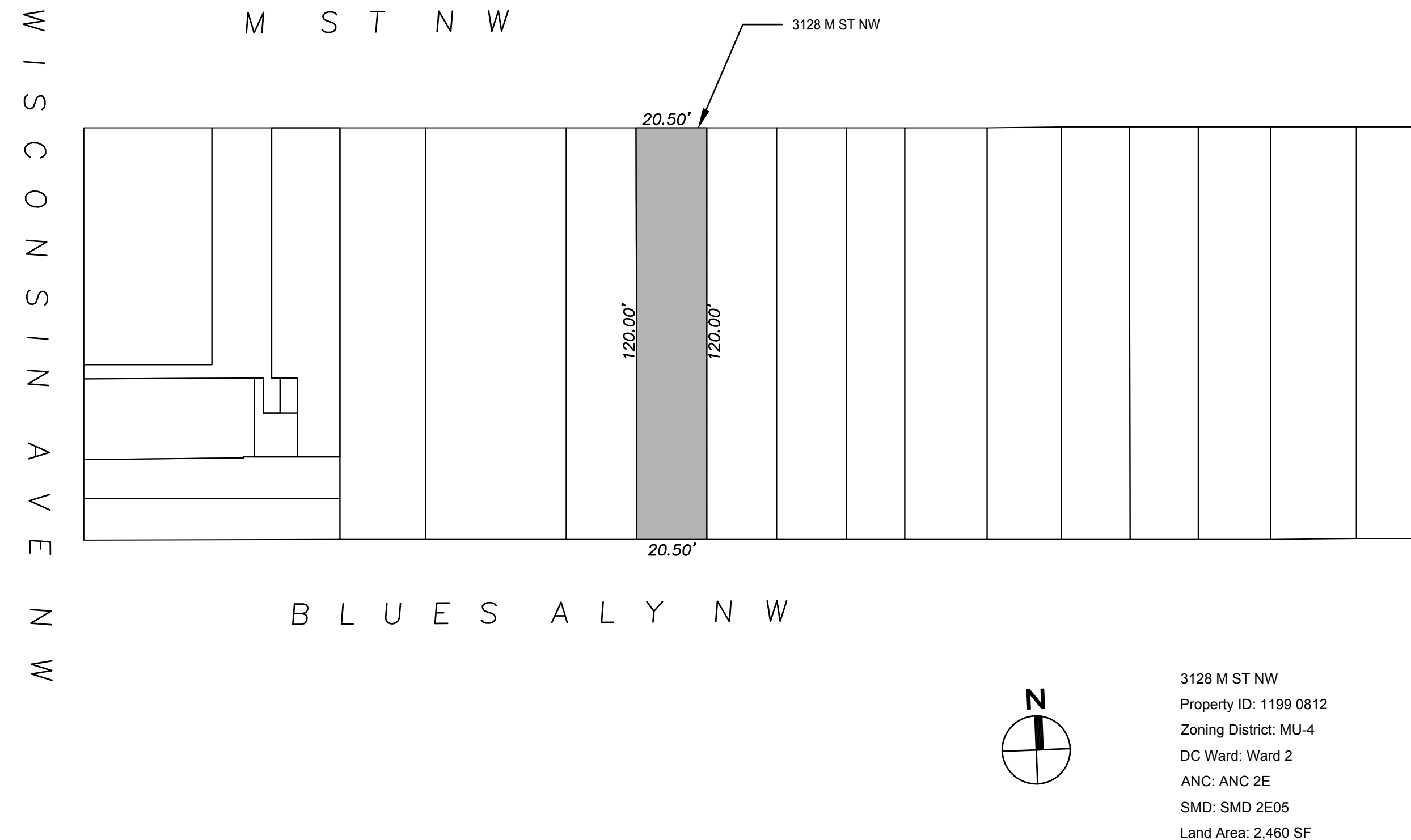
THE PROJECT INVOLVES NEW INTERIOR WALLS AND FINISHES, NEW CEILINGS, NEW LIGHT FIXTURES, NEW DISPLAY FIXTURES AND SHELVEING UNITS.

THE PROJECT FURTHER INVOLVES THE LOCATION OF DIFFUSERS AND SELECTIVE ELECTRICAL WORK (OUTLETS, LIGHT FIXTURES, SPEAKERS.. NO STRUCTURAL WORK SHALL BE PERFORMED.

PROJECT LOCATION



SITE PLAN



3128 M ST NW
Property ID: 1199 0812
Zoning District: MU-4
DC Ward: Ward 2
ANC: ANC 2E
SMD: SMD 2E05
Land Area: 2,460 SF

BUCK MASON
WASHINGTON D.C.
3128 M ST NW
WASHINGTON, DC 20007

PROJECT DIRECTORY

OWNER: BUCK MASON
107 N LARCHMONT BLVD
LOS ANGELES, CA 90004
CONTACT: ARSEN DZHANIYAN
EMAIL: ARSEN@BUCKMASON.COM
PHONE: 818.624.2427

ARCHITECT: MIDLAND ARCHITECTURE, LLC
1277 E BROAD STREET
COLUMBUS, OH 43205
CONTACT: GREG DUTTON
E-MAIL: GREG@MIDLANDARCH.COM
PHONE: 614.706.7947

CONTRACTOR:

CONTACT:
E-MAIL:
PHONE:

DRAWING INDEX

ARCHITECTURAL	
A0.0	COVER SHEET
A0.1	ARCHITECTURAL STANDARDS
D1.0	DEMOLITION PLAN
D1.1	DEMOLITION ELEVATIONS - EXTERIOR
D1.2	DEMOLITION ELEVATIONS - INTERIOR
△ A1.0	FLOOR PLAN & FIXTURE PLAN
A1.1	REFLECTED CEILING PLAN & POWER PLAN
A2.0	BUILDING ELEVATIONS
A2.1	INTERIOR ELEVATIONS
A2.2	INTERIOR ELEVATIONS - FITTING ROOMS
A2.3	INTERIOR ELEVATIONS - RESTROOM
△ A6.0	SCHEDULES
A9.0	RENDERING REFERENCES



PITTSBURGH
219 5TH STREET, STUDIO F
PITTSBURGH, PA 15201
412.444.4624

COLUMBUS
1277 E BROAD ST
COLUMBUS, OH 43205
614.706.7947

PROJECT TITLE:
BUCK MASON
WASHINGTON D.C.
3128 M ST NW
WASHINGTON, DC 20007

ISSUED FOR: DESIGN DEVELOPMENT

09/24/21	DESIGN DEVELOPMENT
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PROJECT NO:
21-027

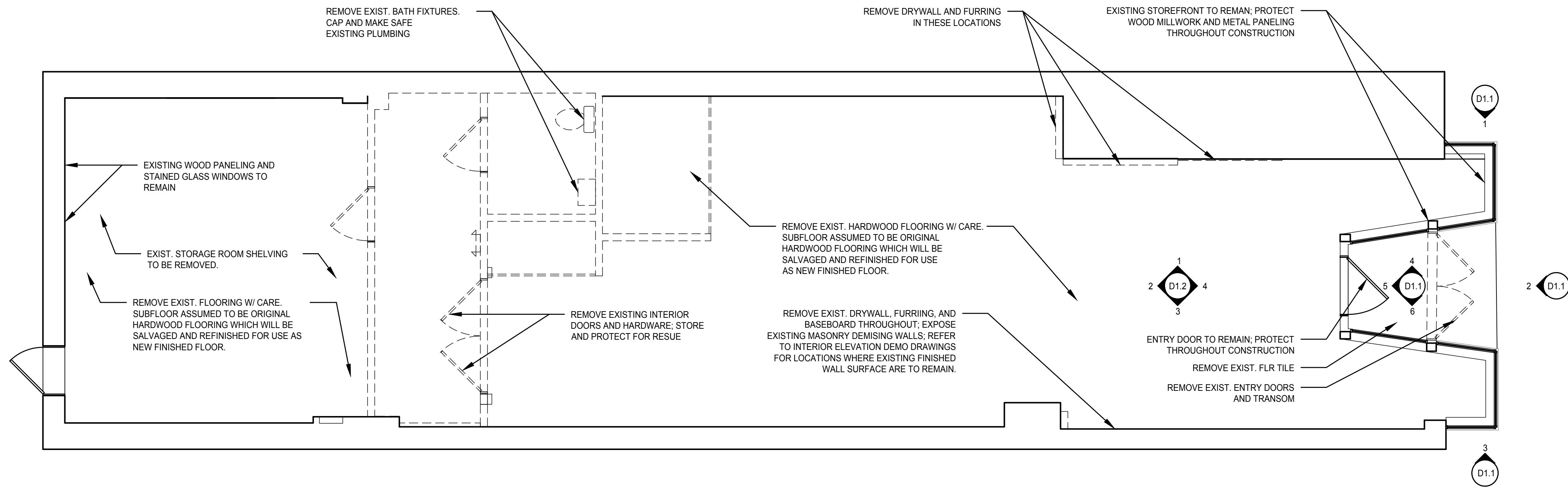
SHEET TITLE:
COVER SHEET

SHEET NO:
A0.0

NOT FOR CONSTRUCTION

<p>(a) wheelchair accessible water closets</p>	<p>Figure 604.3.1 Size of Clearance at Water Closets</p>	<p>Figure 604.5.1 Side Wall Grab Bar at Water Closets</p>	<p>Figure 604.5.2 Rear Wall Grab Bar at Water Closets</p>	<p>(a) protruding dispenser below grab bar (b) protruding dispenser above grab bar (c) recessed dispenser</p> <p>Figure 604.7 Dispenser Outlet Location</p>	<p>Figure 308.3.1 Unobstructed Side Reach</p>	<p>(a) forward (b) parallel</p> <p>Figure 308.3.2 Obstructed High Side Reach</p>	<p>(a) forward (b) parallel</p> <p>Figure 305.5 Position of Clear Floor or Ground Space</p>	
<p>(a) front approach, pull side</p>	<p>(b) front approach, push side</p>	<p>(c) front approach, push side, door provided with both closer and latch</p>	<p>(d) hinge approach, pull side</p>	<p>(e) hinge approach, pull side</p>	<p>(f) hinge approach, push side</p>	<p>Figure 308.2.1 Unobstructed High Forward Reach</p>	<p>(a) (b)</p> <p>Figure 308.2.2 Obstructed High Forward Reach</p>	<p>Figure 305.3 Clear Floor or Ground Space</p>
<p>(g) hinge approach, push side, door provided with both closer and latch</p>	<p>(h) latch approach, pull side</p>	<p>(i) latch approach, pull side, door provided with closer</p>	<p>(j) latch approach, push side</p>	<p>(k) latch approach, push side, door provided with closer</p>	<p>(a) hinged door</p> <p>Figure 404.2.3 Clear Width of Doorways</p>	<p>Figure 403.5.1 Clear Width of an Accessible Route</p>	<p>Figure 307.2 Limits of Protruding Objects</p>	<p>Figure 304.3.2 T-Shaped Turning Space</p>
<p>Figure 404.2.4.1 Maneuvering Clearance at Manual Swinging Doors and Gates</p>	<p>Figure 404.2.3 Clear Width of Doorways</p>	<p>Figure 403.5.1 Clear Width of an Accessible Route</p>	<p>Figure 307.2 Limits of Protruding Objects</p>	<p>Figure 304.3.2 T-Shaped Turning Space</p>				
<p>(a) elevation (b) plan</p> <p>Figure 306.2 Toe Clearance</p>	<p>(a) elevation (b) plan</p> <p>Figure 306.3 Knee Clearance</p>	<p>Figure 304.3.1 Circular Turning Space</p>						
<p>Figure 703.4.1 Height of Tactile Characters Above Floor or Ground</p>	<p>Figure 703.4.2 Location of Tactile Signs at Doors</p>	<p>(a)</p> <p>Figure 602.5 Drinking Fountain Spout Location</p>	<p>(a)</p> <p>Figure 606.3 Height of Lavatories and Sinks</p>					
<p>Figure 104 Graphic Convention for Figures</p>	<p>Figure 104 Graphic Convention for Figures</p>	<p>Figure 104 Graphic Convention for Figures</p>	<p>Figure 104 Graphic Convention for Figures</p>					
<p>Figure 602.5 Drinking Fountain Spout Location</p>	<p>Figure 606.3 Height of Lavatories and Sinks</p>	<p>Figure 104 Graphic Convention for Figures</p>	<p>Figure 104 Graphic Convention for Figures</p>					

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NOTE: CONFIRM CONDITION OF EXISTING FLOOR W/ DESIGNER UPON COMPLETION OF DEMO.

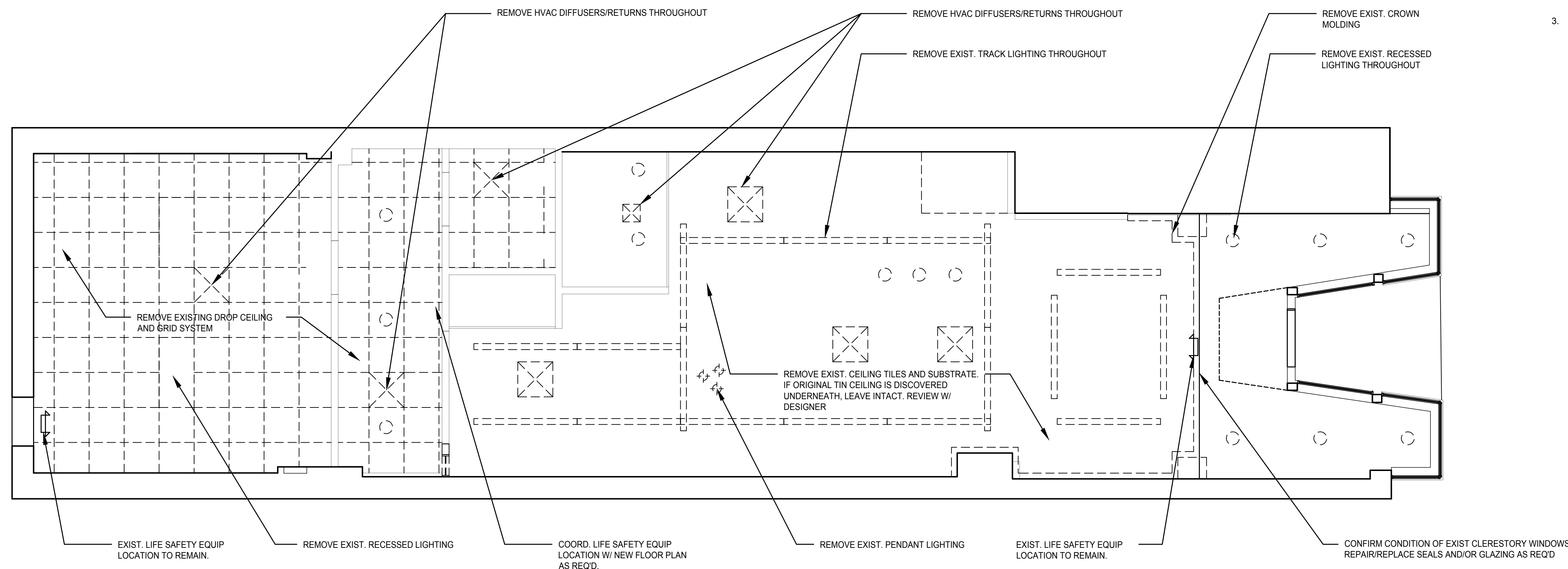
1 DEMOLITION PLAN
DRAWING SCALE: 1/4"=1'-0"

DEMOLITION GENERAL NOTES

1. ALL EXISTING WALLS SHOWN DASHED ARE TO BE REMOVED. PATCH AND PREPARE ALL DAMAGED SURFACES SCHEDULED TO RECEIVE NEW CONSTRUCTION AND/OR NEW FINISHES.
2. G.C. TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION WORK. COORDINATE EXTENT OF DEMOLITION WITH NEW CONSTRUCTION.
3. G.C. SHALL PROVIDE ALL OPENINGS REQUIRED IN NEW AND EXISTING PARTITIONS, MASONRY WALLS, FLOORS AND DECK FOR NEW AND EXISTING MECHANICAL, ELECTRICAL AND PLUMBING WORK.
4. G.C. SHALL COORDINATE DEMOLITION AND CONSTRUCTION ACTIVITIES WITH MECHANICAL AND ELECTRICAL WORK.
5. G.C. TO CAP ALL ABANDONED UTILITIES, AT CASEWORK OR OTHER DEMOLISHED AREAS, BELOW THE FLOOR, ABOVE THE CEILING, OR INSIDE OF A PARTITION AS REQUIRED.
6. ALL EXISTING FINISHED FLOORS TO BE REFINISHED ARE TO BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION.
7. G.C. SHALL CLOSE (WITH MATERIALS TO MATCH EXISTING) ALL DUCT WORK, GRILLES, PIPING AND CONDUIT OPENINGS THAT ARE SCHEDULED TO BE REMOVED OR ALTERED.
8. REMOVE ALL MISCELLANEOUS WALL MOUNTED ITEMS SUCH AS ARTWORK, MIRRORS ETC. COORDINATE W/ OWNER. THOSE ITEMS TO BE SALVAGED FOR BUILDING STOCK.
9. ALL EXISTING MATERIALS TO BE REMOVED SHALL BE DISPOSED OF IN AN ENVIRONMENTALLY APPROPRIATE FASHION. COORDINATE W/ OWNER.
10. G.C. AND G.C'S ELECTRICAL CONTRACTOR SHALL MAINTAIN CONTINUITY OF ALL CIRCUITS, FEEDERS, SYSTEMS, ETC., WHICH SERVE AREAS OUTSIDE OF THE SCOPE OF WORK INDICATED, AND WHICH PASS THROUGH AREAS TO BE DEMOLISHED.
11. WORK PERFORMED IN CONNECTION WITH THESE DRAWINGS SHALL BE IN STRICT COMPLIANCE WITH PERTINENT CODES, RULES ORDINANCES AND REGULATION OF THE LOCAL, STATE AND FEDERAL GOVERNING AUTHORITIES.
12. WORK PERFORMED IN CONNECTION WITH THESE DRAWINGS SHALL BE IN STRICT COMPLIANCE WITH THE LATEST ADA AND OSHA SAFETY AND HEALTH STANDARDS.
13. EXISTING MATERIALS OR ITEMS SCHEDULED TO REMAIN THAT ARE DAMAGED BY CONSTRUCTION SHALL BE REPAIRED, PATCHED AND REFINISHED TO THE NEAREST INTERSECTION RESTORE SURFACE TO ITS ORIGINAL CONDITION.
14. ALL HARDWARE, PLUMBING FIXTURES, AND LIGHTING FIXTURES TO BE REMOVED AND STORED FOR FUTURE USE.

DEMOLITION NOTES

1. REMOVE EXISTING HARDWOOD FLOORING W/ CARE. SUBFLOOR ASSUMED TO BE ORIGINAL HARDWOOD FLOORING WHICH WILL BE SALVAGED AND REFINISHED FOR USE AS NEW FINISHED FLOOR.
2. REMOVE EXISTING DRYWALL, FURRING, AND BASEBOARD THROUGHOUT. EXPOSE EXISTING MASONRY DEMISING WALLS. REFER TO INTERIOR ELEVATION DEMO DRAWINGS FOR LOCATIONS WHERE EXISTING FINISHED WALL SURFACES TO REMAIN.
3. EXISTING STOREFRONT TO REMAIN. PROTECT WOOD MILLWORK AND METAL PANELING THROUGHOUT CONSTRUCTION.

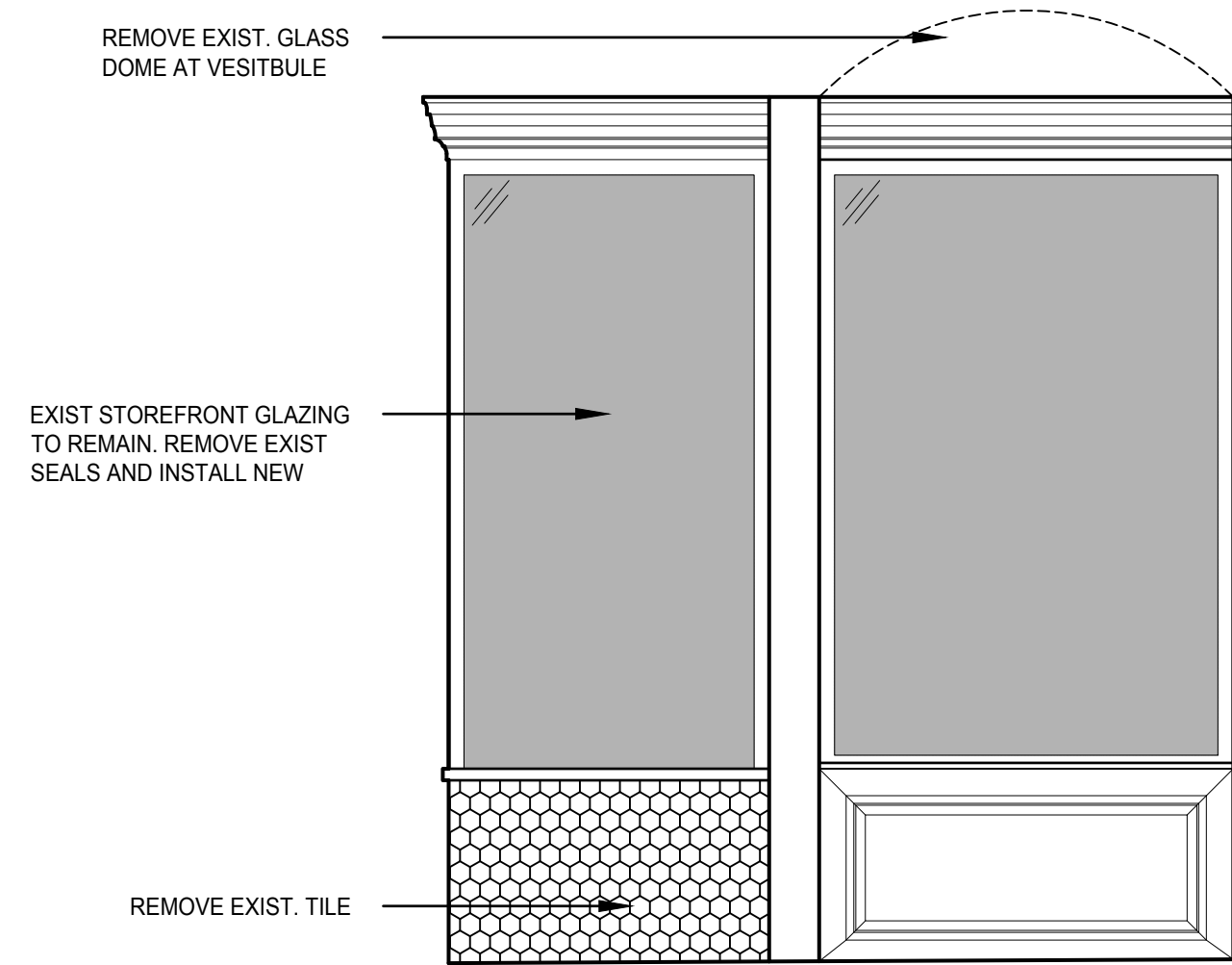


NOTE: CONFIRM CONDITION OF EXISTING CEILING W/ DESIGNER UPON COMPLETION OF DEMO.

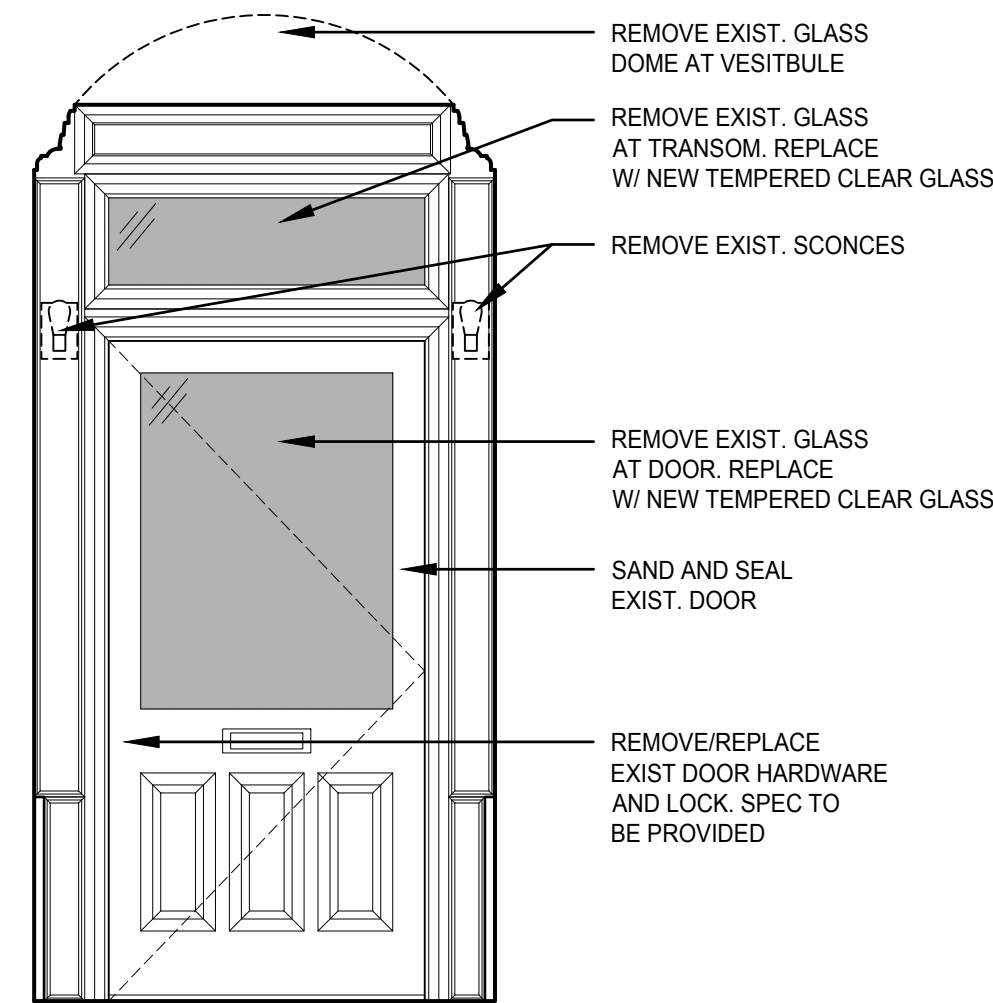
2 DEMOLITION CEILING PLAN
DRAWING SCALE: 1/4"=1'-0"

DATE	DESCRIPTION
09/24/21	DESIGN DEVELOPMENT

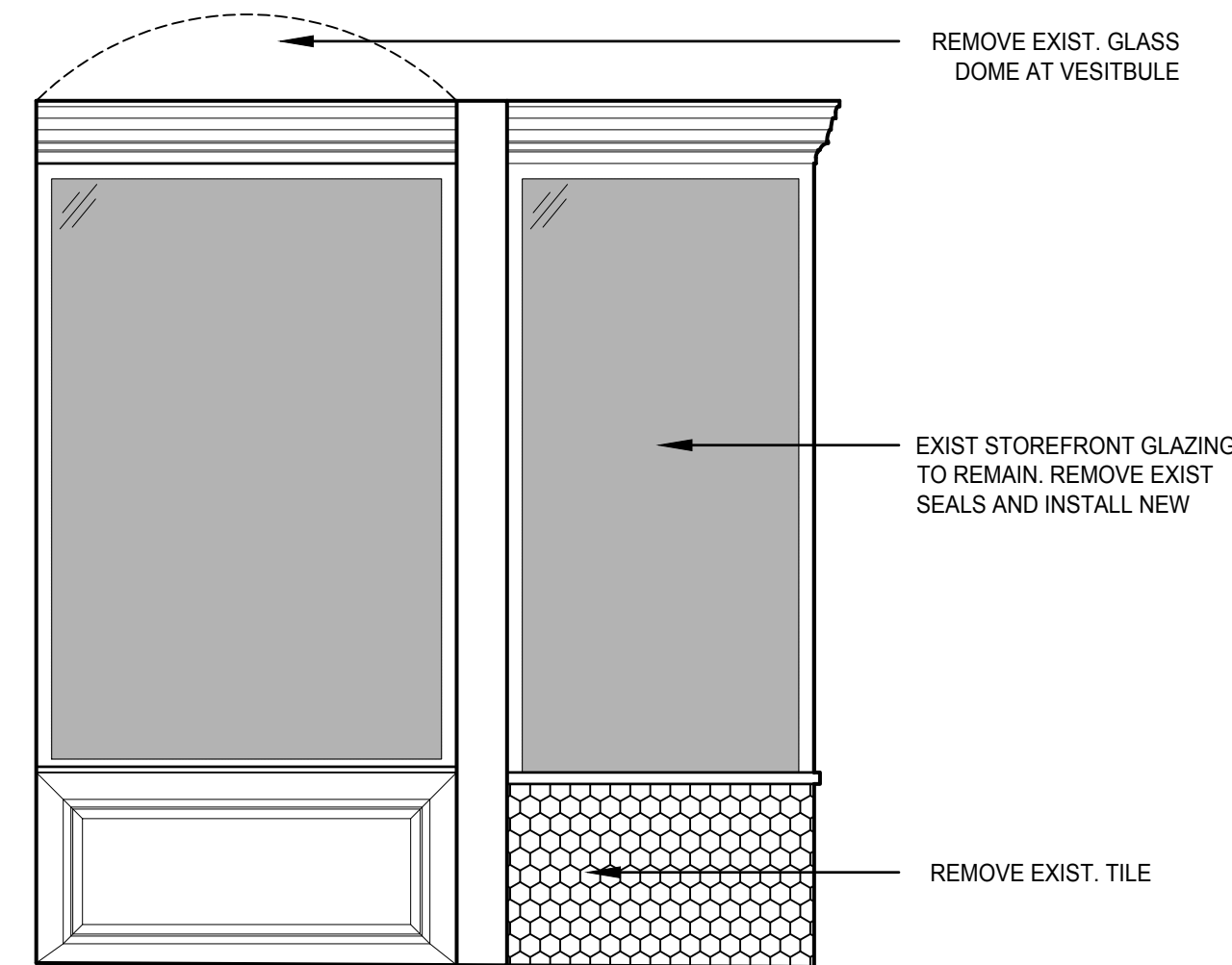
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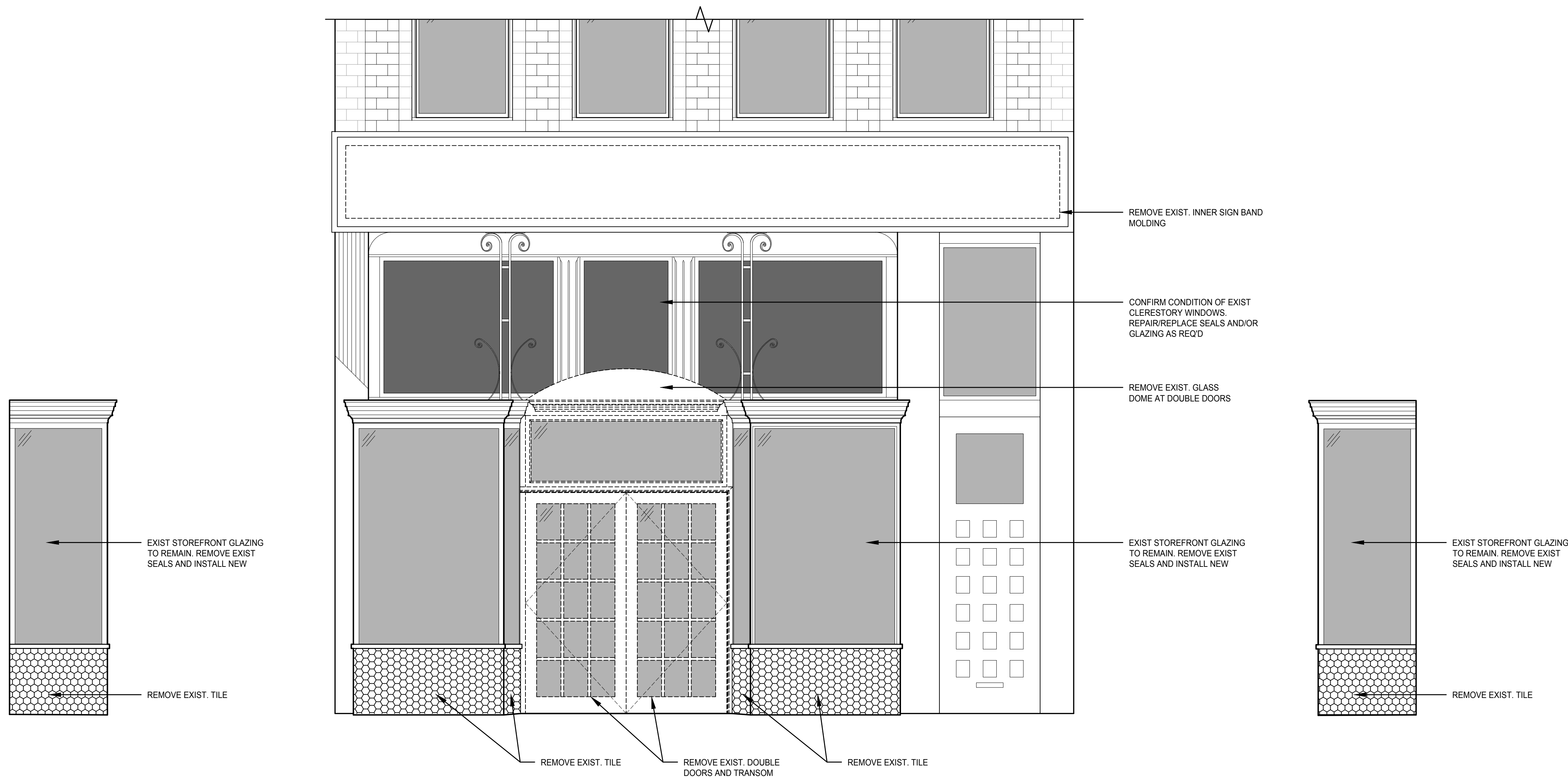
6 DEMO VESTIBULE ELEVATION
DRAWING SCALE: 1/2"=1'-0"



5 DEMO VESTIBULE ELEVATION
DRAWING SCALE: 1/2"=1'-0"



4 DEMO VESTIBULE ELEVATION
DRAWING SCALE: 1/2"=1'-0"



3 DEMO STOREFRONT ELEVATION
DRAWING SCALE: 1/2"=1'-0"

2 DEMO STOREFRONT ELEVATION
DRAWING SCALE: 1/2"=1'-0"

1 DEMO STOREFRONT ELEVATION
DRAWING SCALE: 1/2"=1'-0"

PROJECT TITLE:
**BUCK MASON
WASHINGTON D.C.**
3128 M ST NW
WASHINGTON, DC 20007

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PROJECT NO:
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SHEET TITLE:
DEMO ELEVATIONS

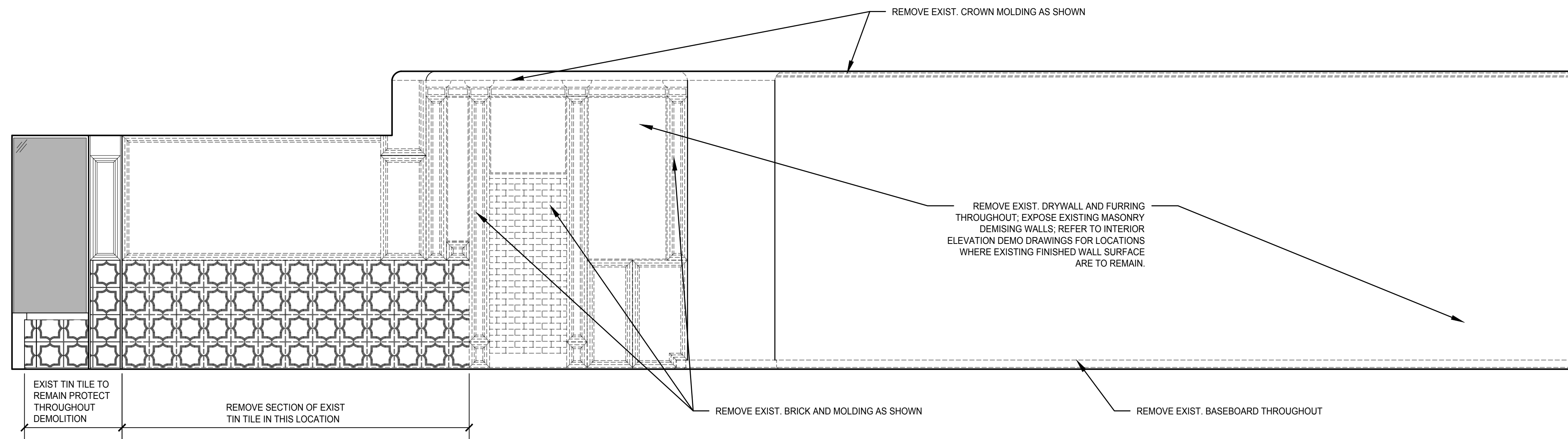
SHEET NO:
D1.1

Midland
ARCHITECTURE

PITTSBURGH
219 57TH STREET, STUDIO F
PITTSBURGH, PA 15201
412.444.4824

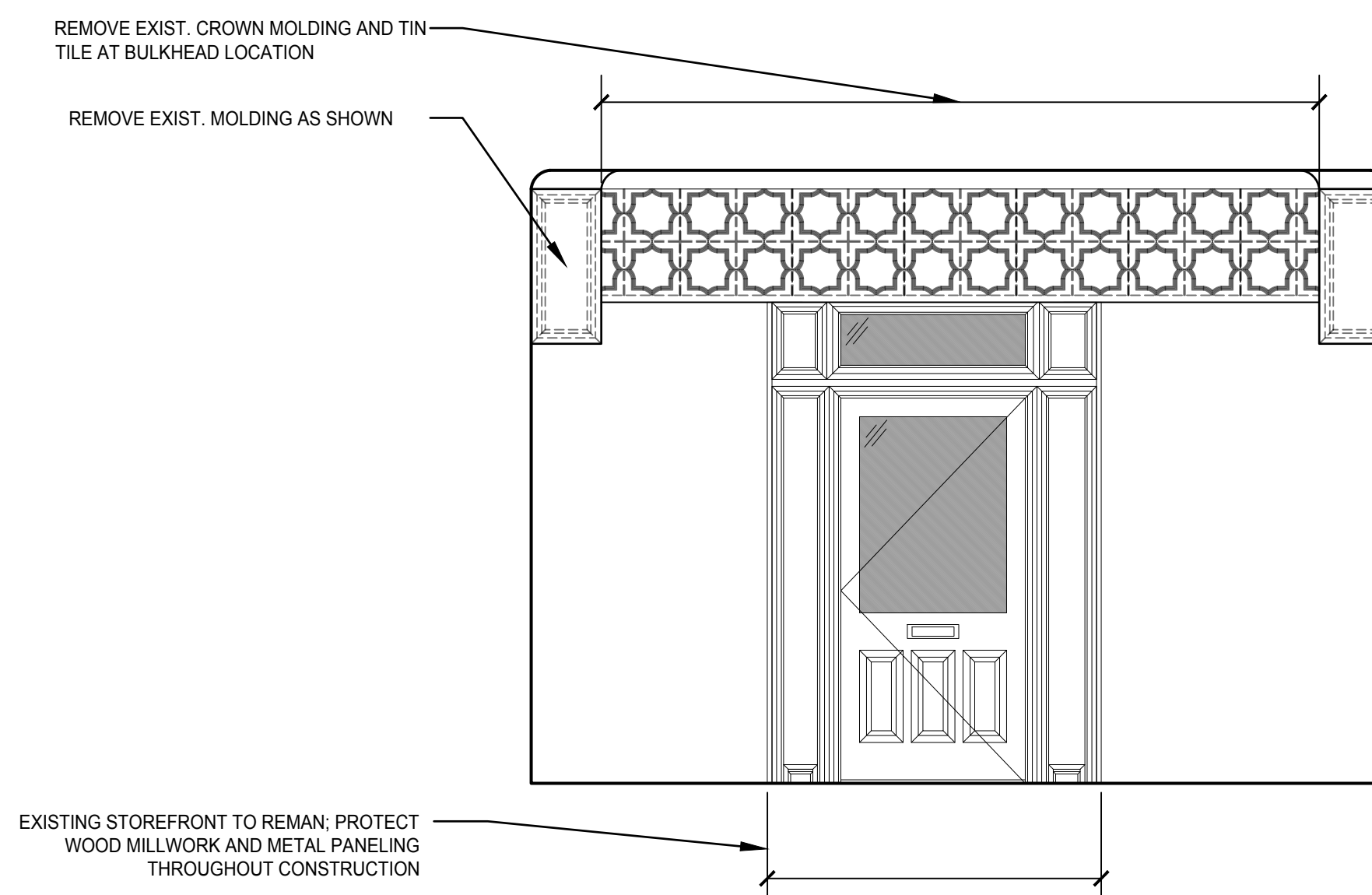
COLUMBUS
1277 E BROAD ST
COLUMBUS, OH 43205
614.706.7947

NOT FOR CONSTRUCTION



NOTE: CONFIRM CONDITION/MATERIAL OF EXIST PERIMETER WALLS UPON COMPLETION OF DEMO W/DESIGNER TO DETERMINE FINAL WALL FINISHES

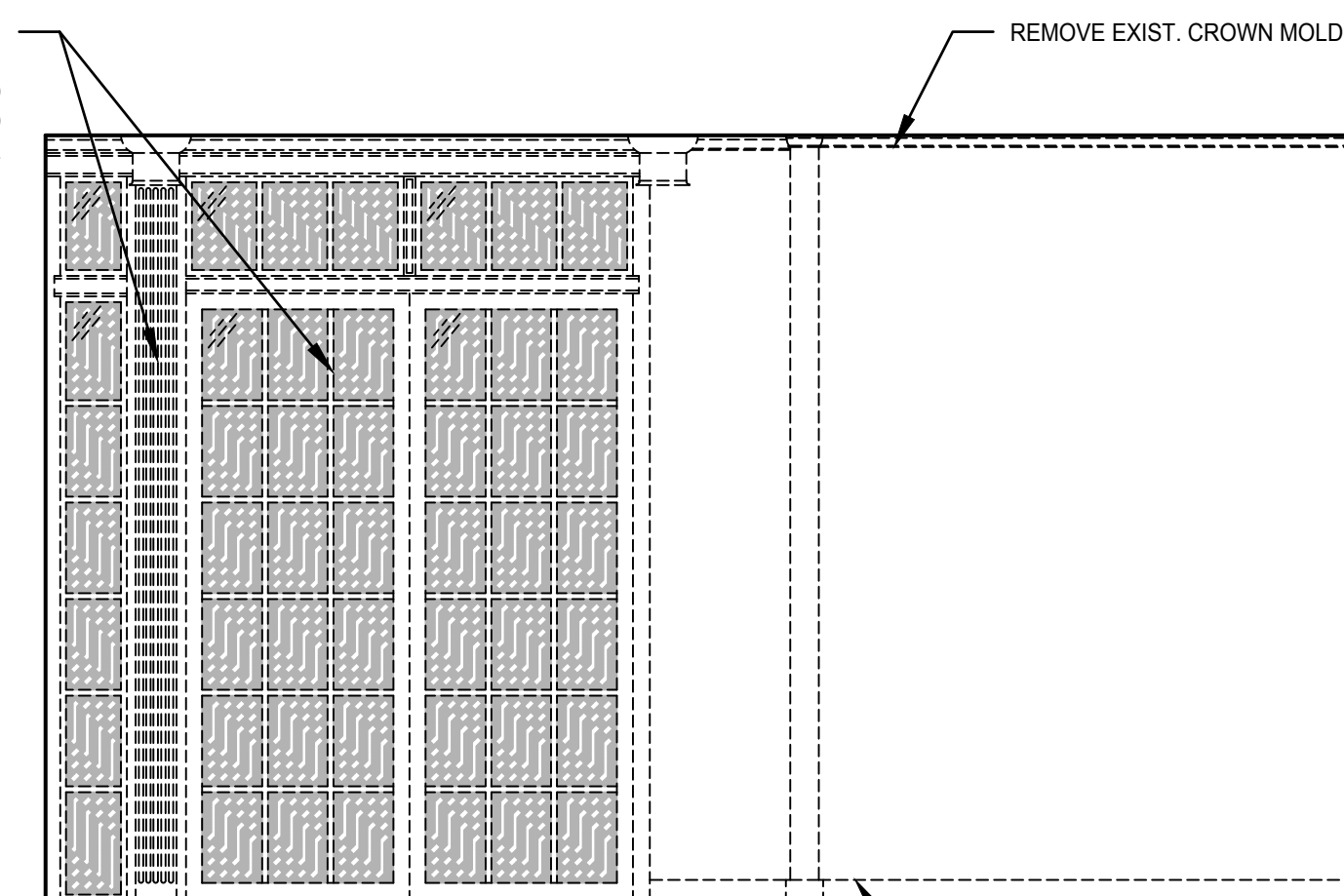
4 DEMO INTERIOR ELEVATION
DRAWING SCALE: 3/8"=1'-0"



NOTE: CONFIRM CONDITION/MATERIAL OF EXIST PERIMETER WALLS UPON COMPLETION OF DEMO W/DESIGNER TO DETERMINE FINAL WALL FINISHES

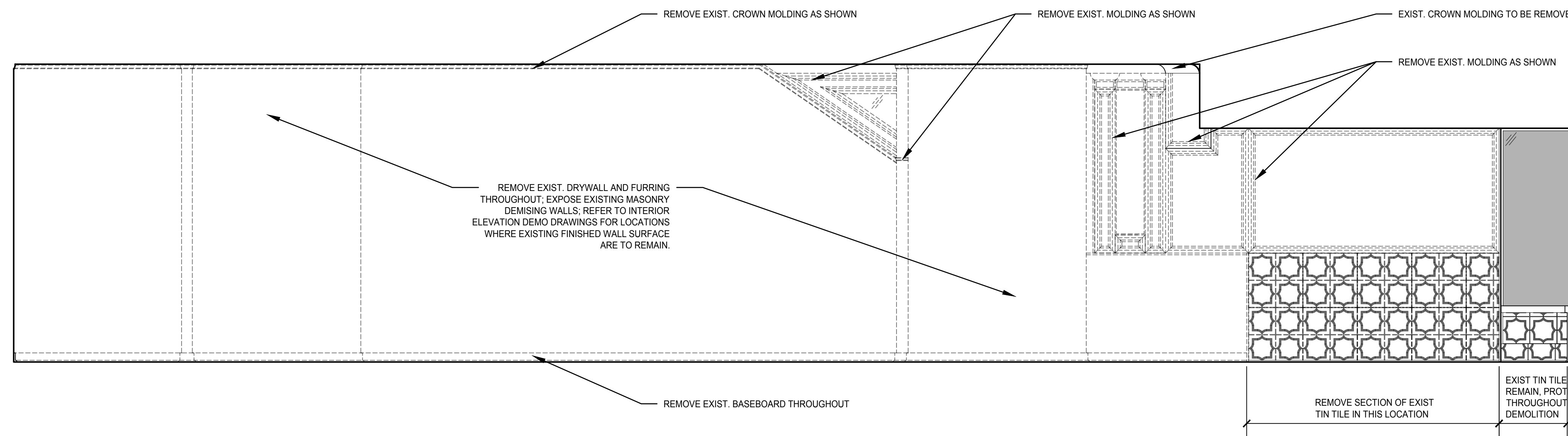
3 DEMO INTERIOR ELEVATION
DRAWING SCALE: 3/8"=1'-0"

REMOVE EXIST DOUBLE DOORS, TRANSOM, AND MOLDING AS SHOWN; EXISTING INTERIOR DOORS AND HARDWARE TO BE STORED AND PROTECTED FOR RESUE



NOTE: CONFIRM CONDITION/MATERIAL OF EXIST PERIMETER WALLS UPON COMPLETION OF DEMO W/DESIGNER TO DETERMINE FINAL WALL FINISHES

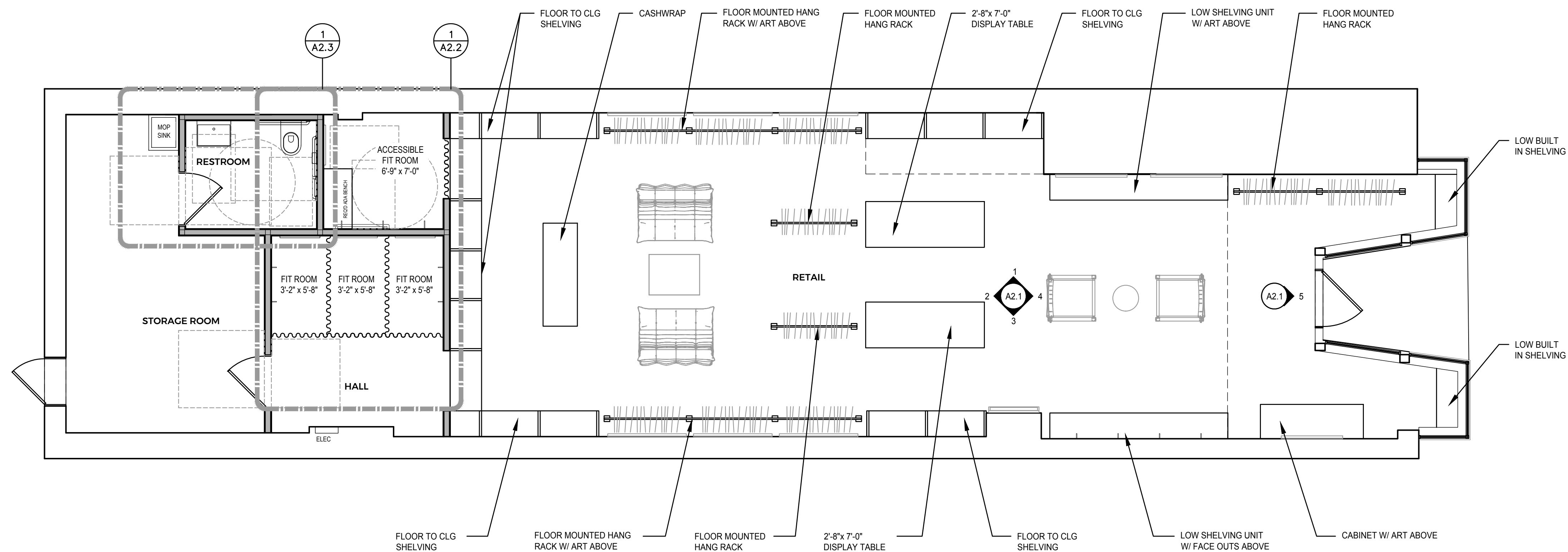
2 DEMO INTERIOR ELEVATION
DRAWING SCALE: 3/8"=1'-0"



NOTE: CONFIRM CONDITION/MATERIAL OF EXIST PERIMETER WALLS UPON COMPLETION OF DEMO W/DESIGNER TO DETERMINE FINAL WALL FINISHES

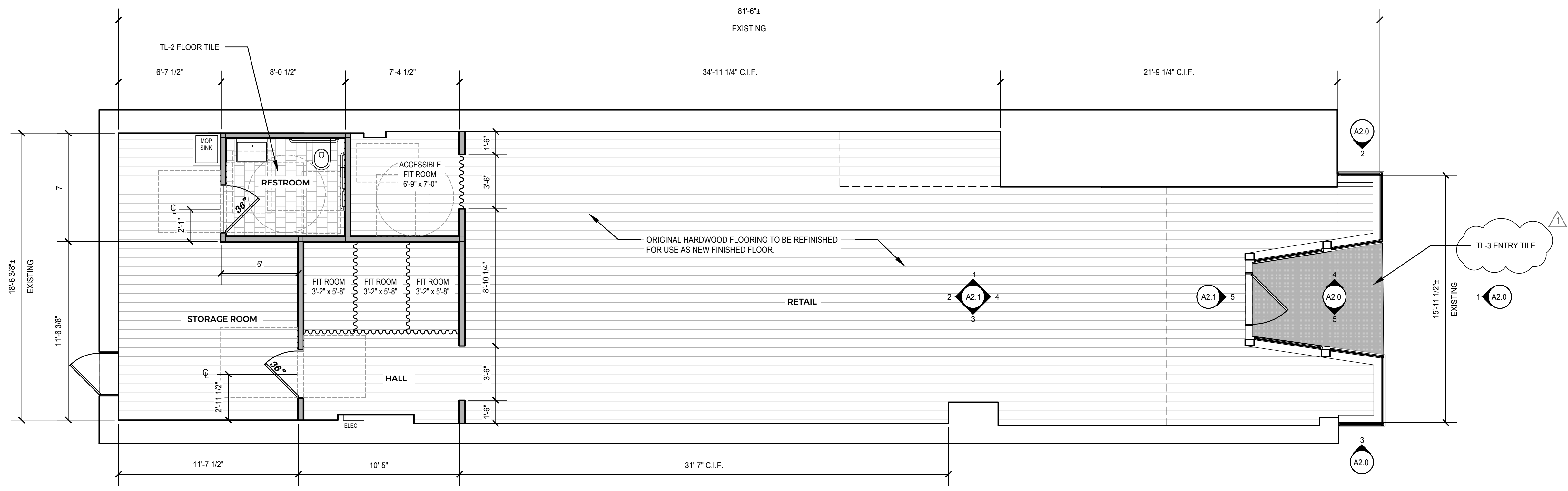
1 DEMO INTERIOR ELEVATION
DRAWING SCALE: 3/8"=1'-0"

ISSUED FOR:	DATE	DESCRIPTION
DESIGN DEVELOPMENT	09/24/21	



NOTE: GC TO PROVIDE BLOCKING AS REQ'D, SEE INTERIOR ELEVATIONS FOR LOCATIONS

2 PROPOSED FIXTURE PLAN
DRAWING SCALE: 1/4"=1'-0"



NOTE: CONFIRM CONDITION OF EXISTING FLOOR W/ DESIGNER UPON COMPLETION OF DEMO.

1 PROPOSED FLOOR PLAN
DRAWING SCALE: 1/4"=1'-0"

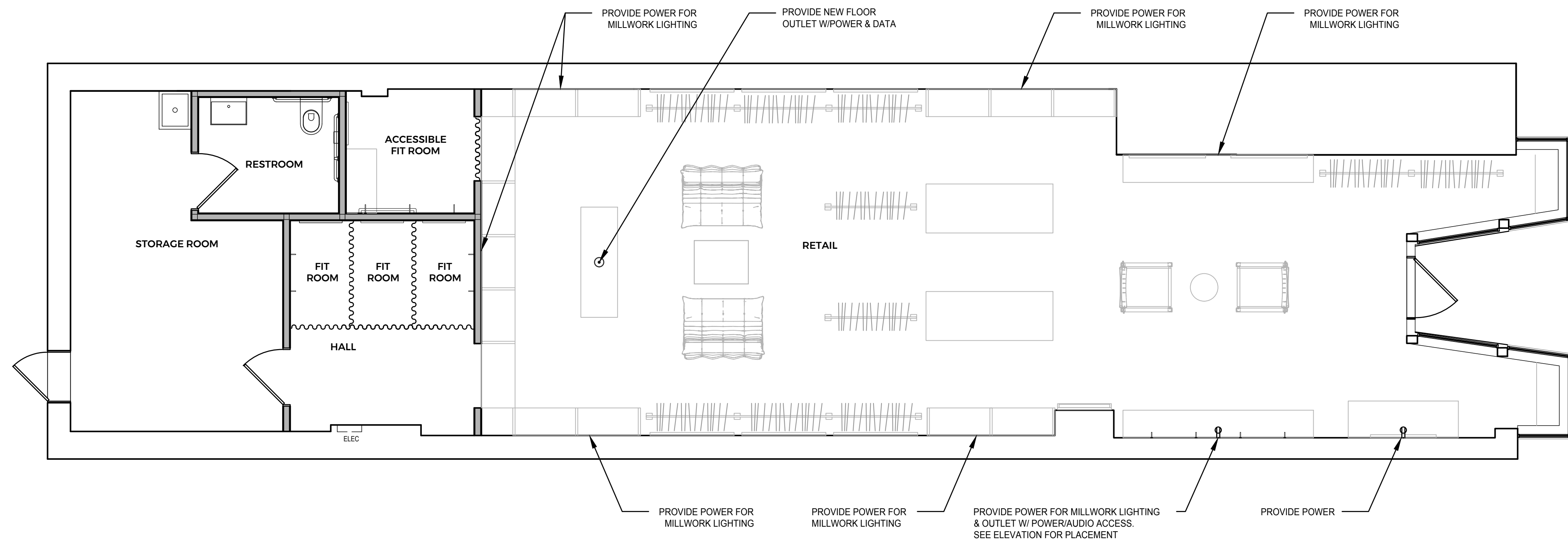
GENERAL PLAN NOTES

- ALL WORK TO CONFORM WITH DRAWINGS AND SPECS. DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- ALIGN NEW CONSTRUCTION WITH EXISTING ADJACENT CONSTRUCTION, U.N.O.
- DIMENSIONING NOTED TO ROUGH FRAMING OF PARTITIONS, U.N.O.
- ALL LUMBER TO BE NO 1 / NO 2 SPF OR BETTER
- BRACE ALL STUDS AT THEIR LIMITING HEIGHTS AS DETERMINED BY MANUFACTURES SPEC.
- ALL OPENINGS SHALL RECEIVE DOUBLE 20 GA STUDS AT JAMBS.
- ALL STUD WALLS IN EXCESS OF 10' HIGH ARE TO BE BRIDGED HORIZONTALLY AT 5' INTERVALS.
- PROVIDE SOLID WOOD BLOCKING AT MILLWORK AND FOR ALL WALL MOUNTED AUDIO VISUAL EQUIPMENT.
- ACCESS PANELS IN WALL FOR PLUMBING, MECHANICAL OR ELECTRICAL ACCESS TO BE FLUSH FRAMELESS GYP. BD. PANELS.
- PATCH AND REPAIR ALL EXISTING WALLS TO ACHIEVE LEVEL 4 FINISH.
- ALL NEW WALLS FACING RETAIL TO RECEIVE LEVEL 4 FINISH.
- ALL OUTSIDE CORNERS AT DRYWALL PARTITIONS AND FURRING TO HAVE METAL CORNER BEADS SPACKLE AND SMOOTH.
- DASHED RECTANGLES AT DOORS INDICATE THE CLEAR FLOOR SPACE NEEDED FOR A HANDICAPPED PERSON TO MANUEVER AT THE DOOR. NO OBJECTS (WALLS, TRANSFORMERS, ETC.) ARE TO BE PLACED WITHIN THE DASHED RECTANGLES. SEE SHEET A0.1 FOR ADDITIONAL INFORMATION.
- ALL GLASS, INTERIOR AND EXTERIOR AND ALL STOREFRONT METAL TO BE CLEANED WITH A LIQUID DETERGENT AT COMPLETION OF CONSTRUCTION.

PLAN NOTES

- G.C. TO COORDINATE EXACT LOCATION TO BE VERIFIED WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION OF ANY FIRE ALARM PANEL, ELECTRICAL PANELS, SECURITY PANEL, TELECOM BD. LOCATIONS, ETC.

NOT FOR CONSTRUCTION

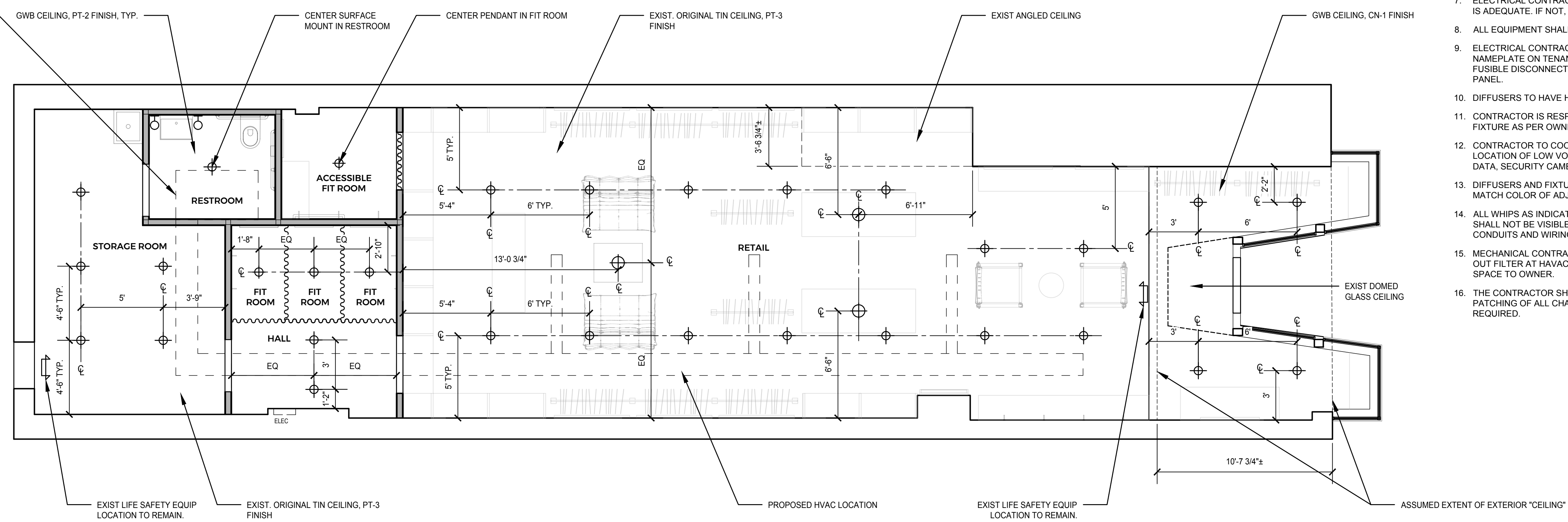


2 POWER PLAN
DRAWING SCALE: 1/4"=1'-0"

- GENERAL ELECTRICAL NOTES:**
1. CONFIRM ALL EXISTING LIGHTING FIXTURE, OUTLET, AND SWITCH LOCATIONS TO REMAIN WITH CLIENT.
 2. CONFIRM ALL NEW FIXTURE AND SWITCH LOCATIONS WITH CLIENT BEFORE INSTALLATION.
 3. CONFIRM NEW OUTLET LOCATIONS WITH CLIENT.
 4. EXISTING TRACK LIGHTING TO REMAIN.
 5. EXISTING RECESSED LIGHTS TO BE REPLACED WITH OUTLETS AT BAR TO BE MOUNTED TO UNDERSIDE OF COUNTER. OUTLETS TO BE DUAL OUTLET AND USB PORTS.
- ELECTRICAL LEGEND**
- ⊞ DIMMER SWITCH
 - ⊞ THREE-WAY SWITCH
 - ⊞ FOUR-WAY SWITCH
 - ⊞ SURFACE MOUNTED LIGHT FIXTURE
 - ⊞ PENDANT FIXTURE
 - ⊞ RECESSED FIXTURE
 - ⊞ FAN (50cfm INTERMITTENT OR 20cfm CONTINUOUS)
 - ⊞ WALL SCONCE (DAMP/WET RATED WHERE REQ'D)
 - ⊞ ELECTRICAL RECEPTACLE (GFCI WHERE REQUIRED)¹
 - ⊞ TRACK LIGHTING
 - ⊞ ELECTRICAL PANEL
 - ⊞ INTEGRATED SMOKE/CO DETECTOR
 - ⊞ TELEVISION / DATA

POWER AND REFLECTED CEILING PLAN NOTES

1. CAP AND MAKE SAFE EXISTING FLOOR OUTLETS PRIOR TO INSTALL OF NEW FLOOR.
2. EXIST WALL OUTLETS TO REMAIN UNLESS NOTED OTHERWISE. REPLACE RECEPTACLES AND FACE PLATES TO COORDINATE WITH NEW WALL FINISH.
3. NO COMBUSTIBLE MATERIALS ALLOWED ABOVE CEILING.
4. EMERGENCY LIGHTS MUST BE CONNECTED TO BASE BUILDING EMERGENCY SYSTEM, TYP.
5. ALL LIGHT SWITCHES AND OUTLET COVERS TO BE LUTRON, DESIGNER SERIES, FINISH TO MATCH COLOR OF ADJACENT WALL/FIXTURE COLOR.
6. CONTRACTOR TO USE LASER FOR LEVELING OF ALL SOFFITS, CEILINGS AND SUSPENDED GRIDS.
7. ELECTRICAL CONTRACTOR TO VERIFY IF SERVICE PROVIDED IS ADEQUATE. IF NOT, NOTIFY ARCHITECT IMMEDIATELY.
8. ALL EQUIPMENT SHALL BEAR U.L. LABELS.
9. ELECTRICAL CONTRACTOR MUST PROVIDE AN IDENTIFICATION NAMEPLATE ON TENANT'S MAIN ELECTRICAL SERVICE FUSIBLE DISCONNECT SWITCH IN LANDLORD'S DISTRIBUTION PANEL.
10. DIFFUSERS TO HAVE HANG WIRES ON ALL FOUR CORNERS.
11. CONTRACTOR IS RESPONSIBLE TO AIM ALL THE LIGHT FIXTURE AS PER OWNER'S DIRECTION.
12. CONTRACTOR TO COORDINATE THE INSTALLATION AND LOCATION OF LOW VOLTAGE WIRING SUCH AS TELEPHONE, DATA, SECURITY CAMERA WITH CLIENT
13. DIFFUSERS AND FIXTURE TRIM COVERS TO BE PAINTED TO MATCH COLOR OF ADJACENT WALL COLOR.
14. ALL WHIPS AS INDICATED FOR DISPLAY FIXTURE LIGHTS SHALL NOT BE VISIBLE FROM THE STORE. ALL BOXES, CONDUITS AND WIRING MUST BE COMPLETELY HIDDEN.
15. MECHANICAL CONTRACTOR SHALL REMOVE AND REPLACE OUT FILTER AT HVAC UNIT (2) DAYS AFTER TURN OVER OF SPACE TO OWNER.
16. THE CONTRACTOR SHALL PROVIDE ALL CUTTING AND PATCHING OF ALL CHASES IN FLOOR, WALLS, AND CEILING AS REQUIRED.



1 REFLECTED CEILING PLAN
DRAWING SCALE: 1/4"=1'-0"

NOTE: CONFIRM CONDITION OF EXISTING CEILING W/ DESIGNER UPON COMPLETION OF DEMO TO DETERMINE FINAL CEILING FINISHES.

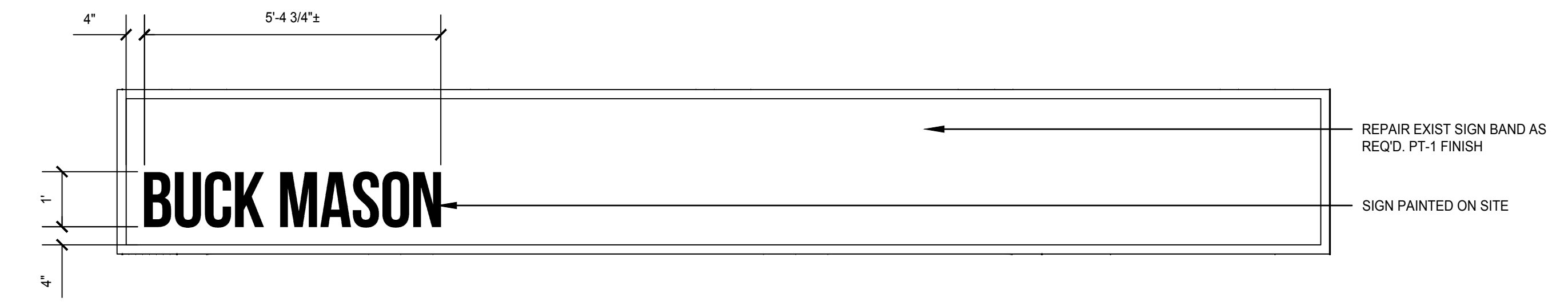
ISSUED FOR:	DESIGN DEVELOPMENT
DATE:	09/24/21

PROJECT NO:
21-027

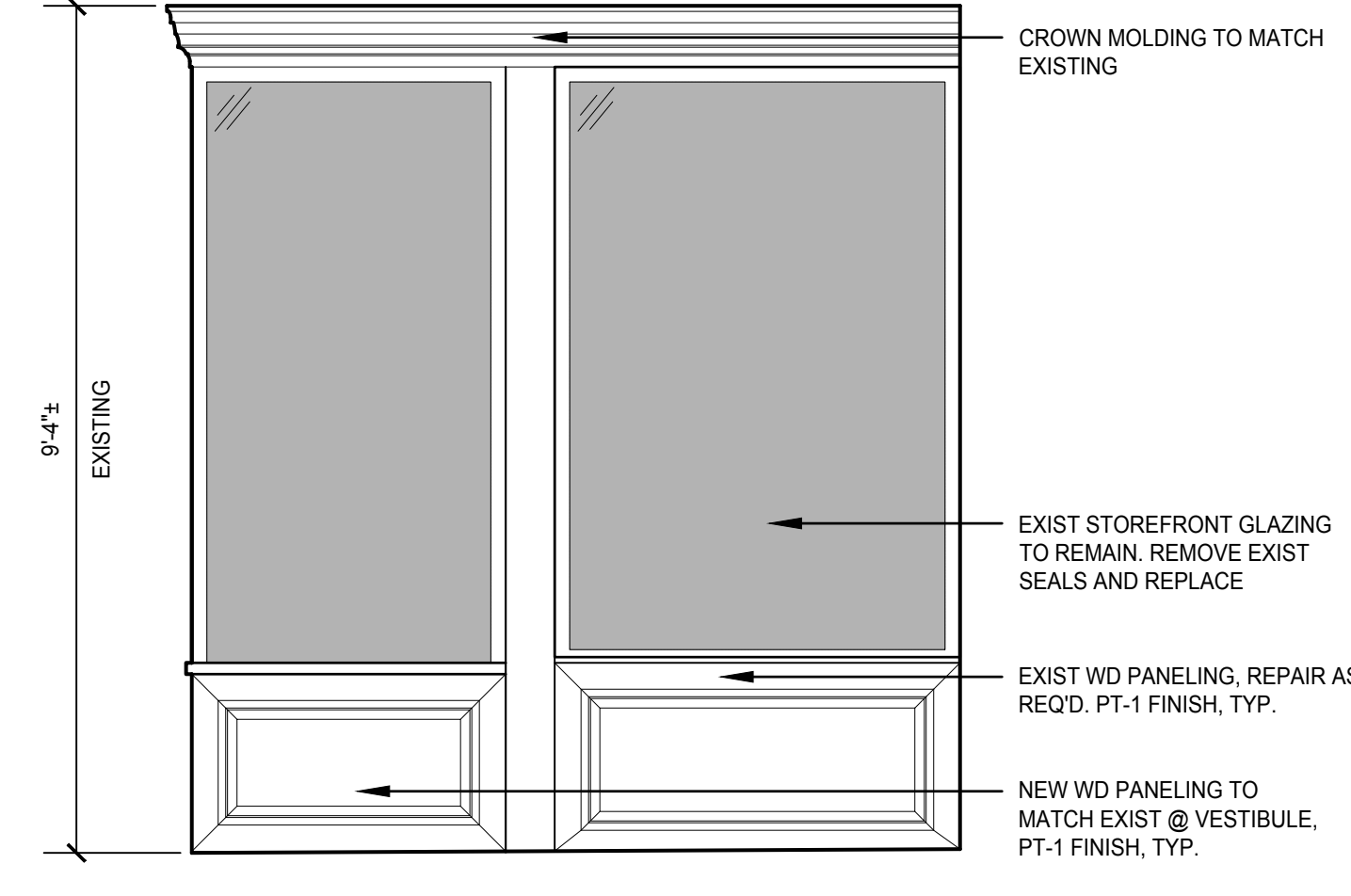
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REFLECTED CLG PLAN
& POWER PLAN

SHEET NO:
A1.1

ISSUED FOR:	DATE	DESCRIPTION
DESIGN DEVELOPMENT	09/24/21	

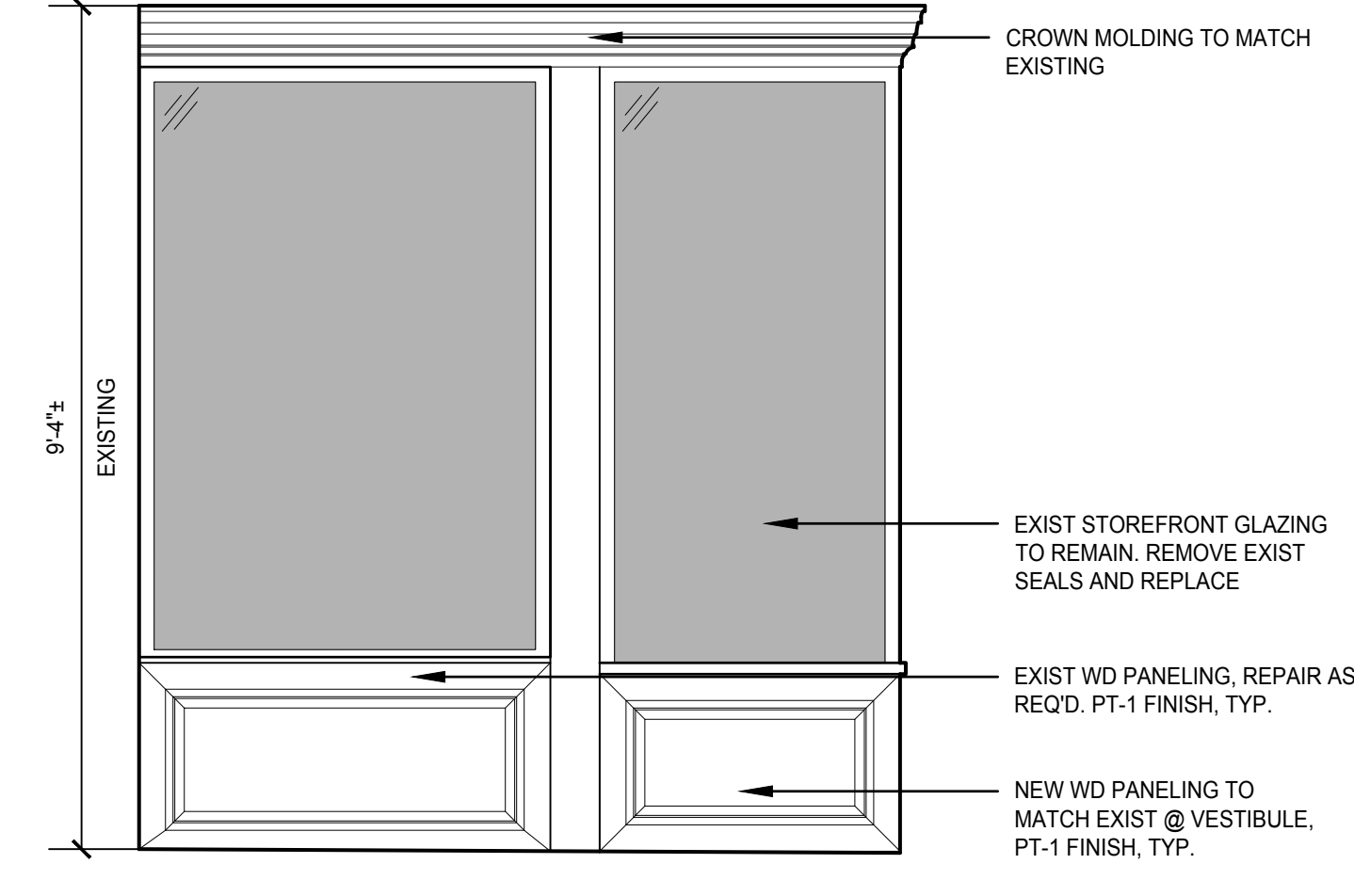


6 STOREFRONT SIGN
DRAWING SCALE: 1/2"=1'-0"



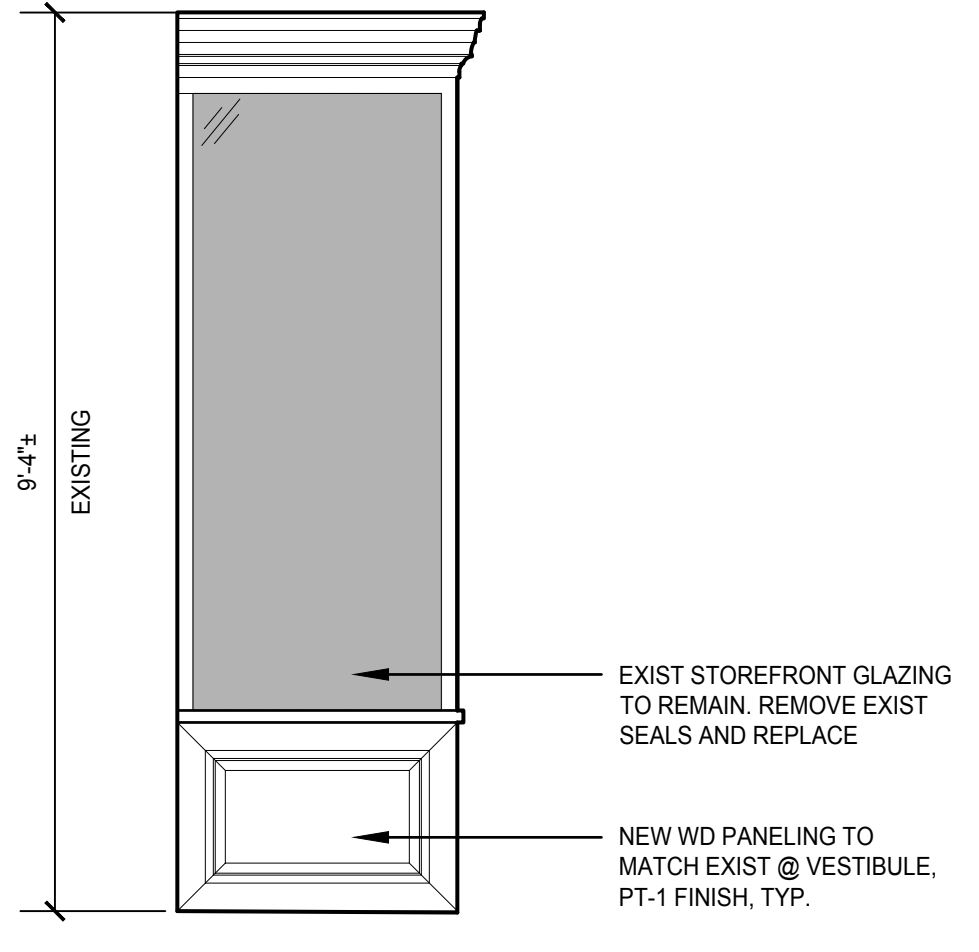
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5 VESTIBULE ELEVATION
DRAWING SCALE: 1/2"=1'-0"



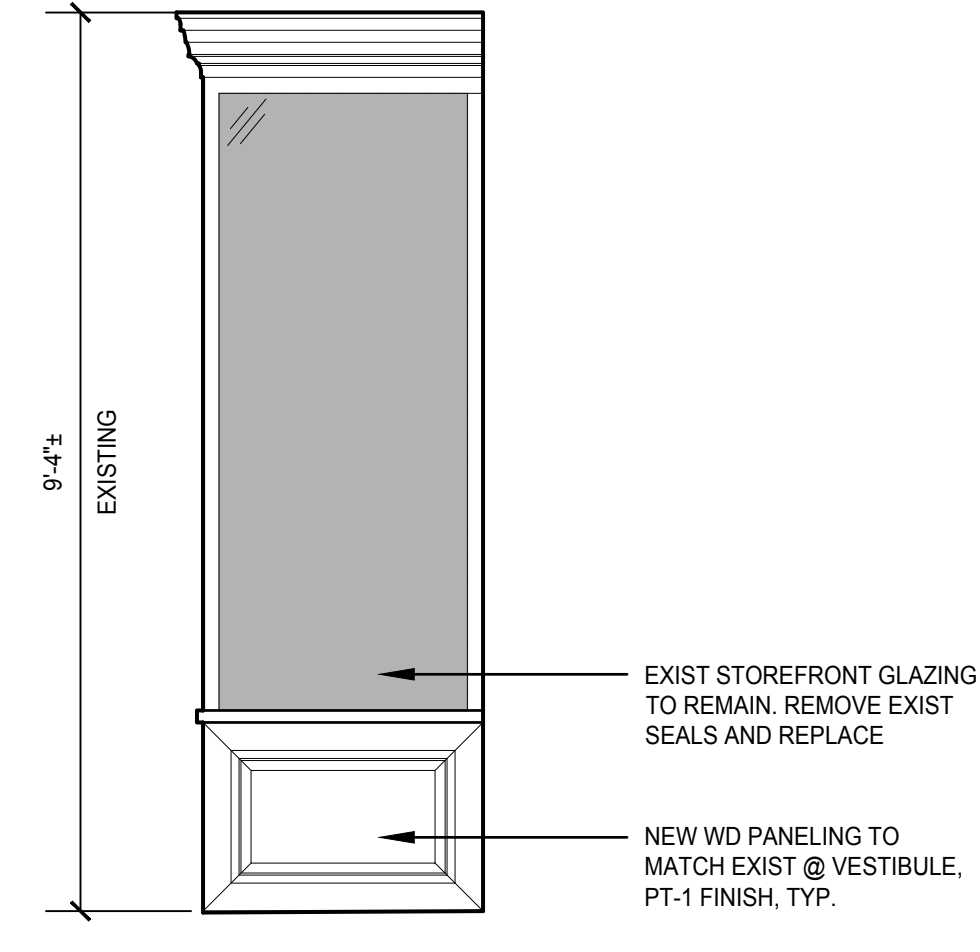
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4 VESTIBULE ELEVATION
DRAWING SCALE: 1/2"=1'-0"



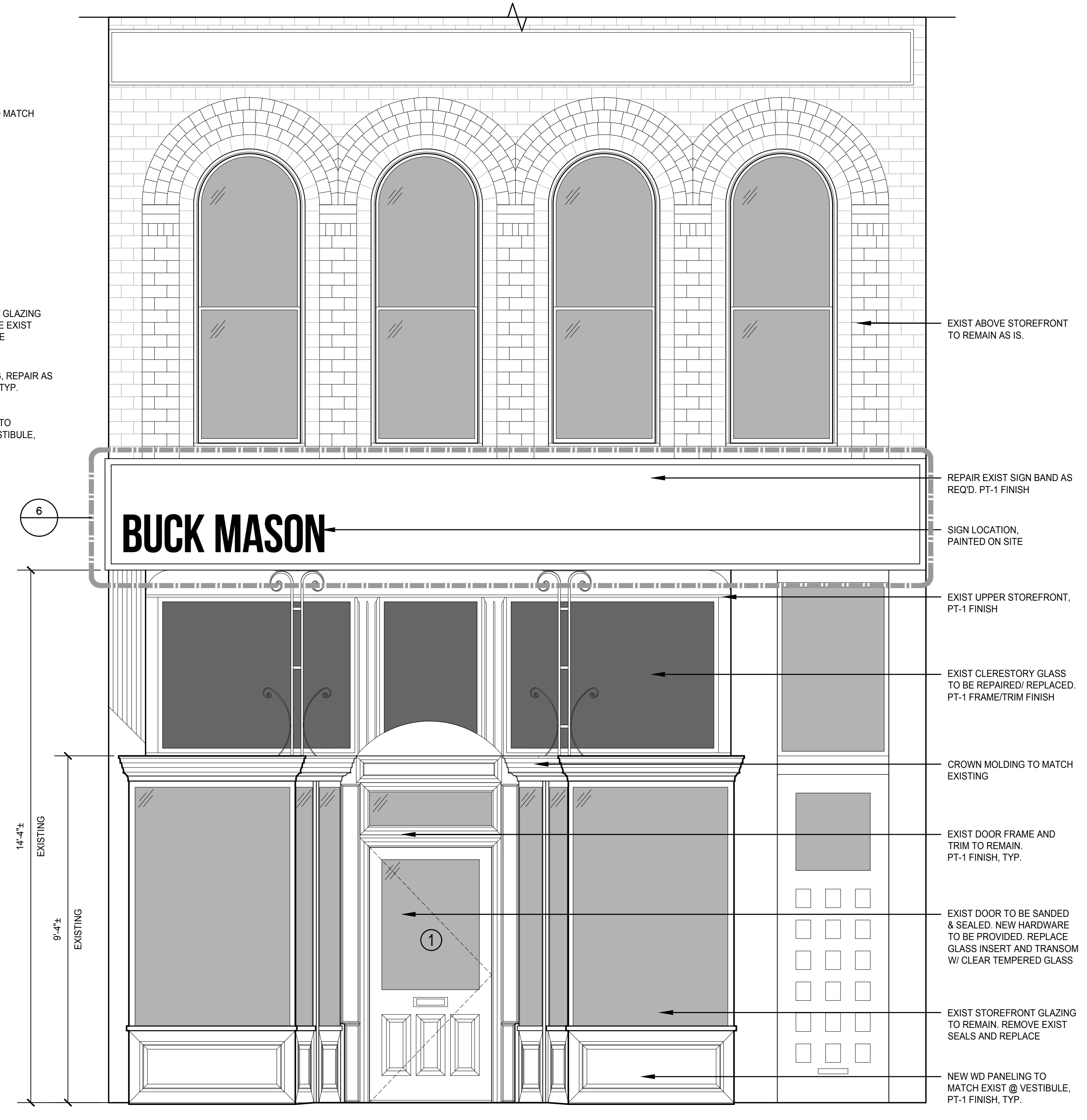
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3 STOREFRONT ELEVATION
DRAWING SCALE: 1/2"=1'-0"



NOTE: ALL EXTERIOR STOREFRONT SURFACES TO BE PT-1 UNLESS NOTED OTHERWISE.

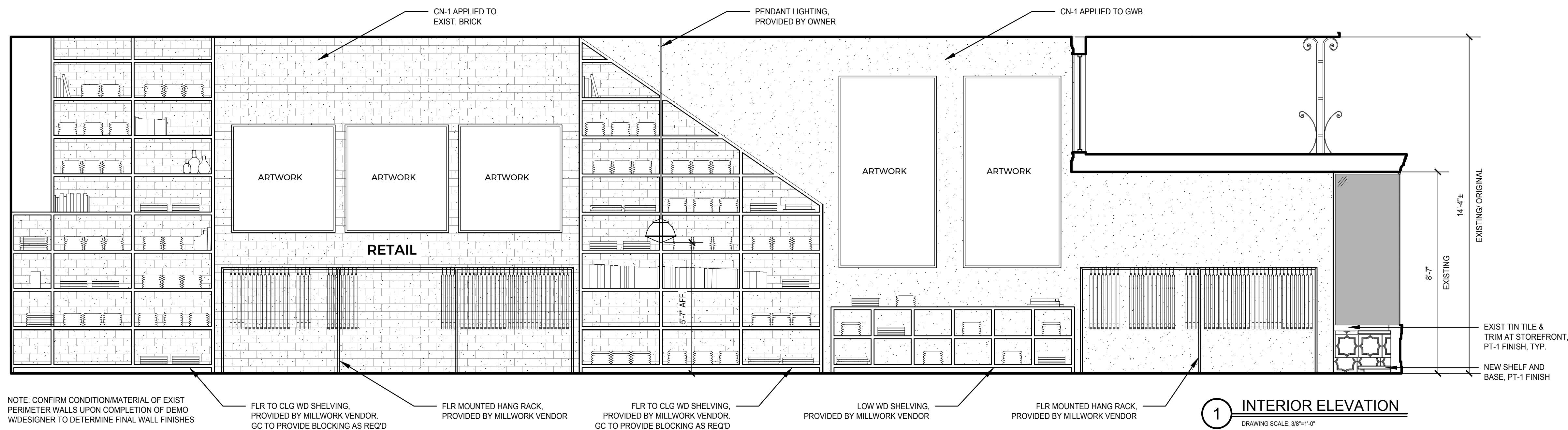
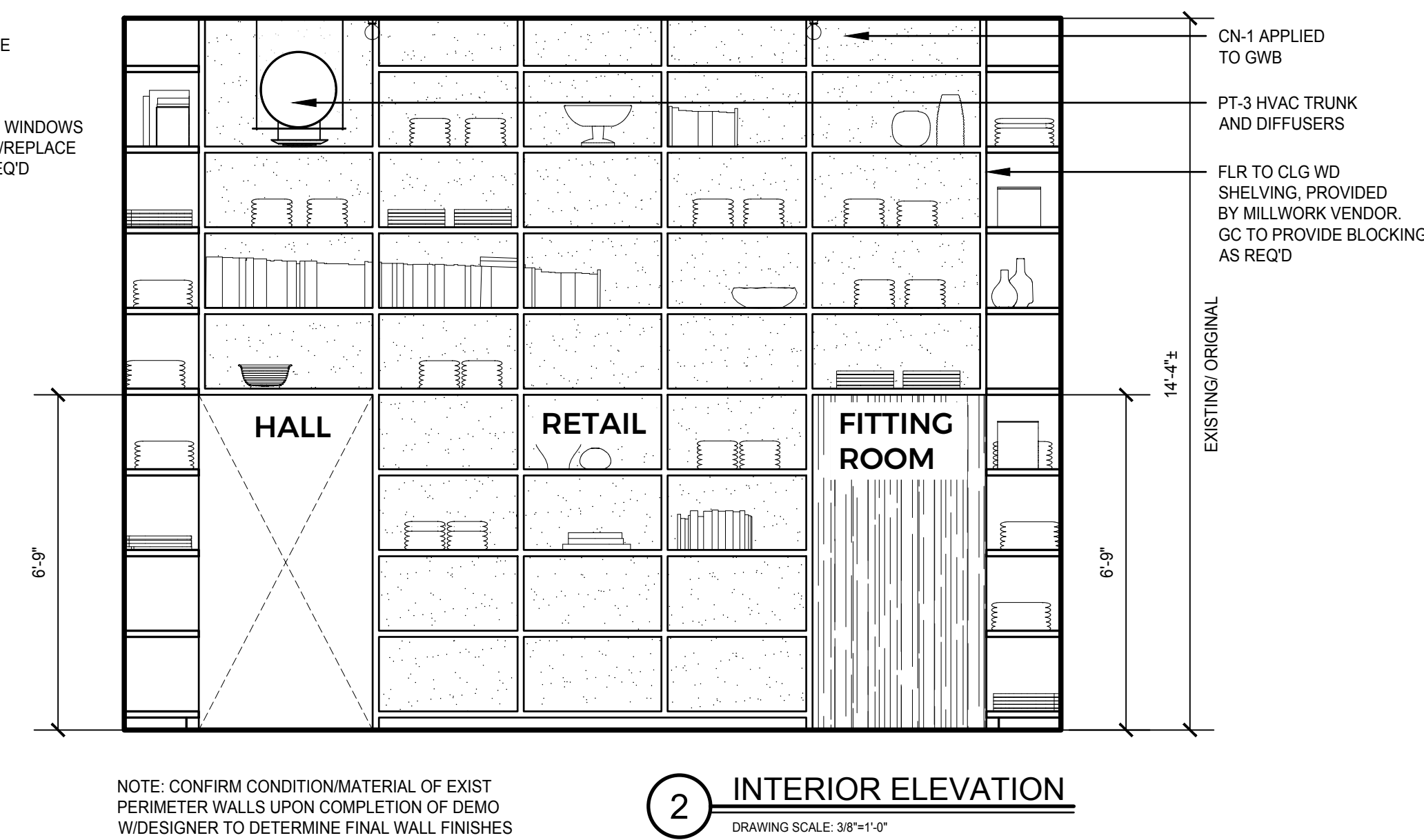
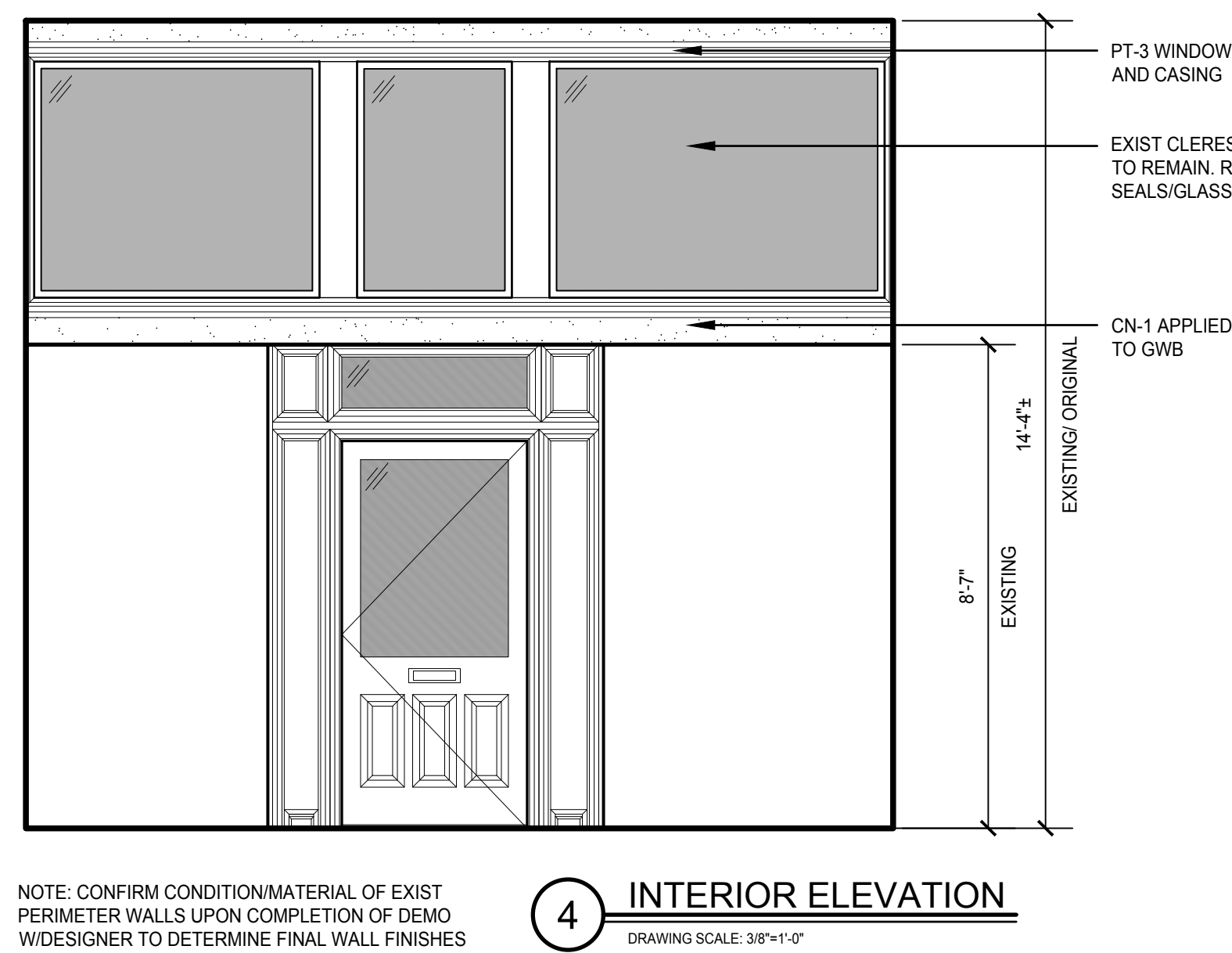
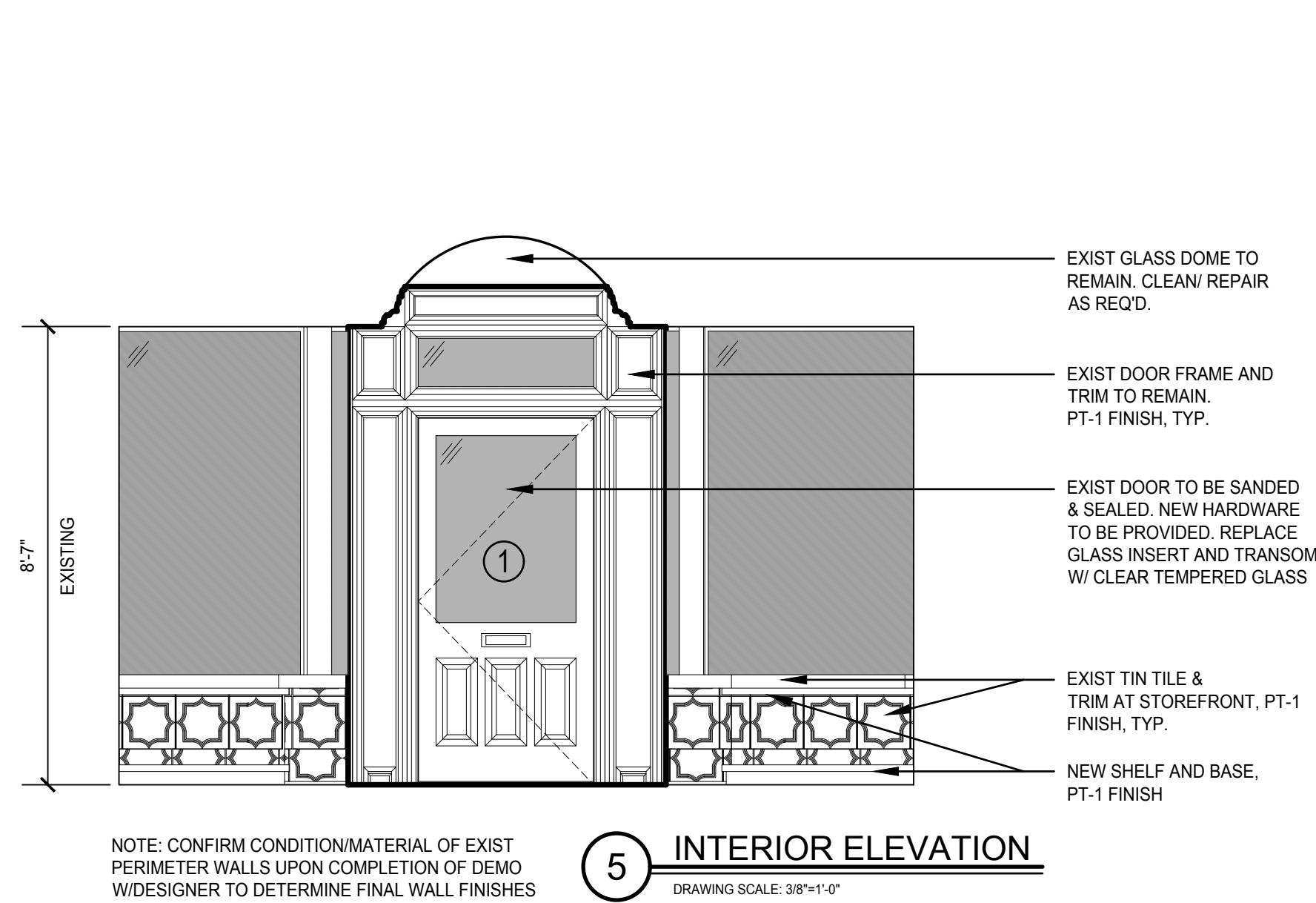
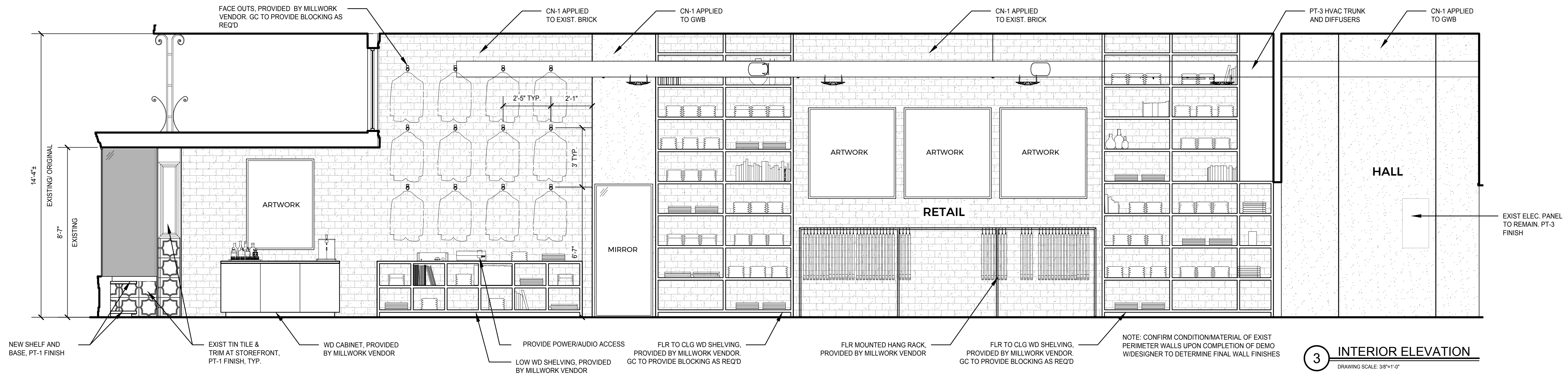
2 STOREFRONT ELEVATION
DRAWING SCALE: 1/2"=1'-0"



NOTE: ALL EXTERIOR STOREFRONT SURFACES TO BE PT-1 UNLESS NOTED OTHERWISE.

1 STOREFRONT ELEVATION
DRAWING SCALE: 1/2"=1'-0"

NOT FOR CONSTRUCTION



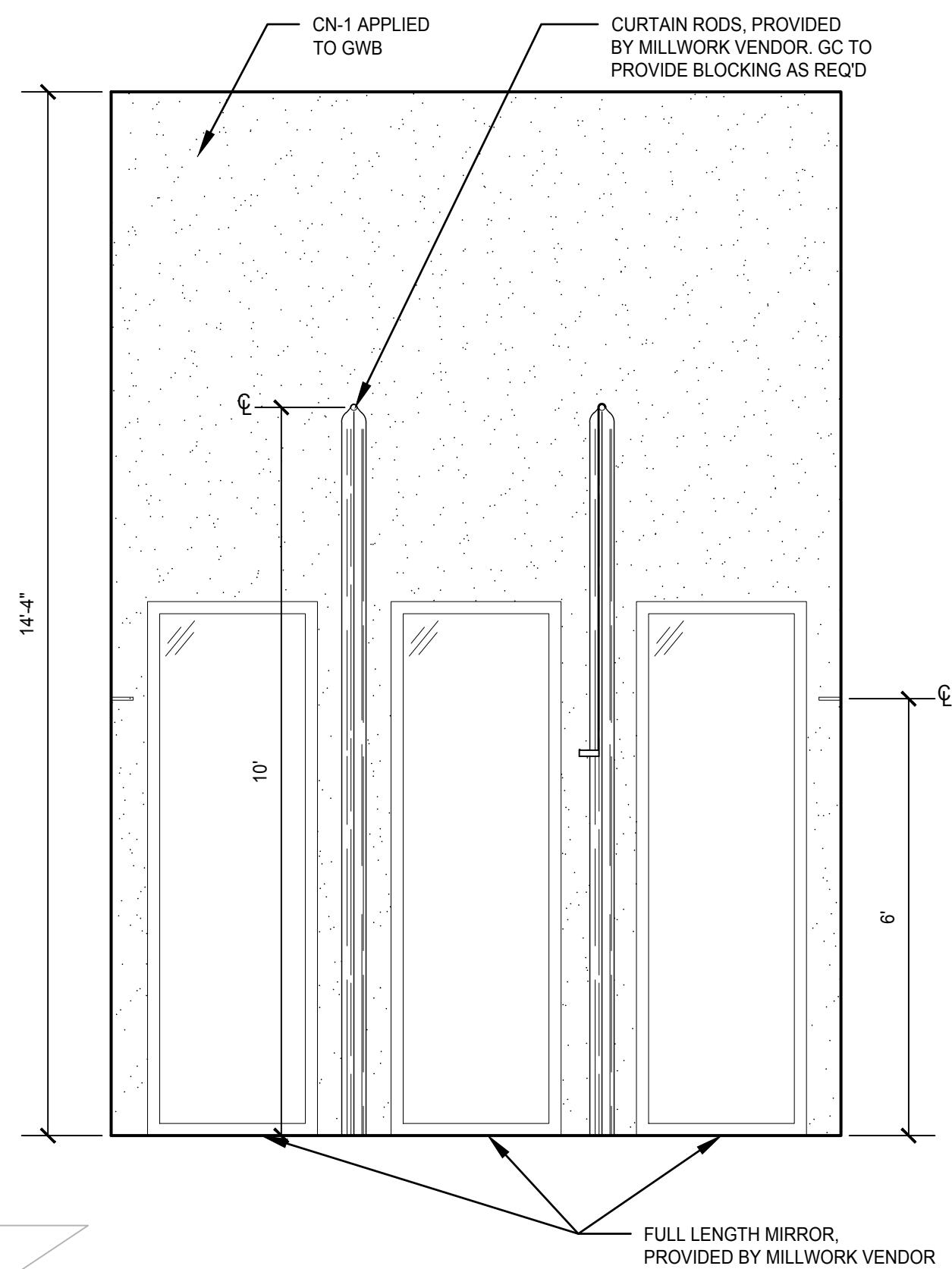
ISSUED FOR:	DATE	DESCRIPTION
DESIGN DEVELOPMENT	09/24/21	

PROJECT NO:
21-027

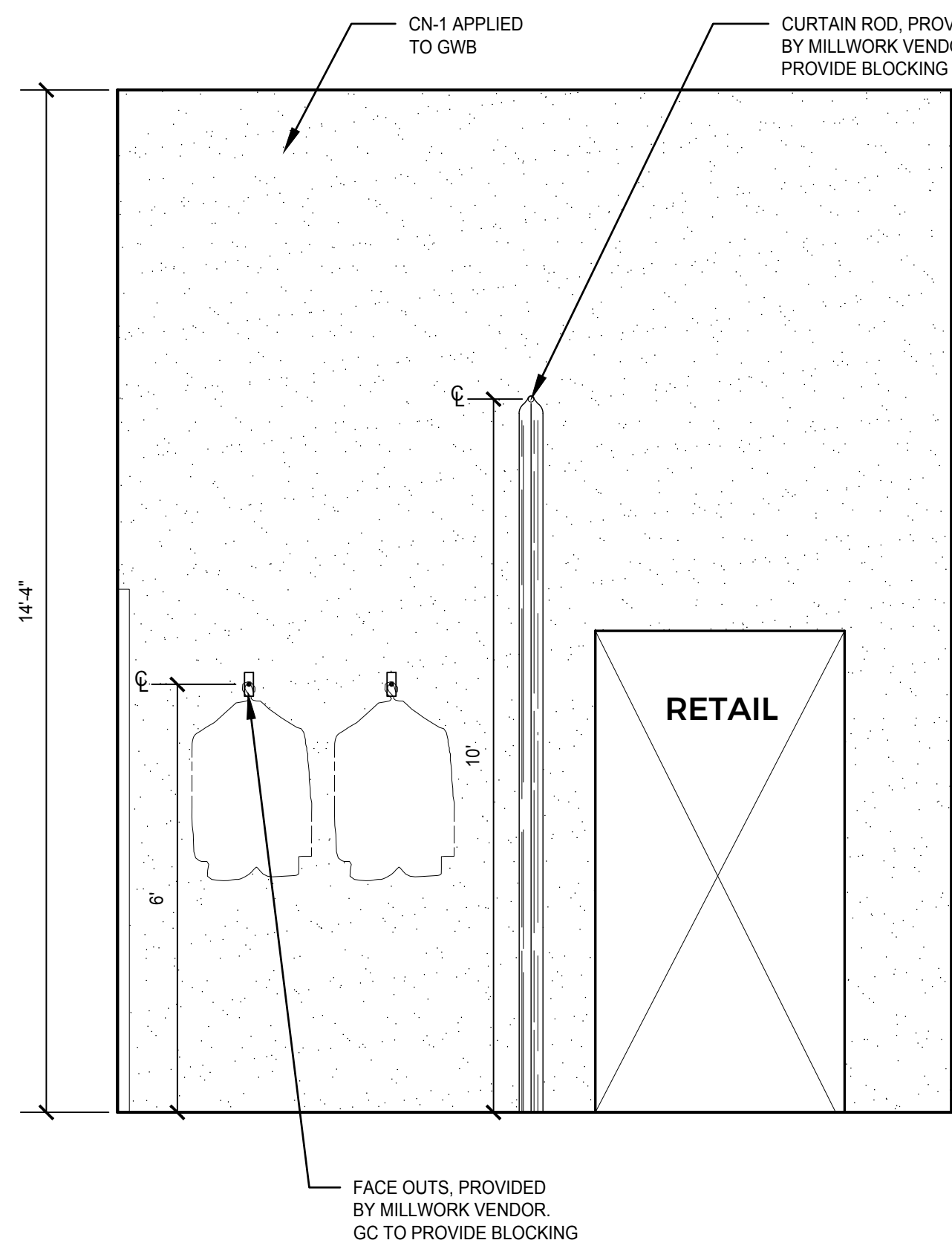
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INTERIOR ELEVATIONS

SHEET NO:

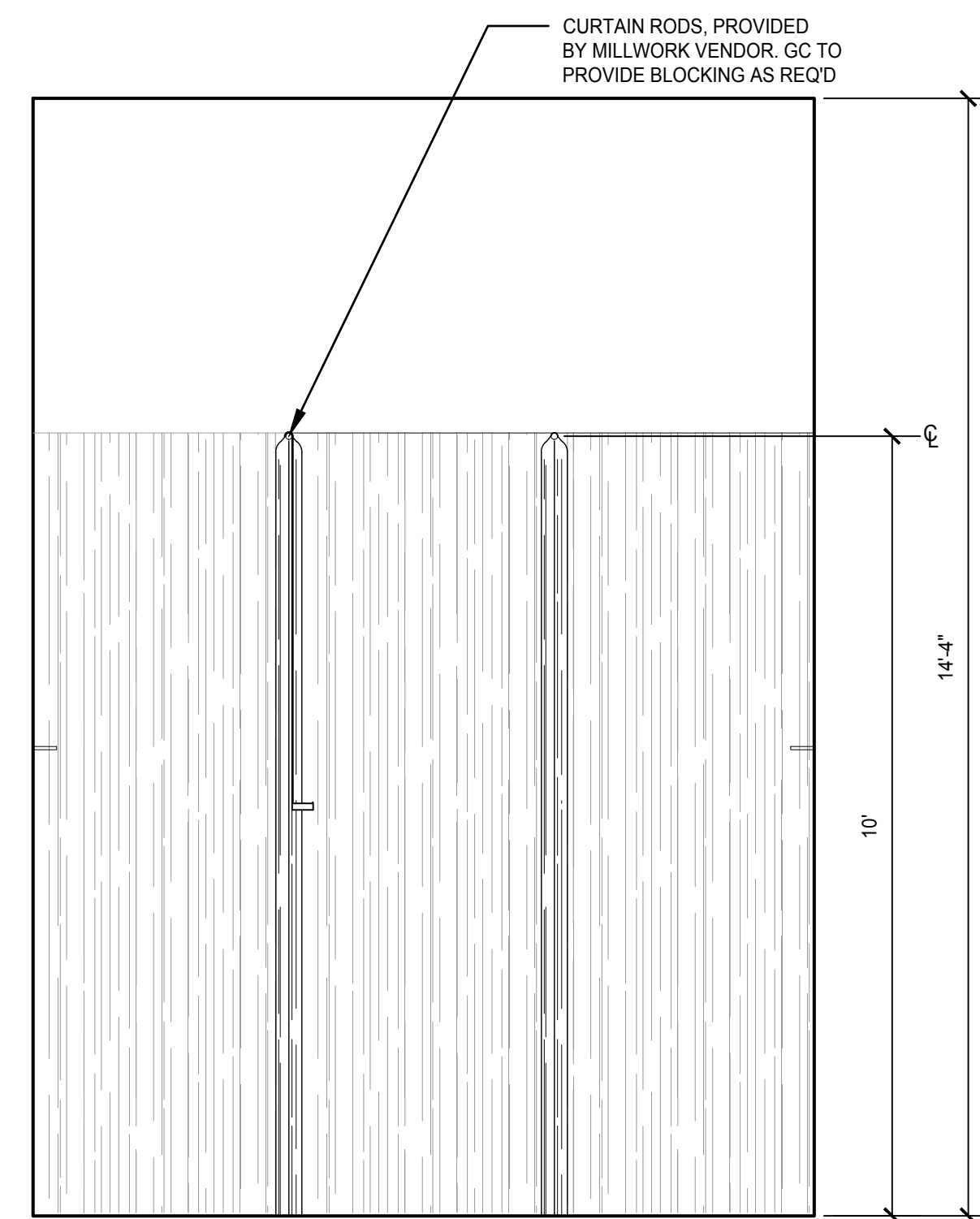
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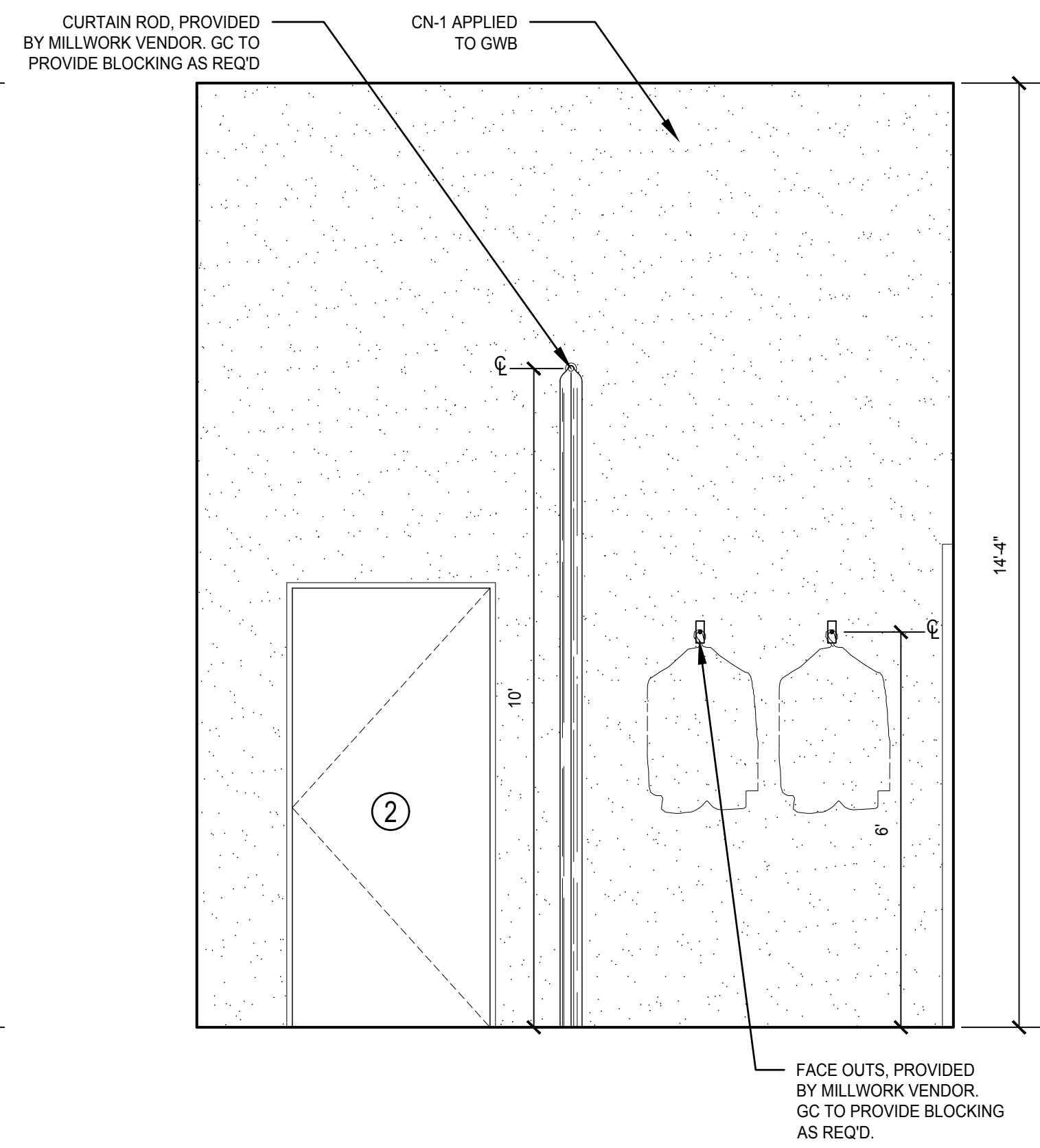
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DRAWING SCALE: 1/2"=1'-0"



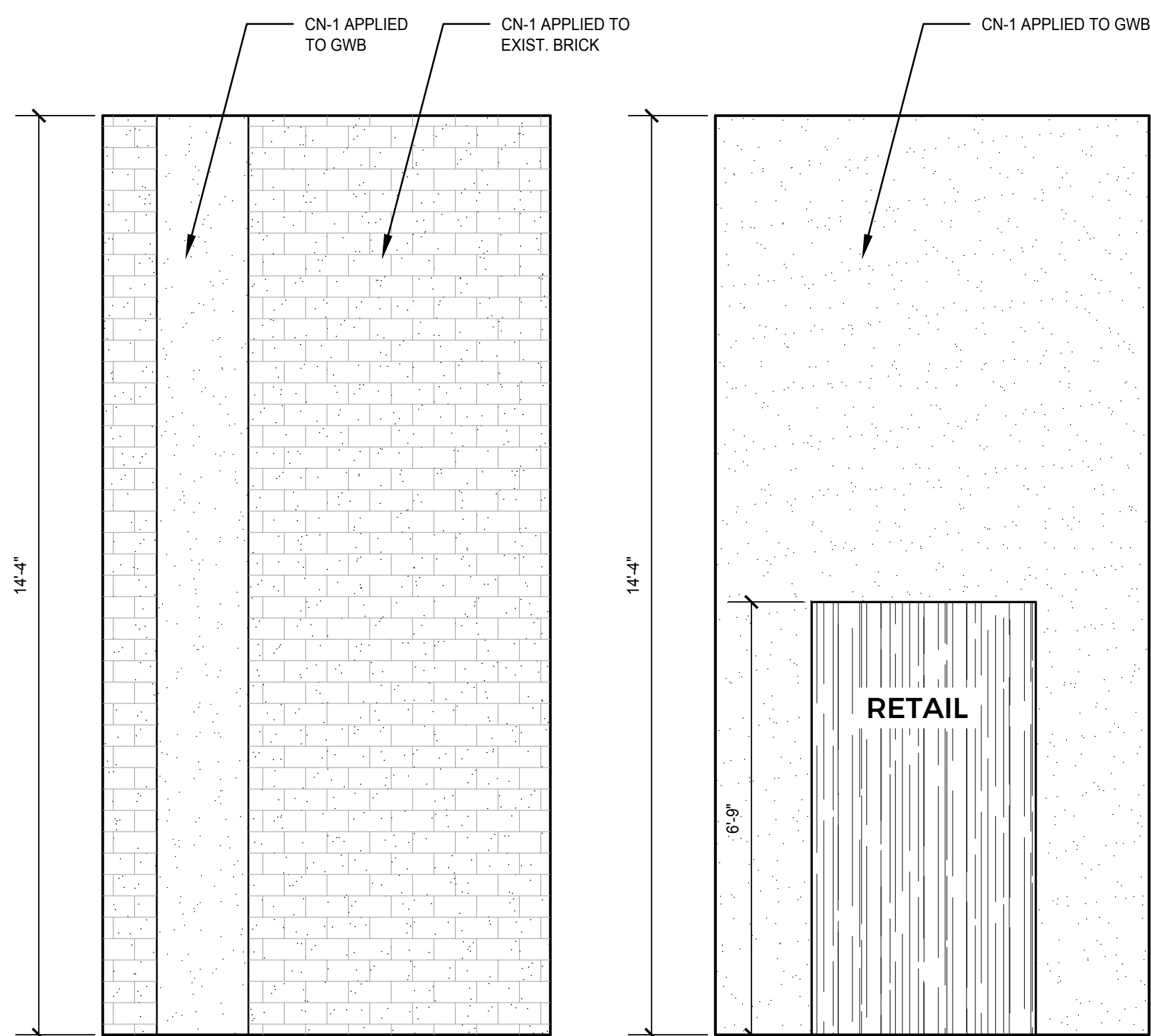
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DRAWING SCALE: 1/2"=1'-0"



7 FIT ROOM ELEVATION
DRAWING SCALE: 1/2"=1'-0"

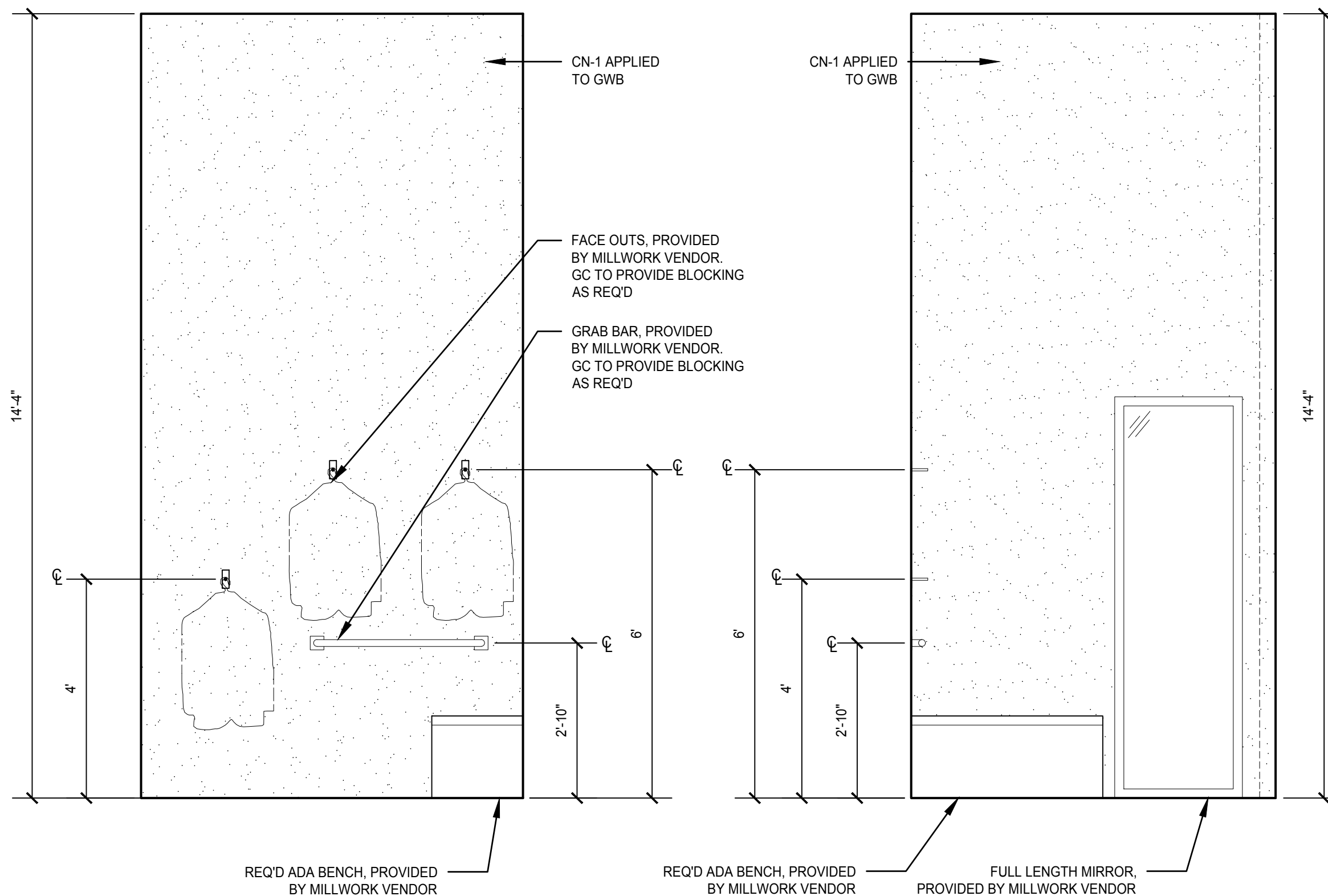


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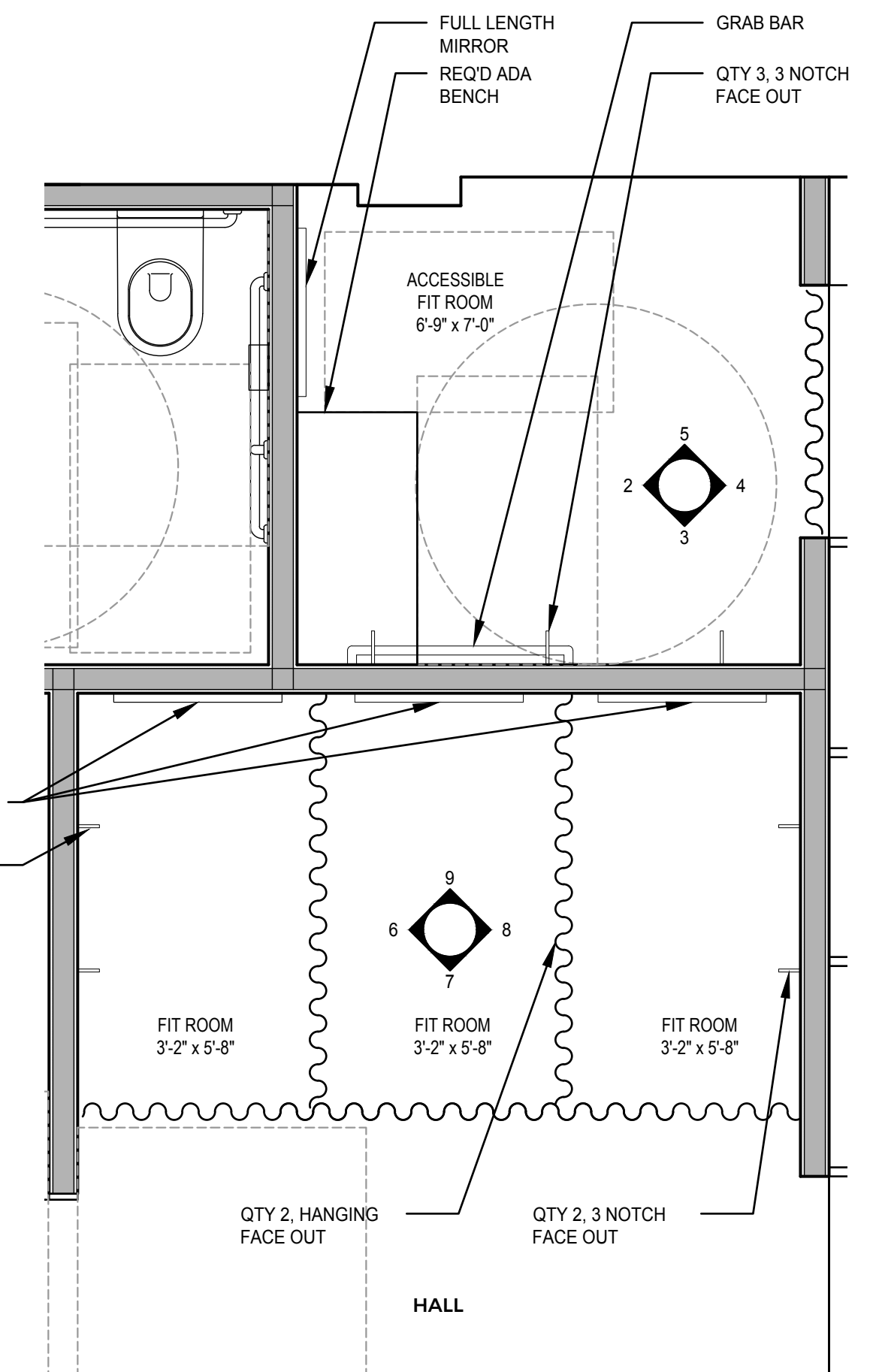
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DRAWING SCALE: 1/2"=1'-0"

4 FIT ROOM ELEVATION
DRAWING SCALE: 1/2"=1'-0"



3 FIT ROOM ELEVATION
DRAWING SCALE: 1/2"=1'-0"

2 FIT ROOM ELEVATION
DRAWING SCALE: 1/2"=1'-0"

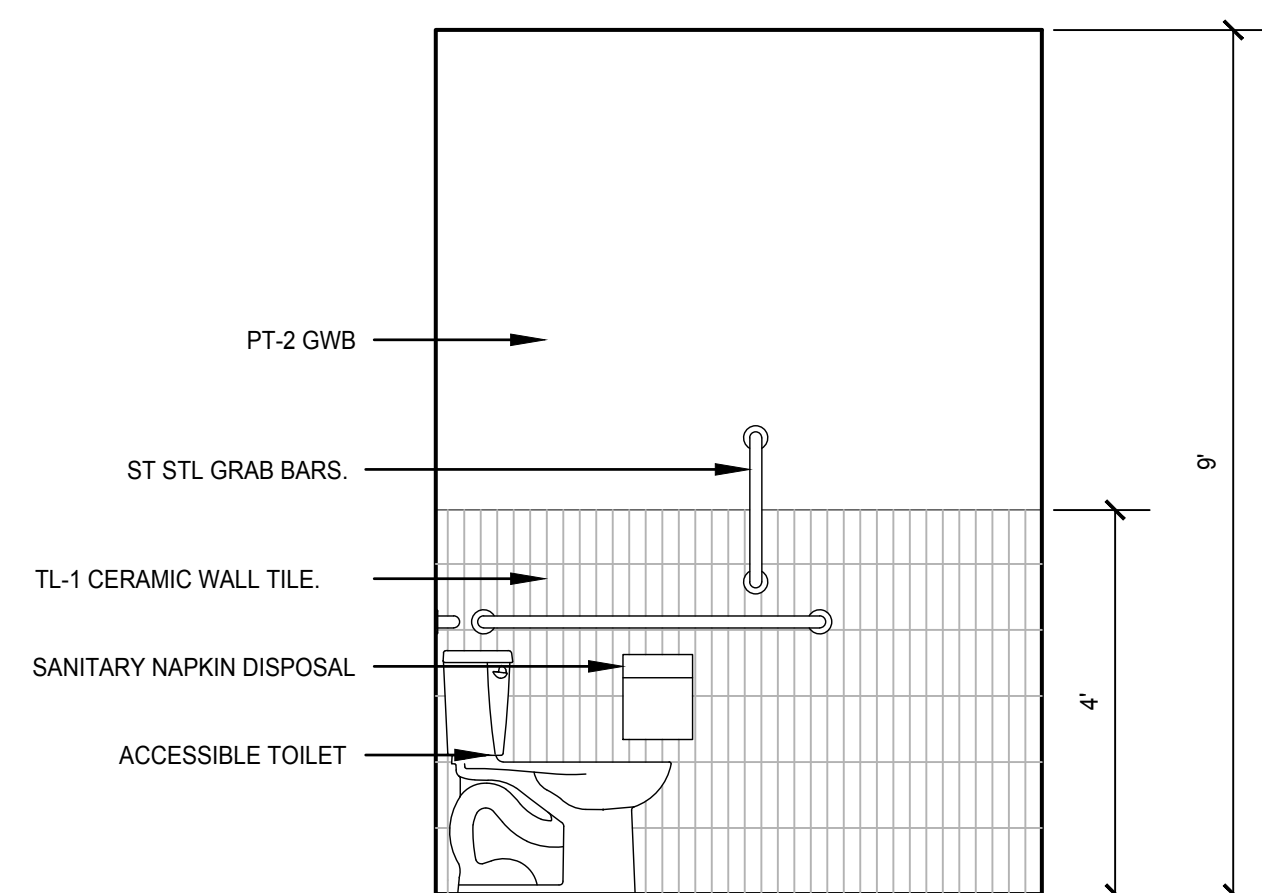


1 ENLARGED FITTING ROOM PLAN
DRAWING SCALE: 1/2"=1'-0"

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09/24/21	

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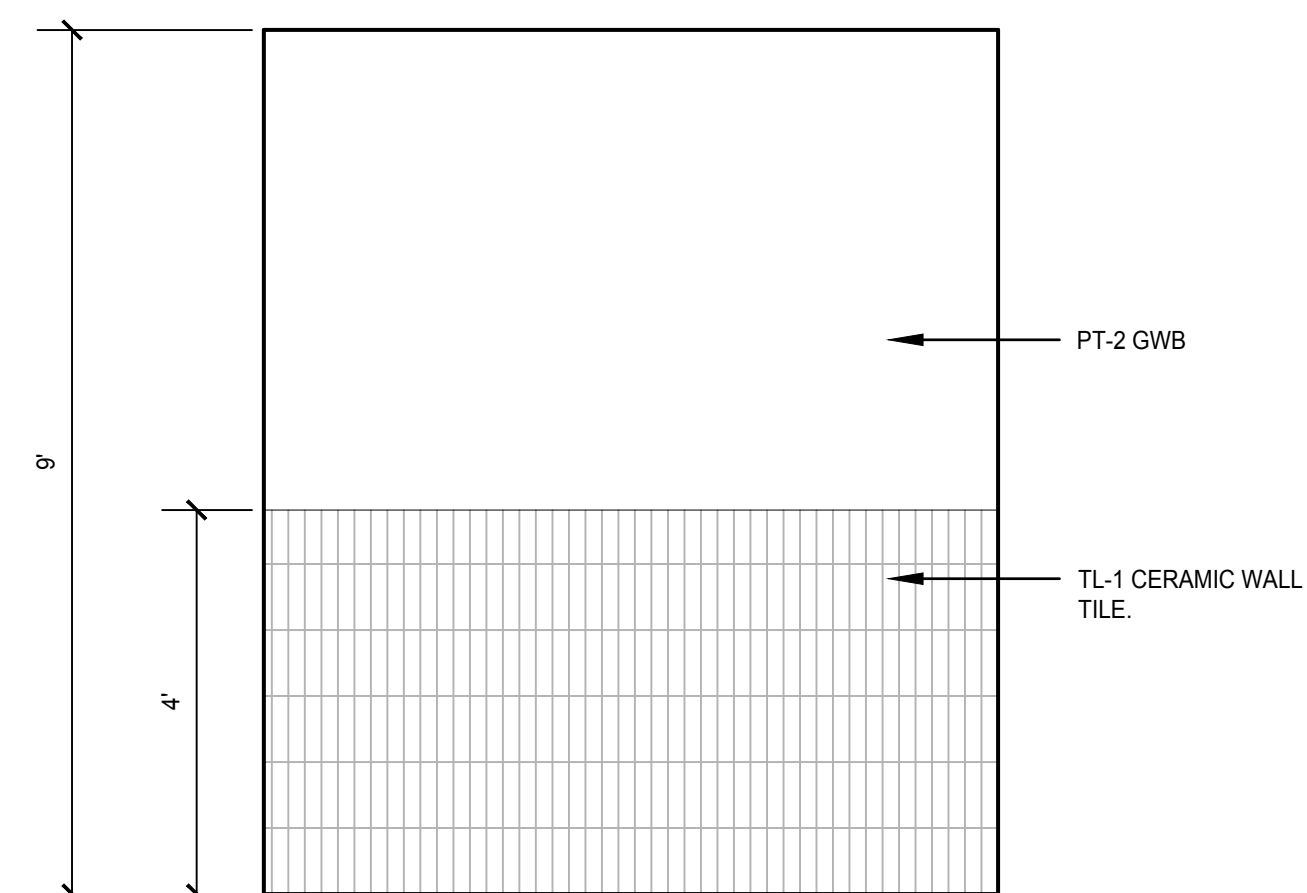
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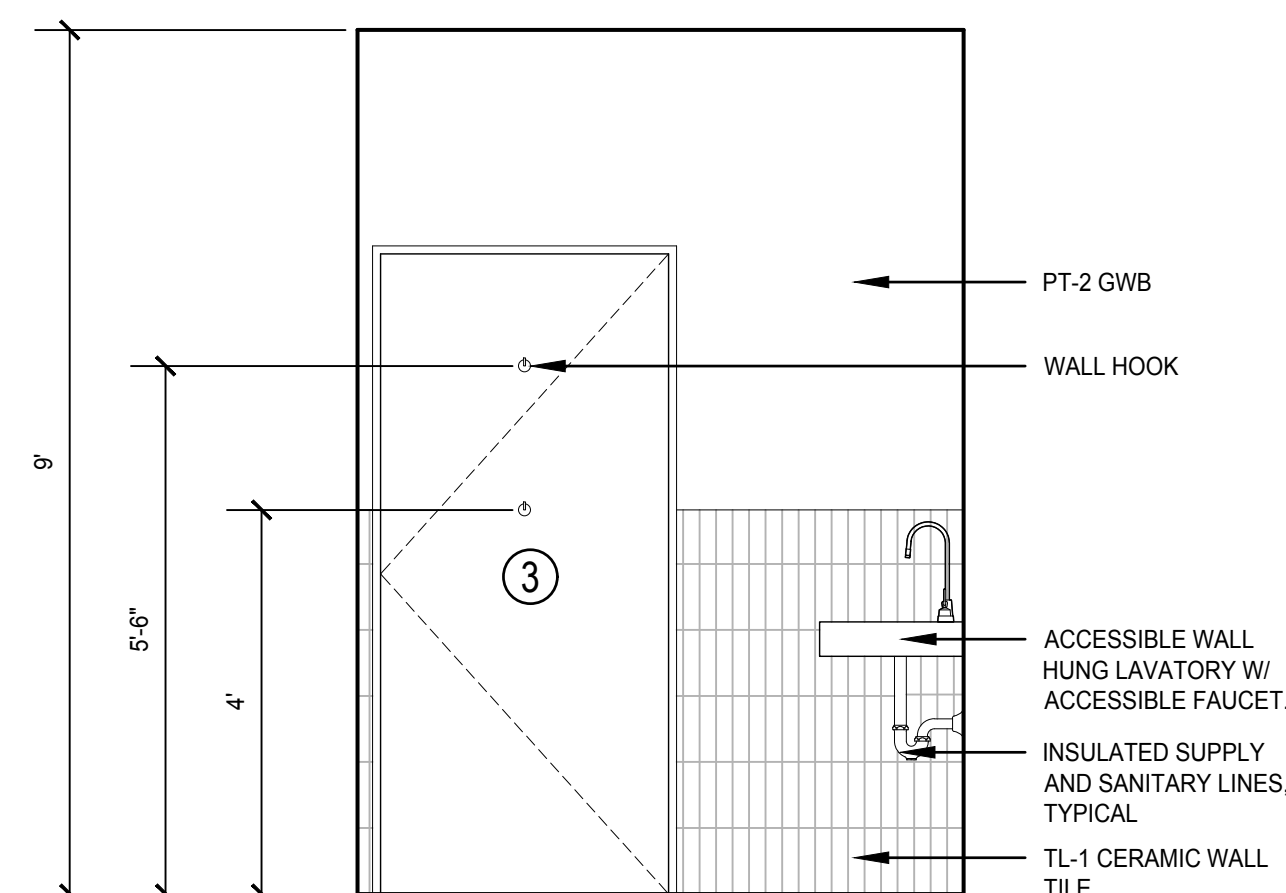
NOTE: REFER TO A0.1 FOR RESTROOM ACCESSORY MOUNTING HEIGHTS

GC TO PROVIDE BLOCKING FOR GRAB BARS AND WALL HUNG LAVATORY AS REQ'D.

4 RESTROOM ELEVATION
DRAWING SCALE: 1/2"=1'-0"



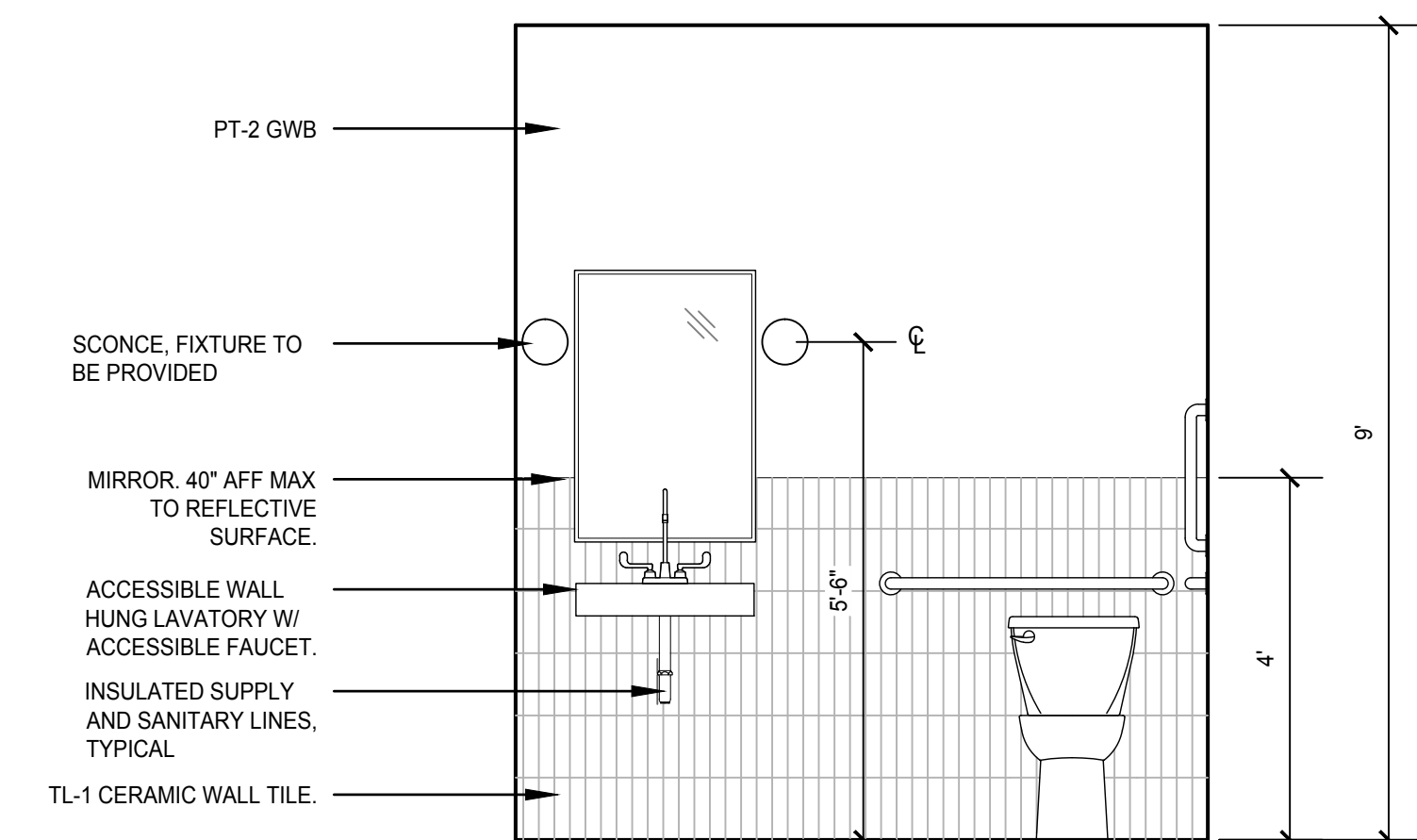
3 RESTROOM ELEVATION
DRAWING SCALE: 1/2"=1'-0"



NOTE: REFER TO A0.1 FOR RESTROOM ACCESSORY MOUNTING HEIGHTS

GC TO PROVIDE BLOCKING FOR GRAB BARS AND WALL HUNG LAVATORY AS REQ'D.

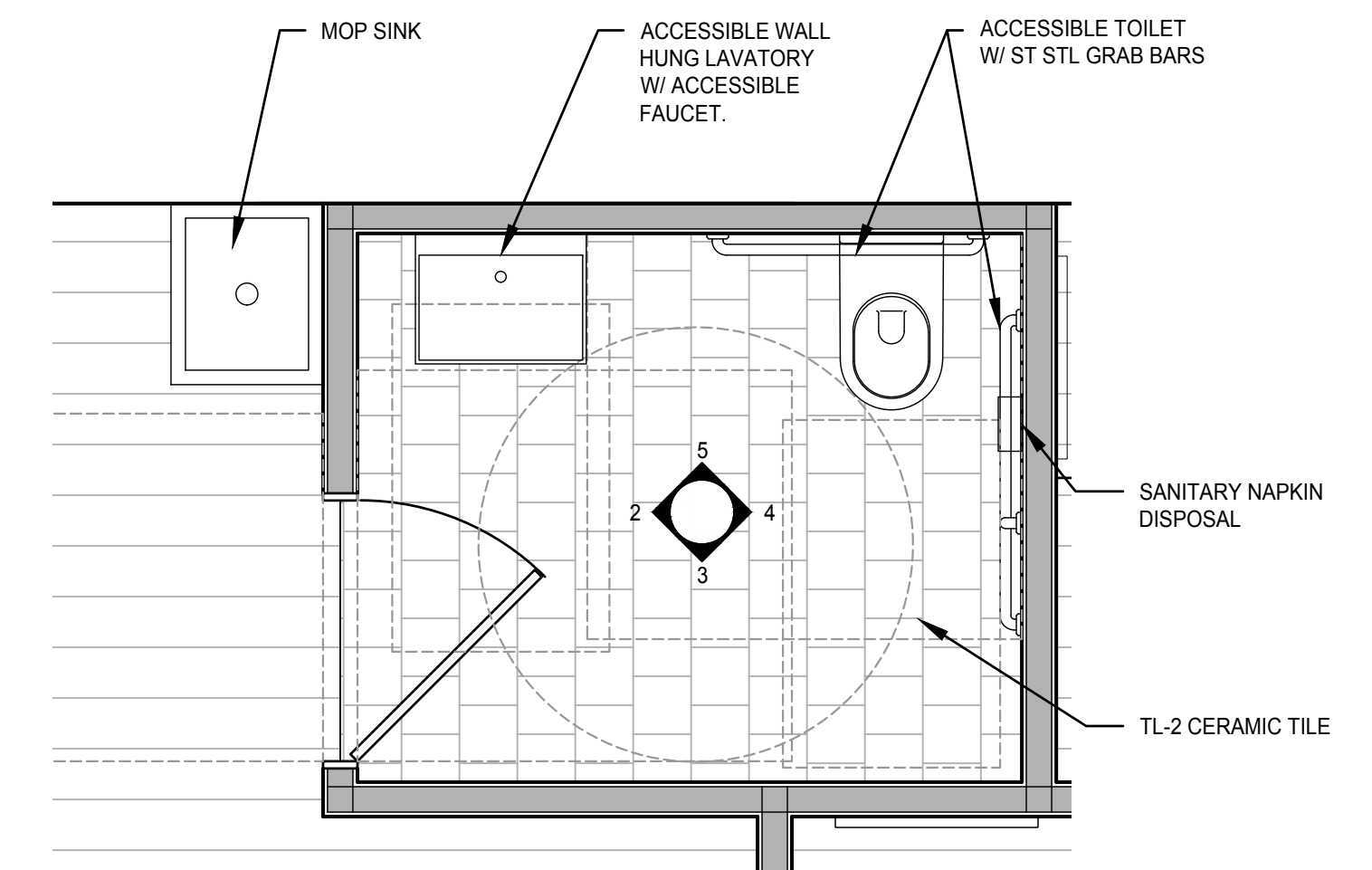
2 RESTROOM ELEVATION
DRAWING SCALE: 1/2"=1'-0"



NOTE: REFER TO A0.1 FOR RESTROOM ACCESSORY MOUNTING HEIGHTS

GC TO PROVIDE BLOCKING FOR GRAB BARS AND WALL HUNG LAVATORY AS REQ'D.

5 RESTROOM ELEVATION
DRAWING SCALE: 1/2"=1'-0"



NOTE: REFER TO A0.1 FOR RESTROOM ACCESSORY MOUNTING HEIGHTS

GC TO PROVIDE BLOCKING FOR GRAB BARS AND WALL HUNG LAVATORY AS REQ'D.

1 ENLARGED RESTROOM PLAN
DRAWING SCALE: 1/2"=1'-0"

PROJECT TITLE:
**BUCK MASON
WASHINGTON D.C.**
3128 M ST NW
WASHINGTON, DC 20007

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ISSUED FOR:	DESIGN DEVELOPMENT
09/24/21	

PROJECT NO:
21-027

SHEET TITLE:
INTERIOR ELEVATIONS
RESTROOM

SHEET NO:

A2.3

PITTSBURGH
219 57TH STREET, STUDIO F
PITTSBURGH, PA 15201
412.444.4824

COLUMBUS
1277 E BROAD ST
COLUMBUS, OH 43205
614.706.7847

Midland
ARCHITECTURE

DOOR SCHEDULE														
RATING (MIN)	DOOR NUMBER	ROOM NAME	DOOR						FRAME			HDWR SET	NOTES	
			TYPE	SIZE			MATL	INT FINISH	EXT FINISH	TYPE	MATL			FINISH
				WIDTH	HEIGHT	THICK								
N/A	1	STOREFRONT (EXISTING)		3'-3 1/2"	6'-10 1/2"		SOLID	CLR	CLR		WD	PT		EXISTING DOOR TO BE SANDED AND SEALED. FRAME TO BE PAINTED PT-1. GLASS DOOR INSERT AND TRANSOM TO BE REPLACED WITH CLEAR TEMPERED GLASS. NEW HARDWARE TO BE PROVIDED.
N/A	2	STORAGE		3'-0"	6'-8"	1 3/4"	VENEERED SOLID CORE	PT	PT	KNOCKED DOWN DRYWALL	HOLLOW METAL	PT	SCHOOLHOUSE BERLIN DOOR WITH OTTO LEVER, FLAT BLACK	USE IVES HINGE 5BB1 FBLK. RETAIL FACE OF DOOR AND FRAME TO BE PAINTED PT-3. BOH FACE AND FRAME TO BE PAINTED PT-2.
N/A	3	RESTROOM		3'-0"	6'-8"	1 3/4"	VENEERED SOLID CORE	PT	PT	KNOCKED DOWN DRYWALL	HOLLOW METAL	PT	SCHOOLHOUSE BERLIN DOOR WITH OTTO LEVER AND PRIVACY SET, FLAT BLACK	USE IVES HINGE 5BB1 FBLK. DOOR AND FRAME TO BE PAINTED PT-2.
														1 SIZE REFERS TO PANEL DIMENSIONS; DOES NOT INCLUDE FRAME WIDTH OR SHIM SPACE FOR R.O.

NOTE: CONFIRM ALL SUBSTITUTIONS WITH DESIGNER

FINISH SCHEDULE				
CATEGORY	MARK	BRAND	SPEC	NOTES
PAINT	PT-1	PPG	COLOR PPG0995-7 STARLESS SKY SHEEN: EGGSHELL	APPLY TO ENTRY TRIM AND WALL SURFACES AS SHOWN. APPLY AT EXTERIOR STOREFRONT AND SIGN BAND.
INTERIOR PAINT	PT-2	SHERWIN WILLIAMS	COLOR: SW 7042 SHOJI WHITE SHEEN: EGGSHELL	APPLY TO STORAGE ROOM AND RESTROOM WALLS AS SHOWN
INTERIOR PAINT	PT-3		MATCH COLOR AND SHEEN OF CN-1	APPLY TO CEILING TILES AND RETAIL FACE OF STORAGE DOOR
CONCRETE THIN COAT	CN-1	SURECRETE	MICROTEK ONE COAT: WHITE	OWNER SUPPLIED SUB-CONTRACTOR. APPLY TO INTERIOR WALL SURFACES AS SHOWN. PROVIDE LOW VOC SEAL TO ALL SURFACES. GC TO PRIME/SEAL SURFACES PRIOR TO APPLICATION.
WALL TILE	TL-1	ZIA TILE	TILE: SHOREDITCH BLACK 2.5" x 8" GROUT: MAPEI 10 BLACK	APPLY IN VERTICAL STACKED PATTERN UP TO 48" HIGH AT BATHROOM WALLS
FLOOR TILE	TL-2	CLE	TILE: BELGIAN REPRODUCTION FLEMISH BLACK TERRACOTTA SQUARE + RECTANGLE (BUNDLE) GROUT: MAPEI 47 CHARCOAL	APPLY TO BATHROOM FLOORS.
ENTRY TILE	TL-3	MARBLE ONLINE	TILE: NERO MARQUINA BLACK MARBLE 5/8"x5/8" SQUARE MOSAIC TILE HONED GROUT: MAPEI 10 BLACK	APPLY TO ENTRY VESTIBULE AREA. PROVIDE MATTE BLACK SCHLUTER-JOLLY OR SIMILAR TRANSITION STRIP WHERE REQUIRED.

NOTE: CONFIRM ALL SUBSTITUTIONS WITH DESIGNER

LIGHTING SCHEDULE				
CATEGORY	MARK	BRAND	SPEC	NOTES
SURFACE MOUNT	LT-1	GE	MEDIUM BASE KEYLESS WHITE PORCELAIN LAMPHOLDER	PAIR WITH BULBRITE 776883 BULB. PAINT FIXTURE BLACK WHEN APPLICABLE.
DECORATIVE PENDANT	LT-2			OWNER SOURCED/PROVIDED

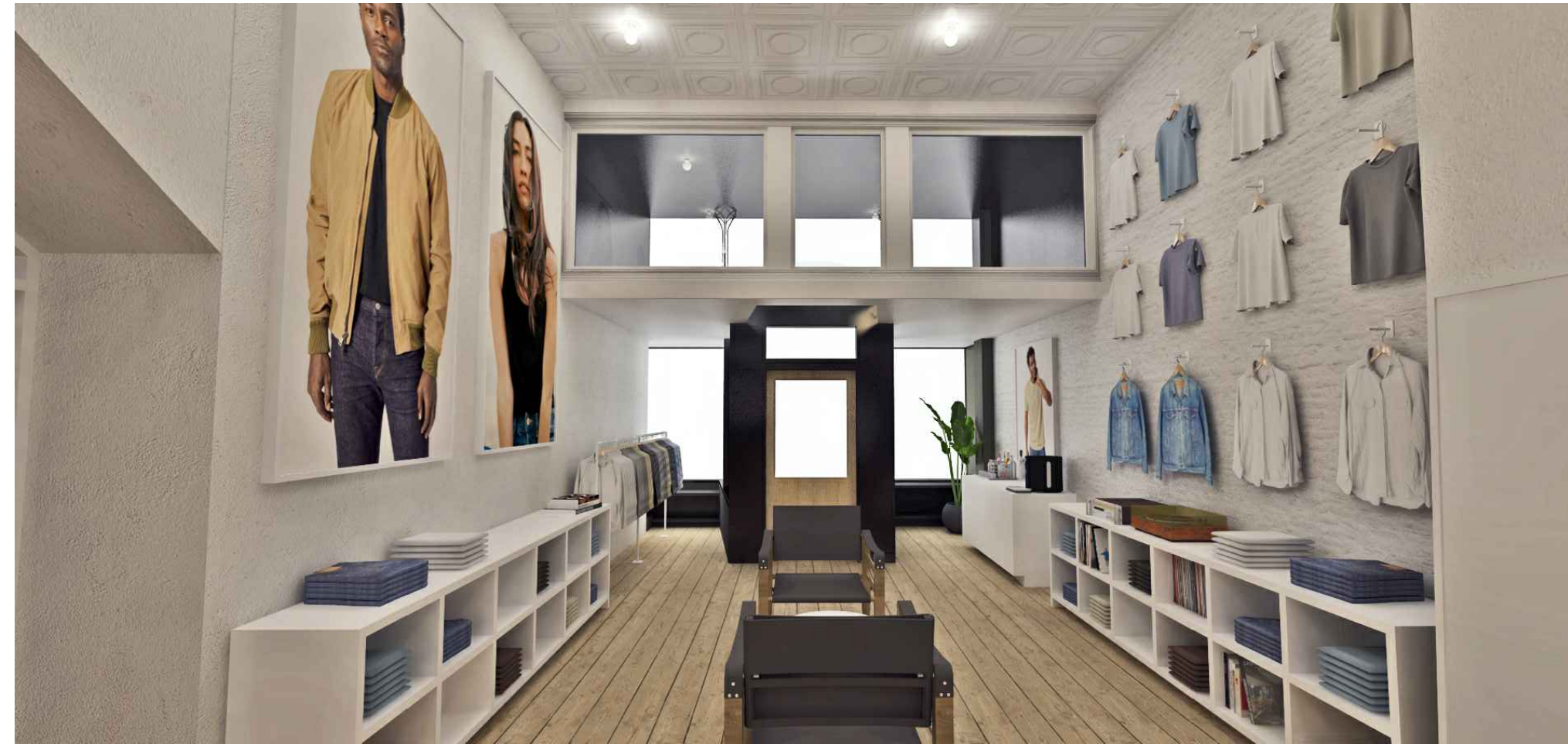
NOTE: CONFIRM ALL SUBSTITUTIONS WITH DESIGNER

PLUMBING SCHEDULE					
RESTROOM FIXTURES	MODEL	BRAND	FINISH	QTY	NOTES
TOILET	K-3493-0	KOHLER	WHITE	1	BOWL: K-4304 TANK: K-4645 SEAT: MAINLINE ML1055SSC LEVER: K-9379-SN
SINK BASIN	UNLIMITED 60.03	WS BATH COLLECTIONS	WHITE	1	3 HOLE, 8" CENTER
FAUCET	SERIN 2064.831.002	AMERICAN STANDARD	CHROME	1	8" WIDE SPREAD, HIGH ARC
MOP SINK	9-OP-20-EC-X	ADVANCED TABCO	STAINLESS	1	USE WHEN REQUIRED
MOP SINK FAUCET	63.600A	MUSTEE	CHROME	1	USE WHEN REQUIRED
RESTROOM ACCESSORIES	MODEL	BRAND	FINISH	QTY	NOTES
MIRROR				1	OWNER SOURCED/PURCHASED
REPLACEABLE COUNTERTOP SOAP DISPENSER				1	OWNER SOURCED/PURCHASED
PAPER TOWEL DISPENSER	C-FOLD, SURFACE MOUNT	BESY	MATTE BLACK	1	
TISSUE PAPER DISPENSER	LATITUDE II #1431MX	GATCO	BLACK	1	
SANITARY NAPKIN DISPENSER	9200BK	S.A.C.	BLACK	1	
CLOTHES HOOK	THOMAS HOOK, SKU: 116135	SCHOOLHOUSE	TRUE BLACK	2	
GRAB BAR	CONCEALED MOUNT 1 1/4"	CSI BATHWARE	MATTE BLACK	1 EA	(1 VERTICAL 18", 2 HORZ. 36" & 42")
WASTE RECEPTACLE				1	OWNER SOURCED/PURCHASED

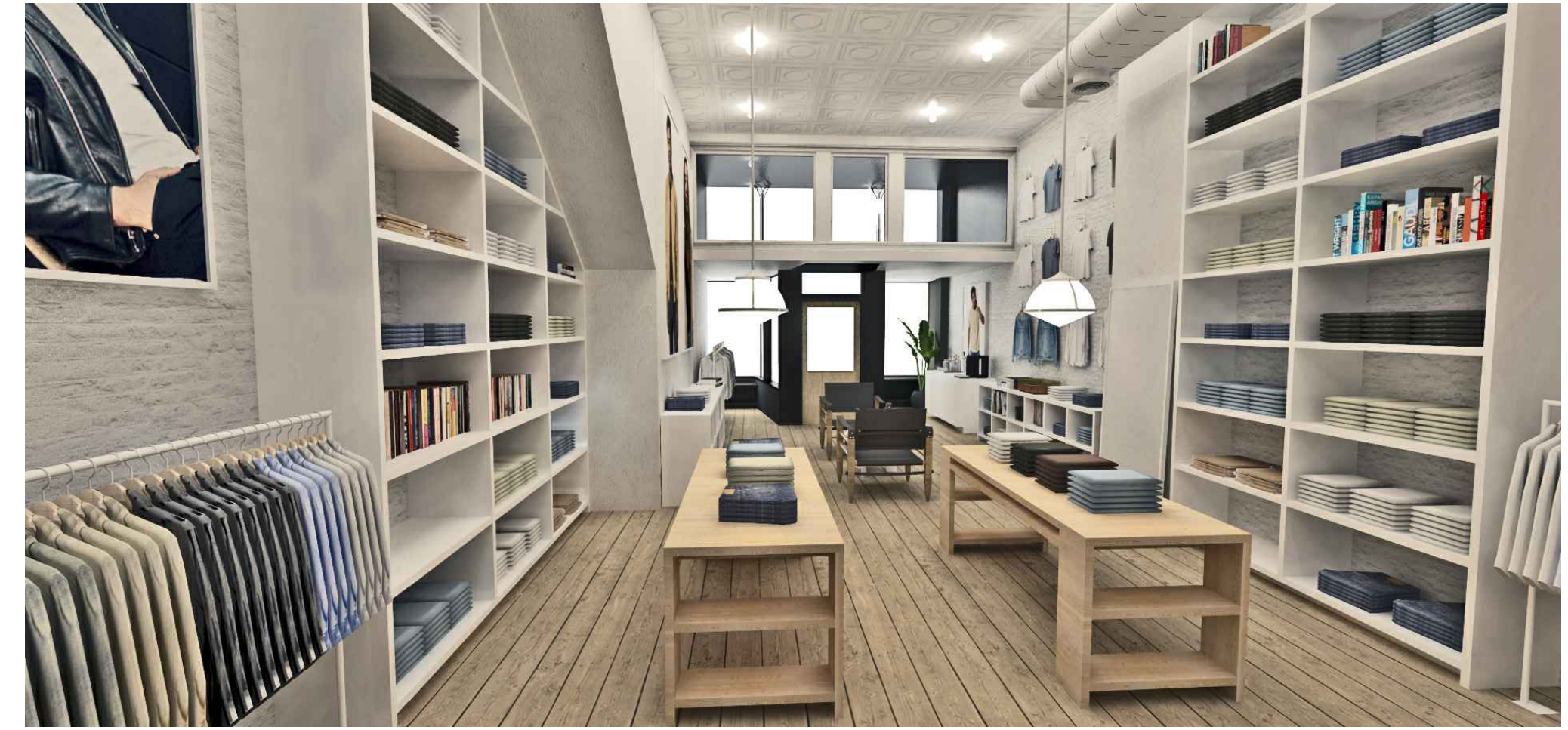
NOTE: CONFIRM ALL SUBSTITUTIONS WITH DESIGNER

ISSUED FOR:	DESIGN DEVELOPMENT
09/24/21	

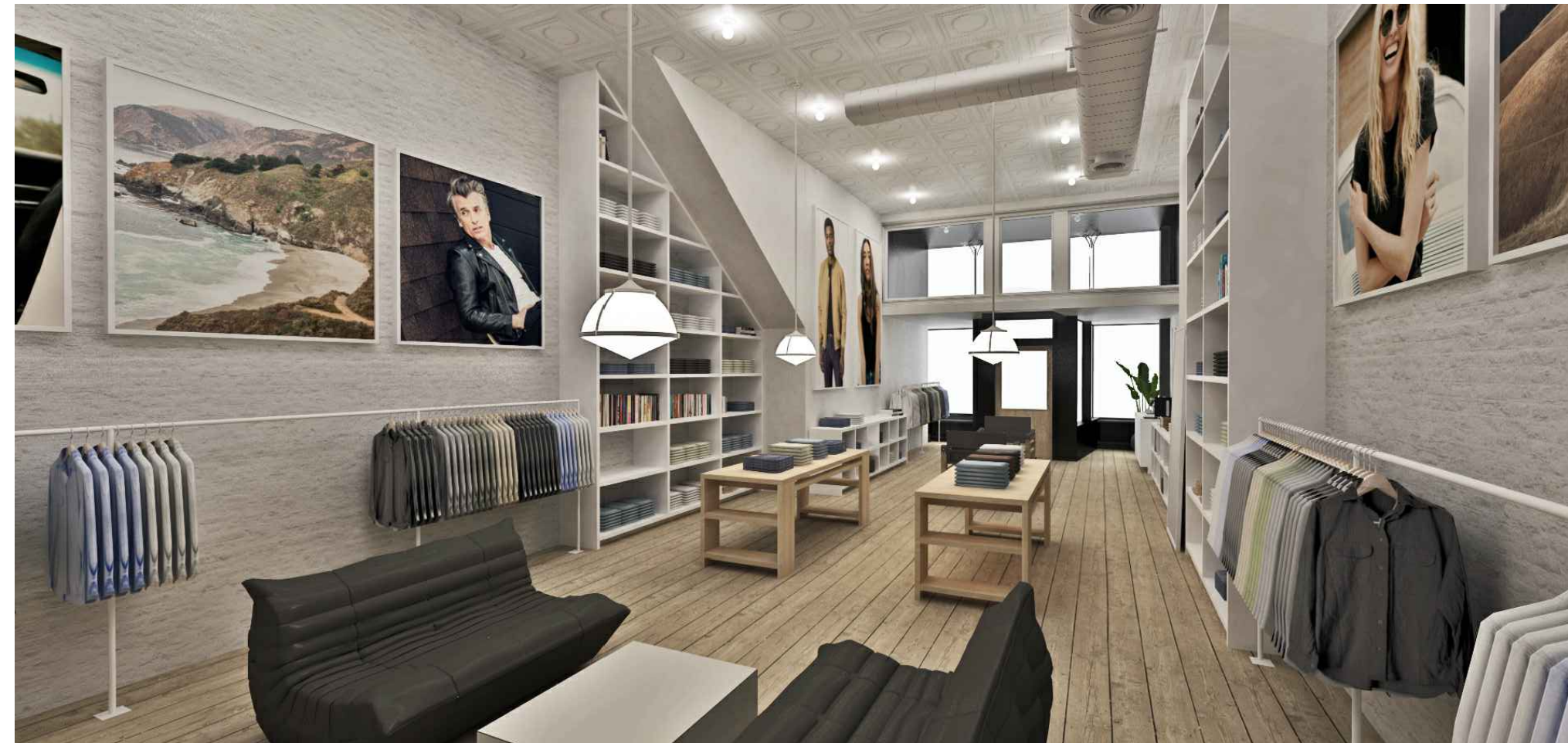
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6 RENDERING REFERENCE
DRAWING SCALE: N.T.S.



5 RENDERING REFERENCE
DRAWING SCALE: N.T.S.



4 RENDERING REFERENCE
DRAWING SCALE: N.T.S.



3 RENDERING REFERENCE
DRAWING SCALE: N.T.S.



2 RENDERING REFERENCE
DRAWING SCALE: N.T.S.



1 RENDERING REFERENCE
DRAWING SCALE: N.T.S.

ISSUED FOR:	DESIGN DEVELOPMENT
09/24/21	

PROJECT NO:
21-027

SHEET TITLE:
RENDERING
REFERENCES

SHEET NO:
A9.0