

HAMILTON COURTS
1220-1236 31ST STREET, NW
WASHINGTON, DC

BUILDING ENVELOPE REHABILITATIONS

DRAWING INDEX:

001	COVER SHEET
002	PROJECT INFORMATION/SCOPE OF WORK/CODE ANALYSIS
003	VICINITY AND SITE PLANS - PHASE 4
004	BUILDINGS 1230, 1234, 1228, 1220-1226 RECENT PHOTOGRAPHS
005	PHASE 4 BUILDING ITEM INVENTORY
A001	EXISTING & PROPOSED ROOF PLANS WITH CALLOUTS
A002	DETAILS
A003	DOUBLE HUNG WINDOWS
A003.1	JULIETTE BALCONY DOORS
A003.2	FIXED PICTURE WINDOW
A003.3	TRANSOM WINDOWS
A003.4	HALF-ROUND WINDOW
A003.5	EXISTING WINDOW CONDITION PHOTOS
A003.6	DIVIDED LIGHT/MUNTIN DETAILS
A004	BRICK DETAILS
A005	EXTENT OF NEW BELOW GRADE WATERPROOFING ON BUILDING 1236
A005.1	BELOW GRADE WATERPROOFING DETAILS
A006	1220-1226 SIDING INFORMATION
A007	1220-1226 WINDOW REPLACEMENT
A008	1236 CHIMNEY INFORMATION



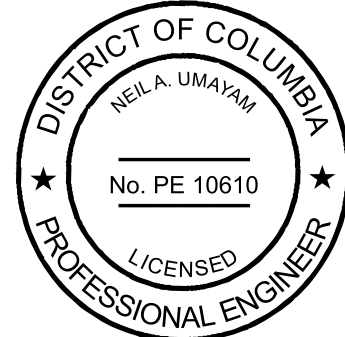
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



Neil A. Umayam

November 22, 2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #:	DRAWN BY:
16-114	MTC

DATE:	APPROVED BY:
02-01-2021	RMRJ

SCALE:	NOT TO SCALE
--------	--------------

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

COVER SHEET

SHEET NUMBER:

001

PROJECT INFORMATION/SCOPE OF WORK:

- I. PROJECT HISTORY:
HAMILTON COURTS IS A GROUPING OF SEVERAL BUILDINGS LOCATED AT 1220, 1222, 1226, 1228, 1228–1/2, 1230, 1234, 1236 (1220–1236) 31ST STREET NW, WASHINGTON, DC 20007. IT UNDERWENT A BUILDING ENVELOPE SURVEY IN AUGUST/SEPTEMBER OF 2015 DURING WHICH NUMEROUS AREAS OF WATER INFILTRATION WERE OBSERVED ENTERING THE BUILDINGS. THE SCOPE OF WORK IS LISTED UNDER ITEM II AND DOES NOT INTEND TO CHANGE THE GENERAL AESTHETIC APPEARANCE OF THE BUILDINGS. IT SHOULD BE NOTED THAT THE FIRE RESISTANCE OF THE NEW MATERIALS WILL NOT DIFFER FROM THOSE CURRENTLY EXISTING ON THE BUILDING. PHASE 1 WAS COMPLETED IN 2017–2018, PHASE 2 WAS COMPLETED IN 2018–2019, AND PHASE 3 WAS COMPLETED IN 2020–2021. THIS BUILDING PERMIT SHALL ONLY APPLY TO PHASE 4, LISTED UNDER ITEM II. NO EGRESS PATHS EXITING THE BUILDING SHALL BE BLOCKED AT ANYTIME DURING THIS PROJECT. PLEASE REFER TO THE ATTACHED PROJECT MANUAL DATED AUGUST 15, 2016 AND THE ADDENDA #1 DATED NOVEMBER 21, 2016, ADDENDA #2 DATED FEBRUARY 24, 2017, ADDENDA #3 DATED MARCH 13, 2017, AND ADDENDA #4 DATED MAY 3, 2017, FOR MORE DETAILED INFORMATION.
- II. SCOPE OF WORK:
- A. OBTAIN ALL NECESSARY PERMITS AND REGULATORY AGENCY (DCRA, FINE ARTS COMMISSION, ETC.) APPROVALS PRIOR TO STARTING ANY REQUIRED WORK.
- B. COORDINATING CLOSURE OF WORK, STAGING AND CRANE OPERATION AREAS WITH THE PROPERTY MANAGER’S ON–SITE REPRESENTATIVE.
- C. INSTALLING SAFETY PROTECTIVE PROVISIONS TO ISOLATE WORK AREAS AND PROTECT VEHICLES, PEDESTRIANS, TENANTS, SIDEWALK AREAS, ENTRANCES AND INTERIOR/EXTERIOR BUILDING COMPONENTS FROM THE WORK. THIS IS TO INCLUDE OVERHEAD PROTECTION (SCAFFOLDING) AT THE FRONT AND REAR ENTRANCE IF REQUIRED.
- D. PERFORMING AN INTERIOR CONDITION SURVEY OF TOP FLOOR UNITS AND EXTERIOR BUILDING COMPONENTS. PROVIDE WRITTEN DOCUMENTATION TO OWNER AND CONSULTANT FOR REVIEW PRIOR TO STARTING WORK. SURVEY SHEET SHALL INCLUDE DOCUMENTATION OF ANY EXISTING DAMAGED BUILDING COMPONENTS, MECHANICAL EQUIPMENT OR ANY OTHER CONCERNS THAT MAY AFFECT THE INTEGRITY OF THE WORK AND/OR BUILDING. ALL WORK MUST BE COORDINATED WITH THE PROPERTY MANAGER.
- E. PHASING SHALL BE PERFORMED IN THE FOLLOWING YEARS:
– PHASE 1 = 2017
– PHASE 2 = 2018–2019
– PHASE 3 = 2020–2021
– PHASE 4 = 2021
- F. PHASE 4 SHALL INCLUDE, BUT IS NOT LIMITED TO. THE FOLLOWING:
1. BUILDING 1220–1226
– METAL ROOF REHABILITATION
– SELECTIVE REPAIRS TO THE METAL ROOF, AT THE DIRECTION OF THE CONSULTANT.
– REPLACEMENT OF DAMAGED AND MISSING METAL SNOW GUARDS, PER ALLOWANCES.
– CLEAN, SCOUR, AND PAINT THE METAL ROOFS WITH TWO (2) COATS OF APPROVED DIRECT–TO–METAL (DTM) PAINT IN A COLOR SELECTED BY THE OWNER.
- FACADE REHABILITATION
– REMOVAL AND REPLACEMENT OF THE FOUR (4) WOOD JULIETTE BALCONIES/DOORS ON THE WEST ELEVATION OF BUILDING 1226. REPLACEMENT SHALL INCLUDE INSTALLATION OF A SELF–ADHERED WEATHER BARRIER (HENRY BLUESKIN) PERIMETER FLASHINGS AT EACH BALCONY. INSTALL NEW TRIM PIECES AS REQUIRED, PRIMED AND PAINTED TO MATCH EXISTING. THE EXISTING RAILINGS ARE TO BE SALVAGE, CLEANED, SCAURED, PRIMED, AND PAINTED WITH A RUST INHIBITING COATING PRIOR TO REINSTALLATION. THE JULIETTE BALCONY DOORS ARE TO BE REPLACED IN KIND AND MUST BE APPROVED BY THE OWNER AND DC FINE ARTS COMMISSION. BALCONY DOORS ARE TO BE PRIMED AND PAINTED IN TWO (2) COATS OF EXTERIOR GRADE PAINT IN AN OWNER APPROVED COLOR(S).
a. WINDOW, DOOR AND JULIETTE BALCONY DOOR MANUFACTURER – JELD WEN, MARVIN, OR APPROVED EQUAL
b. PRODUCT LINE – SITELINE WOOD AURALAST PINE, ULTIMATE WOOD, OR APPROVED EQUAL
c. FENESTRATIONS SHALL HAVE A MAXIMUM U–FACTOR OF 0.38 FOR FIXED FENESTRATIONS, AND 0.45 FOR OPERABLE FENESTRATIONS, AND A MAXIMUM SHGC OF 0.40.
- REMOVE AND REPLACE THE WOOD; DOUBLE HUNG, HALF ROUND, FIXED, AND CASEMENT WINDOWS ON THE EXTERIOR OF THIS BUILDING GROUP. REPLACEMENT IN KIND TO MATCH EXISTING MATERIALS AND DESIGN. REPLACEMENT WINDOWS ARE TO BE APPROVED BY THE OWNER AND THE DC FINE ARTS COMMISSION. REPLACEMENT WINDOWS TO BE PRIMED AND PAINTED IN TWO (2) COATS OF EXTERIOR GRADE PAINT IN AN OWNER APPROVED COLOR(S).
a. MANUFACTURER – JELD WEN, MARVIN, OR APPROVED EQUAL
b. PRODUCT LINE – SITELINE WOOD AURALAST PINE, ULTIMATE WOOD, OR APPROVED EQUAL
c. FENESTRATIONS SHALL HAVE A MAXIMUM U–FACTOR OF 0.38 FOR FIXED FENESTRATIONS, AND 0.45 FOR OPERABLE FENESTRATIONS, AND A MAXIMUM SHGC OF 0.40.
- SELECTIVE REMOVAL AND REPLACEMENT OF DETERIORATED SIDING ALONG THE NORTH, EAST, AND WEST ELEVATIONS OF THE BUILDING.
- REMOVE LOOSE AND PEELING PAINT FROM THE SIDING AND POWER WASH TO REMOVE CONTAMINANTS PRIOR TO APPLICATION OF TWO (2) COATS OF EXTERIOR GRADE PAINT. OWNER TO SELECT COLOR(S).
- REPLACEMENT OF BUILDING SEALANTS INCLUDING AROUND DOORS, WINDOWS, PENETRATIONS, DISSIMILAR MATERIALS, ETC.
- SELECTIVE TUCKPOINTING AND BRICK REPLACEMENT, AT THE DIRECTION OF THE CONSULTANT.
2. BUILDING 1228
– FACADE REHABILITATION
– SELECTIVE TUCKPOINTING AND BRICK REPLACEMENT, AT THE DIRECTION OF THE CONSULTANT.
– REMOVAL AND REPLACEMENT OF BUILDING SEALANTS
3. BUILDING 1234
– FACADE REHABILITATION
– SELECTIVE TUCKPOINTING AND BRICK REPLACEMENT, AT THE DIRECTION OF THE CONSULTANT.
– REMOVAL AND REPLACEMENT OF BUILDING SEALANTS.
– REMOVAL AND REPLACEMENT OF THE SEALANTS ON THE GROUND FLOOR GLASS SHED ROOF AND THE INSTALLATION OF THROUGHWALL FLASHING ABOVE THE SHED ROOF INTERSECTION(S) WITH THE BRICK FACADE.
– REMOVE AND REINSTALL/REPLACE EXISTING CHAIN LINK FENCING, AS REQUIRED, FOR ACCESS.
- METAL ROOF REHABILITATION
– REPLACE DAMAGED SNOW GUARDS AT THE DIRECTION OF THE CONSULTANT.
– CLEAN, SCOUR, AND PAINT THE METAL ROOFS WITH TWO (2) COATS OF APPROVED DIRECT–TO–METAL PAINT IN A COLOR SELECTED BY THE OWNER.
- METAL ROOF–RELATED MASONRY
– SELECTIVE TUCKPOINTING AND BRICK REPLACEMENT ON TUCKPOINTING ABOVE ROOFLINE, AT THE DIRECTION OF THE CONSULTANT.
– APPLICATION OF CLEAR PENETRATING SEALER ON BRICK MASONRY ABOVE METAL ROOF (CHIMNEYS, SIDEWALLS, ETC.).
– REPLACEMENT OF BUILDING SEALANTS.
4. BUILDING 1236
– FACADE REHABILITATION
– SELECTIVE TUCKPOINTING AND MASONRY REPLACEMENT, AT THE DIRECTION OF THE CONSULTANT.
– FACADE SEALANT REPLACEMENT.
– REMOVAL OF EXISTING LOOSE AND PEELING PAINT, PRESSURE WASHING, PRIMING, AND APPLICATION OF TWO COATS OF PAINT TO THE BRICK, WINDOWS, DOORS, TRIM, ETC. COLOR(S) TO BE APPROVED BY THE OWNER.
a. MASONRY PAINT – BASF MASTERPROTECT 400
b. TRIM/WINDOWS/DOOR PAINT – SHERWIN WILLIAMS RESILIENCE.
- BASEMENT WATERPROOFING REHABILITATION
– ON EAST AND NORTH ELEVATIONS OF THE BUILDING, REMOVE AND REPLACE THE SIDEWALKS, STAIRS, RETAINING WALLS, ETC. TO REHABILITATE THE BELOW GRADE WATERPROOFING. REMOVAL OF EXISTING DAMPPROOFING BY SANDBLASTING AND THE APPLICATION OF A HYDRAULIC CEMENT PARGING COAT TO CREATE A CONTINUOUS SURFACE.
– APPLICATION OF AQUAFIN 1K AND 2K/M IN OWNER SELECTED COLOR(S).
– RESTORATION OF EXISTING SIDEWALK, STAIRS, ETC. TO MATCH EXISTING CONDITIONS.
– EXTENT OF WORK AREAS SHALL BE THE OUTSIDE CORNER AT SOUTHEAST CORNER OF THE BUILDING TO THE STAIRS/CHIMNEY ON THE NORTH ELEVATION OF THE BUILDING.
– AQUAFIN SHALL BE APPLIED FROM THE FOOTER UP TO THE TERMINATION OF THE EXISTING PARGING AND TRANSITION TO BRICK (SEVERAL FEET ABOVE THE LEVEL OF THE SIDEWALK).
– INSTALL REGLET–MOUNTED COUNTERFLASHING TO COVER THE TERMINATION OF THE MEMBRANE.

- ROOF REPAIRS
– REPLACE MODIFIED BITUMEN FLASHINGS AT CHIMNEY WITH NEW AND INSTALLATION OF NEW REGLET–MOUNTED COUNTERFLASHING.
– REPAIR MODIFIED BITUMEN AT THE FIRE ESCAPE SECUREMENT POINTS. FLASH THE RAILINGS AND SUPPORTS INTO THE MODIFIED BITUMEN WITH SIPLAST PARAPRO AND THE ASSOCIATED PRIMERS AND REINFORCING FABRIC.
- ROOF–RELATED MASONRY
– REBUILD THE TWO (2) ROTATED CHIMNEYS ON THE SOUTH ELEVATION OF THE BUILDING.
– PRIME AND PAINT MASONRY ABOVE ROOFLINE TO MATCH FACADE COLOR. MASONRY PAINT–BASF MASTERPROTECT 400.
- III. LIFE SAFETY AND CODE ANALYSIS:
- A. BUILDING 1236
1. USE GROUP: R2 (RESIDENTIAL)
2. TYPE OF CONSTRUCTION: VB
3. FULLY SPRINKLERED: NO
4. NUMBER OF STORIES: 3 ABOVE GRADE, 1 BELOW GRADE
5. FIRE RATED ASSEMBLY: (PER IBC TABLE 601 & 602)
– STRUCTURAL FRAMING: 0 HOURS REQUIRED, EXISTING TO REMAIN
– EXTERIOR BEARING WALLS: 0 HOURS REQUIRED, EXISTING TO REMAIN
– INTERIOR BEARING WALLS: 0 HOURS REQUIRED, EXISTING TO REMAIN
– NON BEARING PARTITIONS (INTERIORS): 0 HOURS REQUIRED, EXISTING TO REMAIN
– FLOOR/CEILING CONSTRUCTION: 0 HOURS REQUIRED, EXISTING TO REMAIN
– ROOF/CEILING CONSTRUCTION: 0 HOURS REQUIRED, EXISTING TO REMAIN
6. BUILDING LOCATED IN A HISTORIC DISTRICT WITHIN THE DISTRICT OF COLUMBIA
7. APPLICABLE BUILDING CODES:
– 2015 INTERNATIONAL BUILDING CODE
– 2017 DISTRICT OF COLUMBIA BUILDING CODE
– 2017 DISTRICT OF COLUMBIA EXISTING BUILDING CODE
– 2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE
8. BUILDING SQUARE FEET WILL NOT CHANGE
- B. BUILDING 1234
1. USE GROUP: B (BUSINESS)
2. TYPE OF CONSTRUCTION: IIIB
3. FULLY SPRINKLERED: NO
4. NUMBER OF STORIES: 3
5. FIRE RATED ASSEMBLY: (PER IBC TABLE 601 & 602)
– STRUCTURAL FRAMING: 0 HOURS REQUIRED, EXISTING TO REMAIN
– EXTERIOR BEARING WALLS: 2 HOURS REQUIRED, EXISTING TO REMAIN
– INTERIOR BEARING WALLS: 0 HOURS REQUIRED, EXISTING TO REMAIN
– NON BEARING PARTITIONS (INTERIORS): 0 HOURS REQUIRED, EXISTING TO REMAIN
– FLOOR/CEILING CONSTRUCTION: 0 HOURS REQUIRED, EXISTING TO REMAIN
– ROOF/CEILING CONSTRUCTION: 0 HOURS REQUIRED, EXISTING TO REMAIN
6. BUILDING LOCATED IN A HISTORIC DISTRICT WITHIN THE DISTRICT OF COLUMBIA
7. APPLICABLE BUILDING CODES:
– 2015 INTERNATIONAL BUILDING CODE
– 2017 DISTRICT OF COLUMBIA BUILDING CODE
– 2017 DISTRICT OF COLUMBIA EXISTING BUILDING CODE
– 2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE
8. BUILDING SQUARE FEET WILL NOT CHANGE
- C. BUILDING 1228
1. USE GROUP: B (BUSINESS) AND R2 (RESIDENTIAL)
2. TYPE OF CONSTRUCTION: IIIB
3. FULLY SPRINKLERED: NO
4. NUMBER OF STORIES: 3
5. FIRE RATED ASSEMBLY: (PER IBC TABLE 601 & 602)
– STRUCTURAL FRAMING: 0 HOURS REQUIRED, EXISTING TO REMAIN
– EXTERIOR BEARING WALLS: 2 HOURS REQUIRED, EXISTING TO REMAIN
– INTERIOR BEARING WALLS: 0 HOURS REQUIRED, EXISTING TO REMAIN
– NON BEARING PARTITIONS (INTERIORS): 0 HOURS REQUIRED, EXISTING TO REMAIN
– FLOOR/CEILING CONSTRUCTION: 0 HOURS REQUIRED, EXISTING TO REMAIN
– ROOF/CEILING CONSTRUCTION: 0 HOURS REQUIRED, EXISTING TO REMAIN
6. BUILDING LOCATED IN A HISTORIC DISTRICT WITHIN THE DISTRICT OF COLUMBIA
7. APPLICABLE BUILDING CODES:
– 2015 INTERNATIONAL BUILDING CODE
– 2017 DISTRICT OF COLUMBIA BUILDING CODE
– 2017 DISTRICT OF COLUMBIA EXISTING BUILDING CODE
– 2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE
8. BUILDING SQUARE FEET WILL NOT CHANGE
- D. BUILDING 1220–1226
1. USE GROUP: B (BUSINESS)
2. TYPE OF CONSTRUCTION: VB
3. FULLY SPRINKLERED: NO
4. NUMBER OF STORIES: 3
5. FIRE RATED ASSEMBLY: (PER IBC TABLE 601 & 602)
– STRUCTURAL FRAMING: 0 HOURS REQUIRED, EXISTING TO REMAIN
– EXTERIOR BEARING WALLS: 0 HOURS REQUIRED, EXISTING TO REMAIN
– INTERIOR BEARING WALLS: 0 HOURS REQUIRED, EXISTING TO REMAIN
– NON BEARING PARTITIONS (INTERIORS): 0 HOURS REQUIRED, EXISTING TO REMAIN
– FLOOR/CEILING CONSTRUCTION: 0 HOURS REQUIRED, EXISTING TO REMAIN
– ROOF/CEILING CONSTRUCTION: 0 HOURS REQUIRED, EXISTING TO REMAIN
6. BUILDING LOCATED IN A HISTORIC DISTRICT WITHIN THE DISTRICT OF COLUMBIA
7. APPLICABLE BUILDING CODES:
– 2015 INTERNATIONAL BUILDING CODE
– 2017 DISTRICT OF COLUMBIA BUILDING CODE
– 2017 DISTRICT OF COLUMBIA EXISTING BUILDING CODE
– 2017 DISTRICT OF COLUMBIA ENERGY CONSERVATION CODE
8. BUILDING SQUARE FEET WILL NOT CHANGE



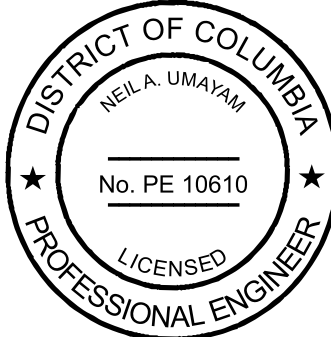
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703–917–0055
FAX: 703–917–0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



Neil A. Umahara

11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220–1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:
16–114 MTC

DATE: 02–01–2021
APPROVED BY: RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:
**PROJECT
INFORMATION/
SCOPE OF
WORK/CODE
ANALYSIS**

SHEET NUMBER:

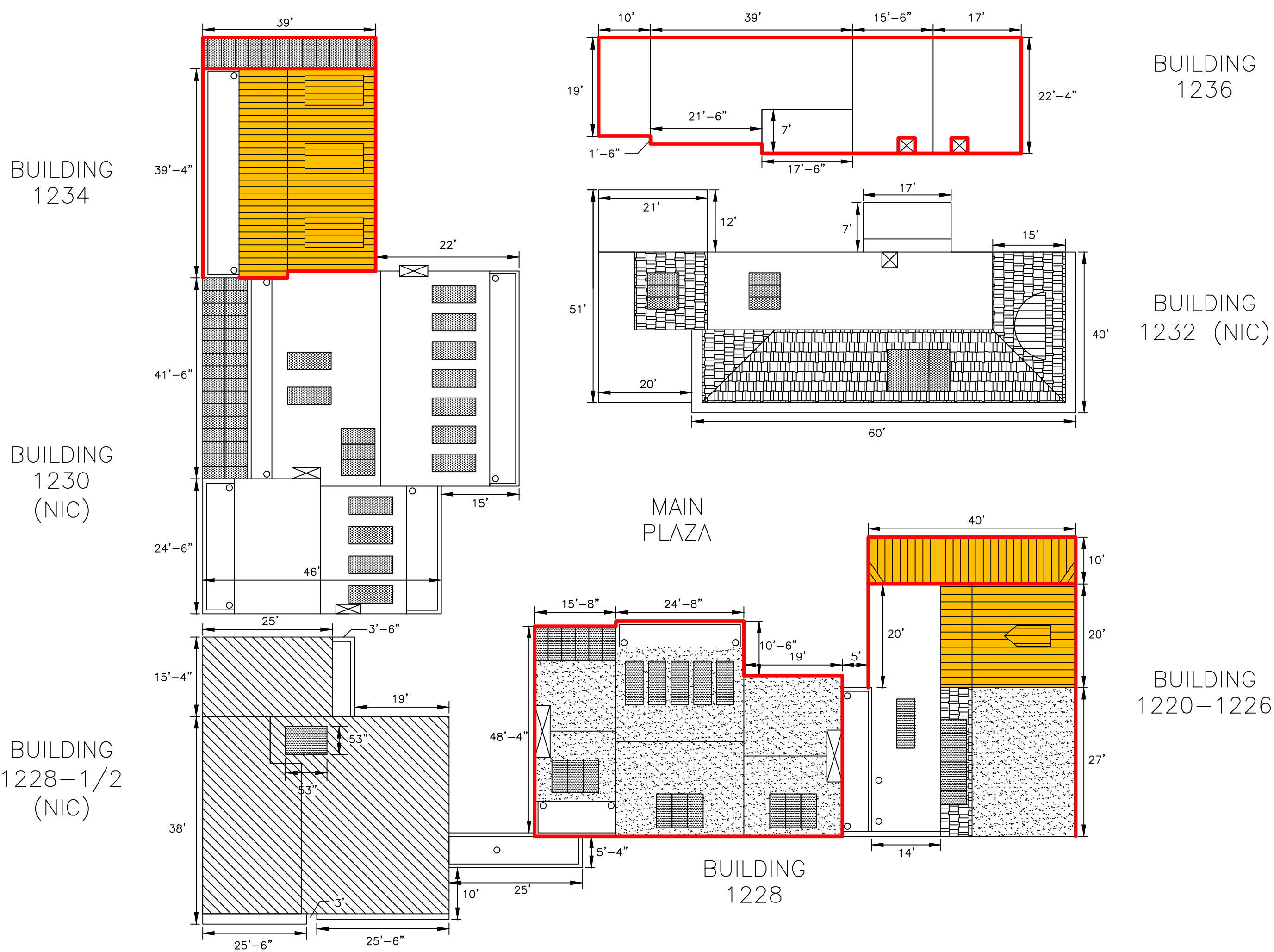
002

NOTES:
1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.
2. VICINITY PLAN AS DEPICTED BELOW IS FROM GOOGLE MAPS®.
3. LABELED BUILDINGS INCLUDED IN PHASE 4.



1 VICINITY PLAN — PHASE 4
003 SCALE: N.T.S.

NOTES:
1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.
2. HIGHLIGHTED SECTIONS REFER TO WORK TO BE PERFORMED IN PHASE 4.
3. NIC REFERS TO BUILDINGS TO BUILDINGS THAT ARE A PART OF HAMILTON COURT BUT NOT IN CONTRACT TO RECEIVE WORK DURING PHASE 4.



2 SITE PLAN — PHASE 4
003 SCALE: N.T.S.



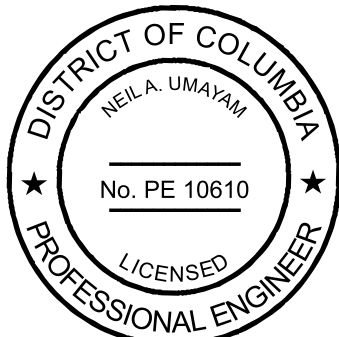
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



Neil A. Umayah

11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:
16-114 MTC

DATE: 02-01-2021
APPROVED BY: RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

VICINITY AND
SITE PLANS -
PHASE 4

SHEET NUMBER:

003

NOTE:
CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

1 BUILDING 1236 RECENT PHOTOGRAPHS
004 SCALE: N.T.S.

NOTE:
CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

3 BUILDING 1228 RECENT PHOTOGRAPHS
004 SCALE: N.T.S.

NOTE:
CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

2 BUILDING 1234 RECENT PHOTOGRAPHS
004 SCALE: N.T.S.

NOTE:
CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

4 BUILDING 1220-1226 RECENT PHOTOGRAPHS
004 SCALE: N.T.S.



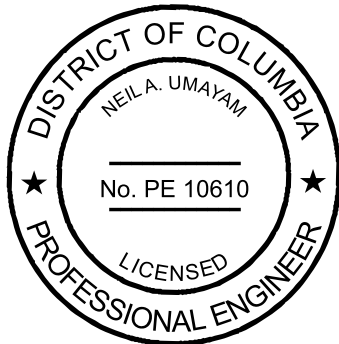
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:
16-114 MTC



DATE: 02-01-2021 APPROVED BY:
RMRJ


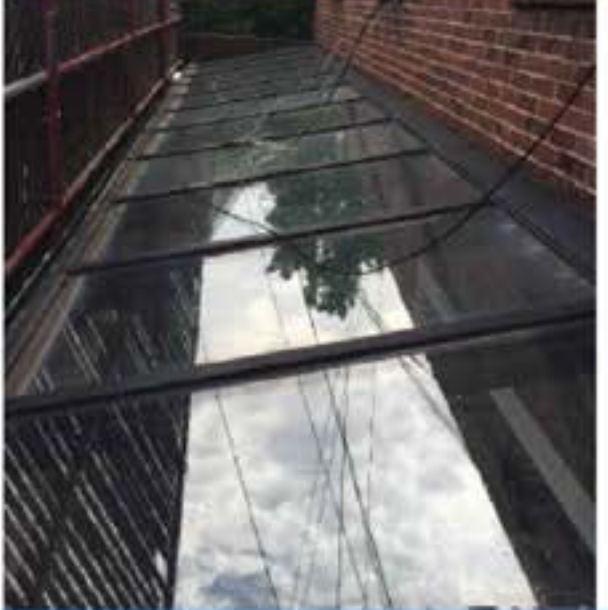

SCALE:
NOT TO SCALE




REVISIONS:	
DATE	DESCRIPTION




DRAWING TITLE:
BUILDINGS 1230,
1234, 1228,
1220-1226
RECENT
PHOTOGRAPHS

SHEET NUMBER:
004

#	Description	Current Condition/Materials	Recent Existing Condition Photo	Overview of Proposed Scope of Work
1	Building 1236: Facades	<ul style="list-style-type: none">The majority of exterior walls consists of painted brick masonry.The paint is delaminating and there are cracked brick and deteriorated mortar joints.Sealants (i.e., caulking around windows/doors) are failing in cohesion.The paint is flaking on the windows, doors, and trim.		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Selective tuckpointing and brick replacement on an allowance basis. Once the contractor accesses the facades, the deteriorated mortar joints and brick will be marked for replacement by the Engineer of Record. The new mortar shall be Type N Portland Cement and Lime. Please see details on A004.Facade sealant replacement. The new sealant shall match the existing color but be silicone based (i.e., Dow Corning 795).Repainting brick with BASF MasterProtect 400 coating in owner approved color to match existing.Repainting the windows, doors, and trim with Sherwin Williams Resilience in owner approved colors.
2	Building 1236: Below Grade Waterproofing	<ul style="list-style-type: none">Waterproofing has failed on the north and east elevations of the structure at the basement level. This is allowing for water infiltration into the basement unit.		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Extent of work areas shall be the outside corner at southeast corner of the building to the stairs/chimney on the north elevation of the building (See Sheet A005 for more info).On east and north elevations of the building, remove and replace the brick pavers, concrete slabs, retaining walls, etc. to rehabilitate the below grade waterproofing.Removal of existing damp-proofing by sandblasting and the application of a hydraulic cement parging coat to create a continuous surface. Application of Aquafin 1k and 2k/m in owner selected color(s). Aquafin shall be applied from the footer up to the termination of the existing parging.Restoration of existing concrete, pavers, etc. to match existing conditions.

#	Description	Current Condition/Materials	Recent Existing Condition Photo	Overview of Proposed Scope of Work
6	Building 1234: Facades	<ul style="list-style-type: none">Exterior facades consist of unpainted brick masonry.There are select deteriorated mortar joints and cracked brick.Sealants (i.e., caulking around windows/doors) are failing in cohesion.-		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Selective tuckpointing and brick replacement on an allowance basis. Once the contractor accesses the facades, the deteriorated mortar joints and brick will be marked for replacement by the Engineer of Record. The new mortar shall be Type N Portland Cement/Lime/Sand. Please see details on A004.Facade sealant/caulking replacement. The new sealant shall match the existing color but be silicone based (i.e., Dow Corning 795).
7	Building 1234: Glass Shed Roof	<ul style="list-style-type: none">Existing glass panel shed roof located on the north elevation of the building on the ground floor.Gaskets/wet glazing are at the end of their service life.Wall flashings missing at headwall above the glass shed roof.		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Wet glazing to be performed on glass shed roof.Throughwall flashing is to be installed at the headwall above the shed roof at the intersection with the brick facade (See Detail 3 on A002).
8	Building 1234: Metal Roof	<ul style="list-style-type: none">Existing standing seam metal roof is in satisfactory condition, but the paint is peeling.There are missing snow guards.		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Replace missing snow guards.Prepare and re-paint the metal roof in the color "gray" to match existing.

#	Description	Current Condition/Materials	Recent Existing Condition Photo	Overview of Proposed Scope of Work
3	Building 1236: Flat Roofs	<ul style="list-style-type: none">Existing modified bitumen roof is in serviceable condition, but the flashings at the chimney and fire escape securement points are deteriorated.		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Replace flashings for the fire escape securement points and around the chimney.
4	Building 1236: Chimneys	<ul style="list-style-type: none">The two chimneys on the south elevation are rotating above the roofline. See sheet A008 for more photos/information.		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Rebuild the masonry on the two chimneys above the intersection with the roof membrane. Existing masonry shall be salvaged for reinstallation with new mortar (Type N Portland Cement/Lime/Sand) please see sheet A008 for more information.Paint with BASF MasterProtect 400 coating in owner approved color to match brick facade below.
5	Building 1228: Facades	<ul style="list-style-type: none">Exterior facades consist of unpainted brick masonry.There are select deteriorated mortar joints and cracked brick.Sealants (i.e., caulking around windows/doors) are failing in cohesion.		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Selective tuckpointing and brick replacement on an allowance basis. Once the contractor accesses the facades, the deteriorated mortar joints and brick will be marked for replacement by the Engineer of Record. The new mortar shall be Type N Portland Cement/Lime/Sand. Please see details on A004.Facade sealant/caulking replacement. The new sealant shall match the existing color but be silicone based (i.e., Dow Corning 795).

#	Description	Current Condition/Materials	Recent Existing Condition Photo	Overview of Proposed Scope of Work
9	Building 1220-1226: Windows and Balcony Doors	<ul style="list-style-type: none">The existing wood windows (operable and inoperable) and Juliette balcony doors in a deteriorated and rotted condition (See A007 for more photographs)Sealants (i.e., caulking around windows/doors) are failing in cohesion.		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Replace wood windows and Juliette balcony doors with new units from Marvin's Ultimate Wood product line (or approved equal), new units to be primed from manufacturer and receive two (2) coats of paint onsite to match existing colors. New windows/doors shall match profile and appearance of existing window units. Please see Sheet A003 and A003.1 for more information.New perimeter sealants (i.e., caulking) will be installed in conjunction with the window/Juliette balcony door replacements.
10	Building 1220-1226: Metal Roof	<ul style="list-style-type: none">Existing standing seam metal roof is in serviceable condition, but the paint is peeling.There are missing snow guards.		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Replace missing snow guards.Selective repairs to the metal roof.Prepare and re-paint the metal roof in the color "gray" to match existing.
11	Building 1220-1226: Facades	<ul style="list-style-type: none">The facades consist of a combination of brick and wood siding.Sealants (i.e., caulking around windows/doors) are failing in cohesion.The brick has deteriorated mortar joints and cracked brick.The existing painted southern-pine siding (which is a drop channel style) has peeling paint and some limited rotted pieces.		<p><u>Aesthetic appearance from the Exterior will not change</u></p> <ul style="list-style-type: none">Selective tuckpointing and brick replacement on an allowance basis. Once the contractor accesses the facades, the deteriorated mortar joints and brick will be marked for replacement by the Engineer of Record. The new mortar shall be Type N Portland Cement/Lime/Sand. Please see details on A004.Facade sealant/caulking replacement. The new sealant shall match the existing color but be silicone based (i.e., Dow Corning 795).Selective siding replacement on an allowance basis. Once the contractor accesses the facades, the deteriorated siding will be marked for replacement by the Engineer of Records. The new siding is to match existing materials in composition, size, dimensions, and appearance. Please see A006 for existing and proposed siding.Repaint the siding and trim with Sherwin Williams Resilience paint in owner approved colors, to match existing.



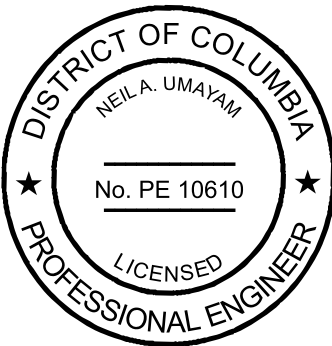
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



Neil A. Umayam
11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:
16-114 MTC

DATE: 02-01-2021 APPROVED BY: RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	DATE	DESCRIPTION

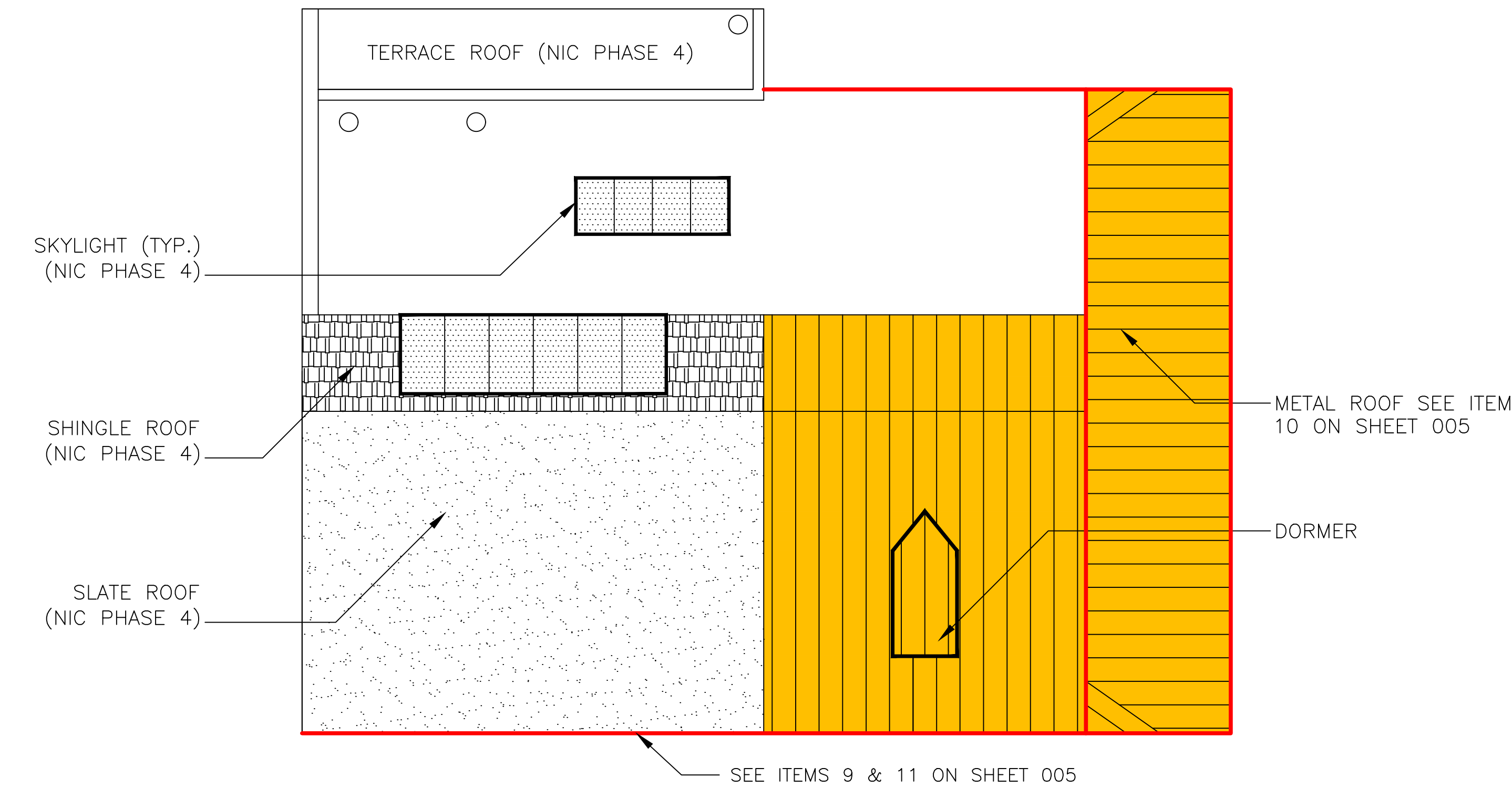
DRAWING TITLE:

PHASE 4
BUILDING ITEM
INVENTORY

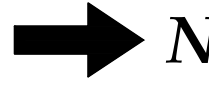
SHEET NUMBER:

005

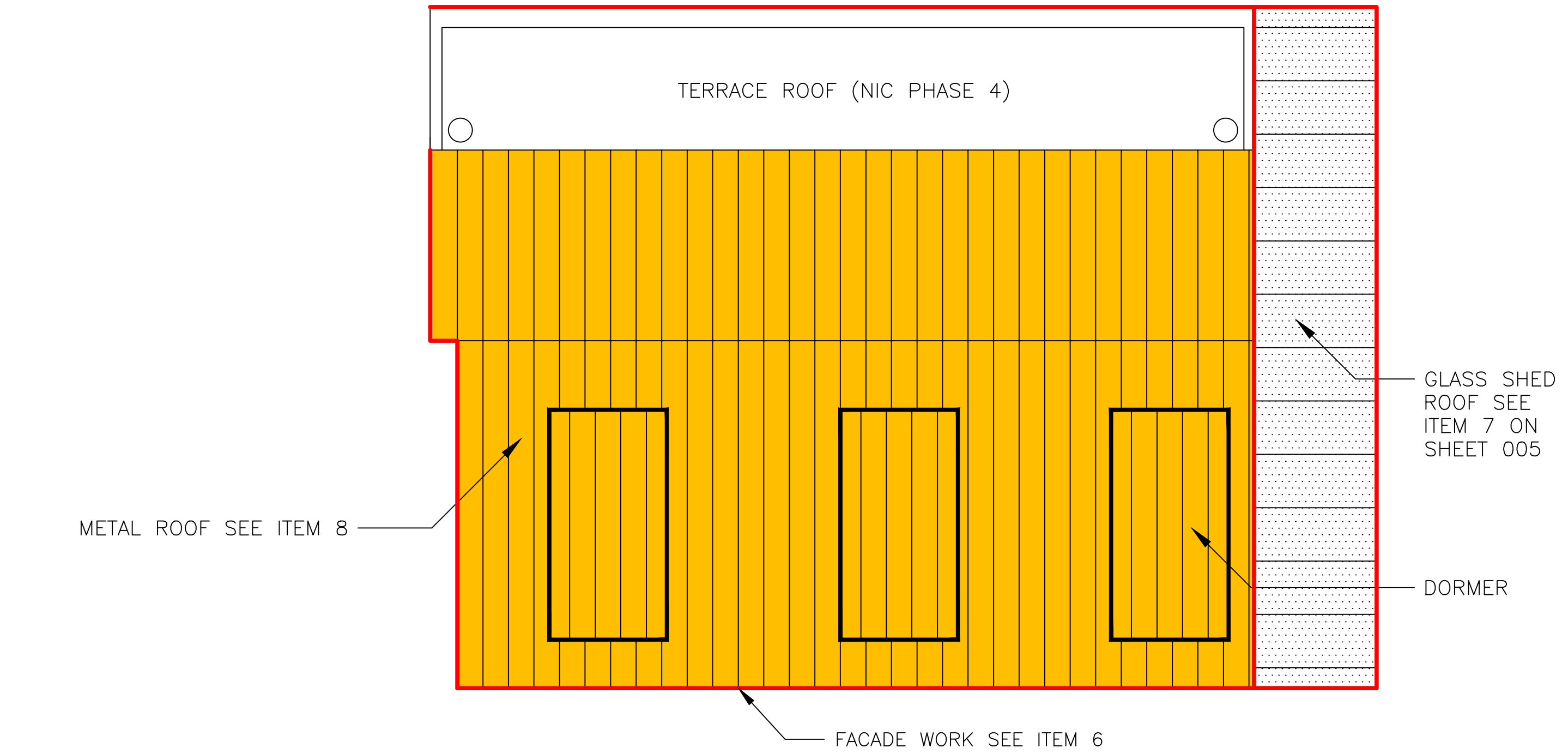
- NOTES:
- 1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.
 - 2. RED HIGHLIGHTED SECTION REFER TO FACADE WORK.
 - 3. ORANGE HIGHLIGHTED SECTION REFER TO ROOF REHABILITATION.
 - 4. BUILDING ITEM INVENTORY (BII) IS LOCATED ON SHEET 005A-005C.



1 BUILDING 1220-1226 EXISTING AND PROPOSED ROOF PLAN WITH CALLOUTS
SCALE: N.T.S.



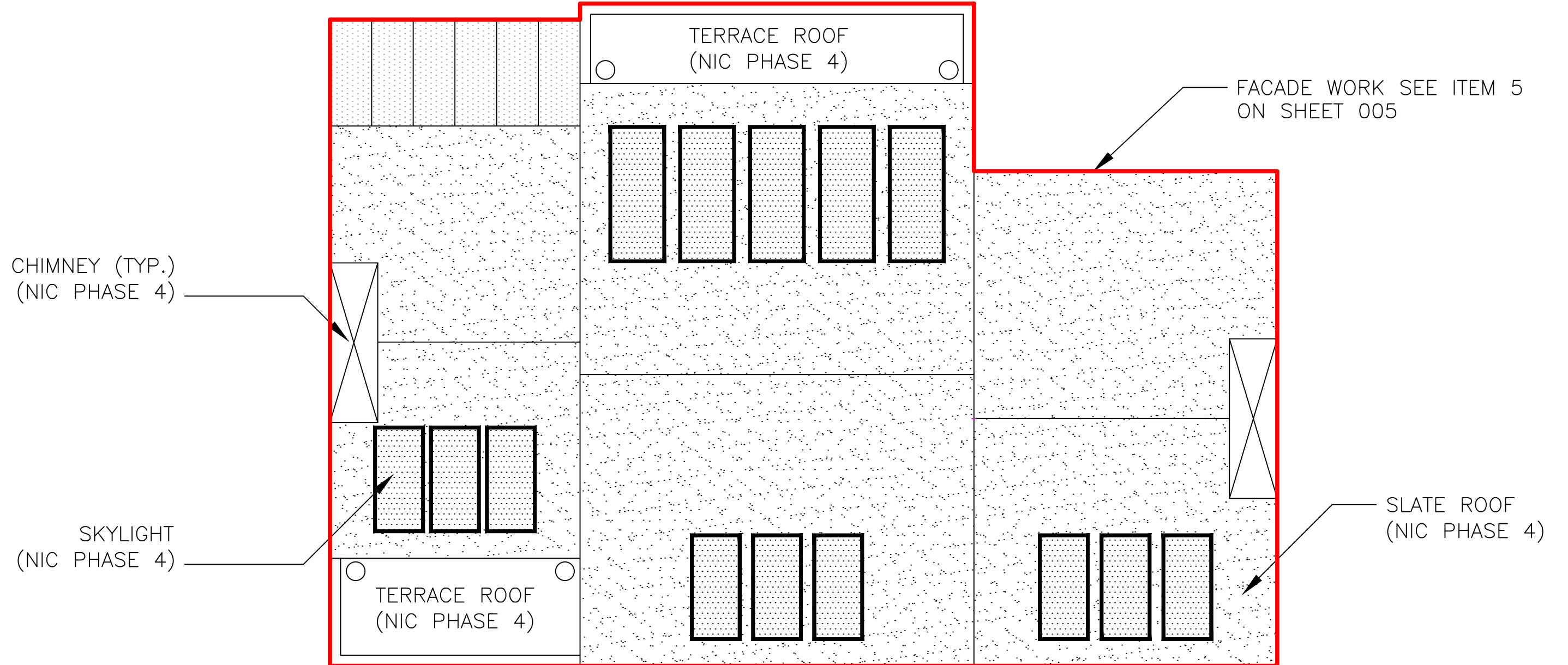
- NOTES:
- 1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.
 - 2. REFER TO ATTACHED BUILDING ITEM INVENTORY (BII) SEE SHEET 005.
 - 3. RED HIGHLIGHTED SECTION REFER TO FACADE WORK.
 - 4. ORANGE AREA REFERS TO ROOF REHABILITATION.



3 BUILDING 1234 EXISTING AND PROPOSED ROOF PLAN WITH CALLOUTS
SCALE: N.T.S.



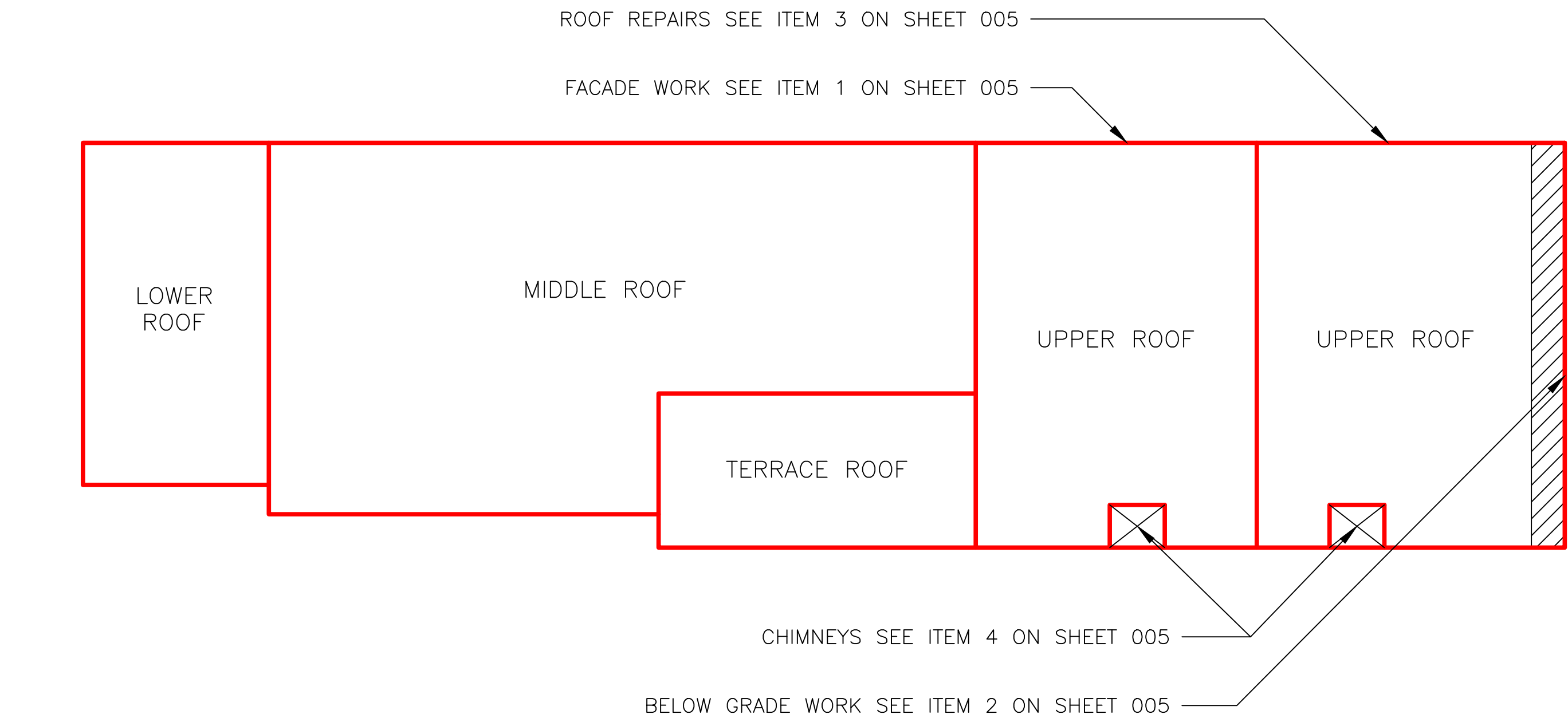
- NOTES:
- 1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.
 - 2. RED HIGHLIGHTED SECTION REFER TO FACADE WORK.
 - 3. REFER TO ATTACHED BUILDING ITEM INVENTORY (BII) SEE SHEET 005.



2 BUILDING 1228 EXISTING AND PROPOSED ROOF PLAN WITH CALLOUTS
SCALE: N.T.S.



- NOTES:
- 1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.
 - 2. REFER TO ATTACHED BUILDING ITEM INVENTORY (BII) FOR DESCRIPTION/PHOTOGRAPHS (SEE SHEET 005).
 - 3. RED HIGHLIGHTED AREAS REFER TO FACADE WORK.



4 BUILDING 1236 EXISTING AND PROPOSED ROOF PLAN WITH CALLOUTS
SCALE: N.T.S.



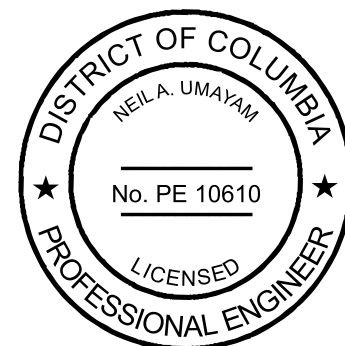
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:
16-114 MTC

DATE: 02-01-2021 APPROVED BY: RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

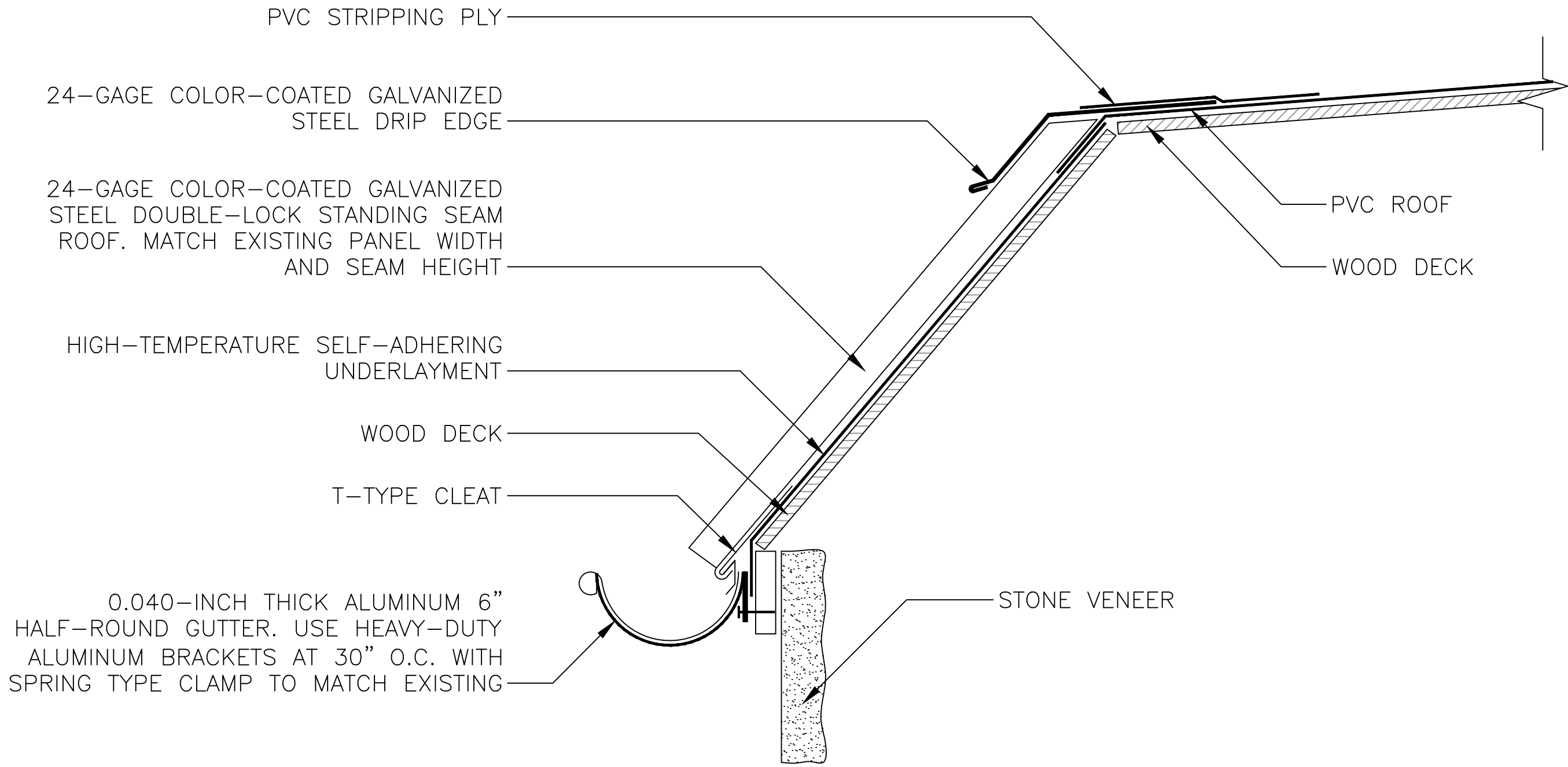
DRAWING TITLE:

EXISTING &
PROPOSED ROOF
PLANS WITH
CALLOUTS

SHEET NUMBER:

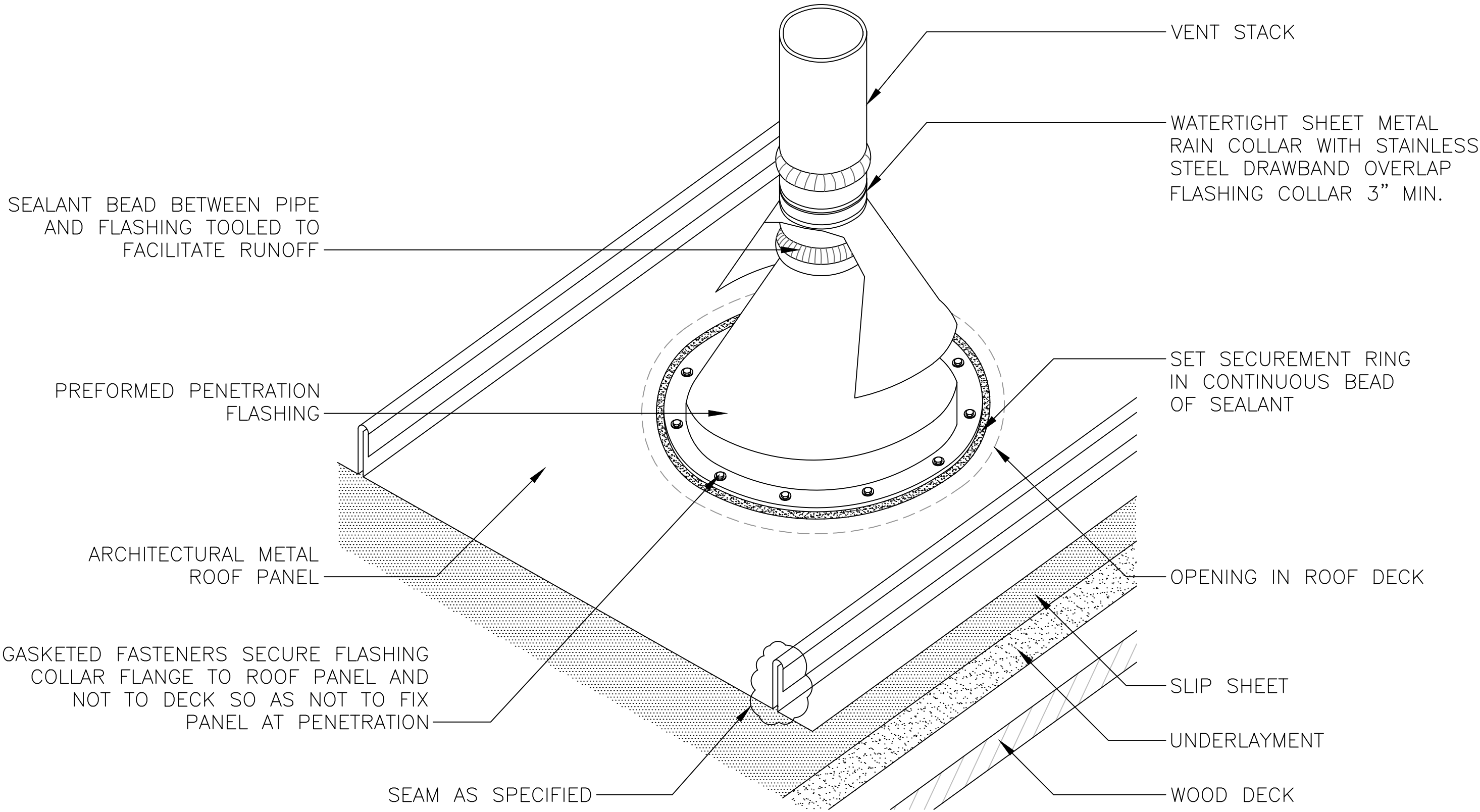
A001

- NOTES:
1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.
 2. MATCH EXISTING DOWNSPOUT DIMENSIONS AND MATERIAL.
 3. TWO CLIPS MINIMUM PER PANEL.
 4. THREE FASTENERS MINIMUM AT TOP OF PANELS.



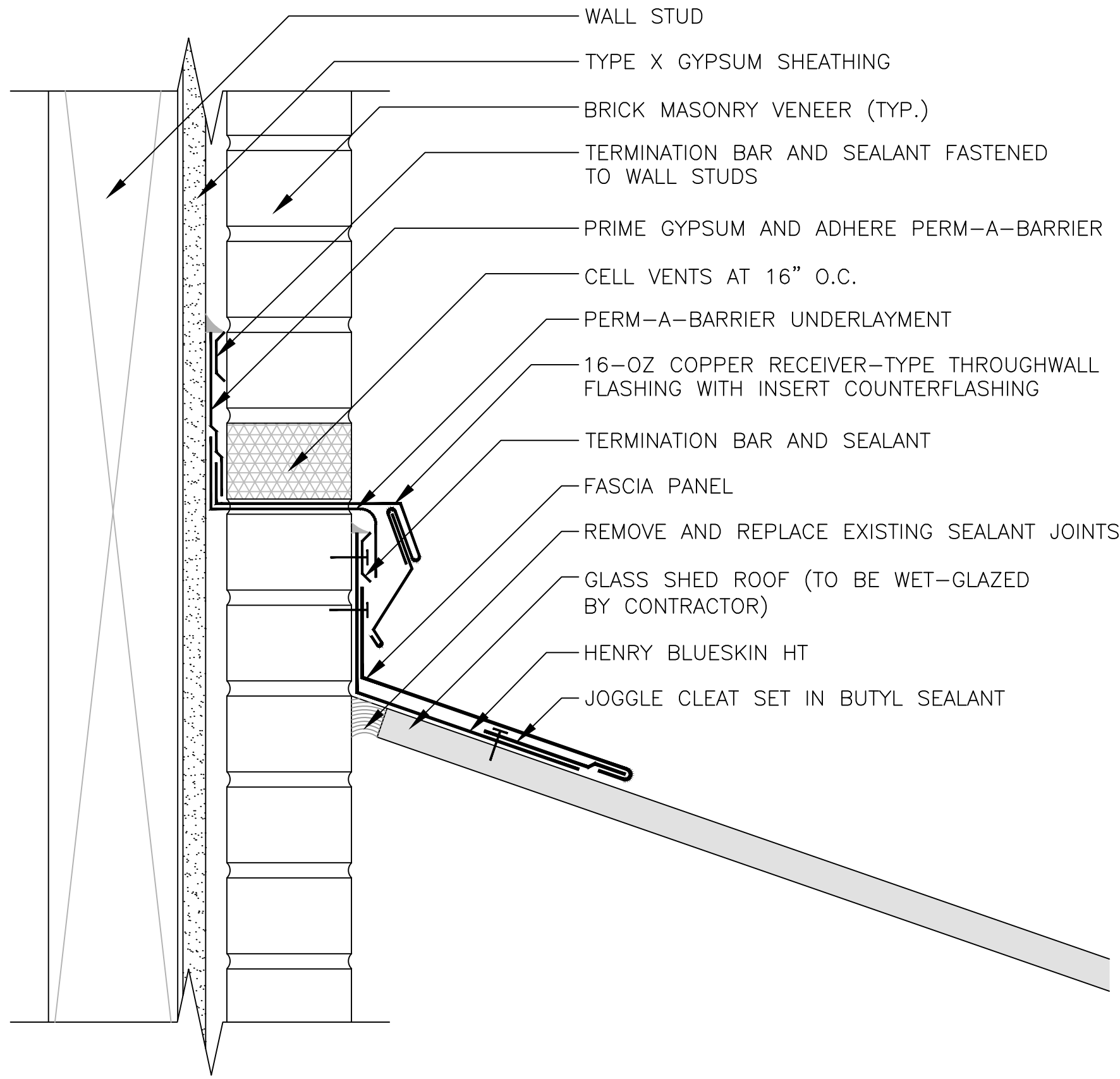
1 METAL MANSARD CROSS SECTION
A002 SCALE: N.T.S.

- NOTE:
- CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.



2 VENT STACK FLASHING
A002 SCALE: N.T.S.

- NOTES:
1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.
 2. FULLY PRIME SURFACES RECEIVING BITUMINOUS MEMBRANES.
 3. FULLY SOLDER ALL JOINTS, CORNERS, END DAMS, ETC.
 4. SUBMIT A MORTAR COLOR CHART AND REPLACEMENT BRICK SAMPLES.



3 BRICK MASONRY THROUGHWALL FLASHING
A002 SCALE: N.T.S.



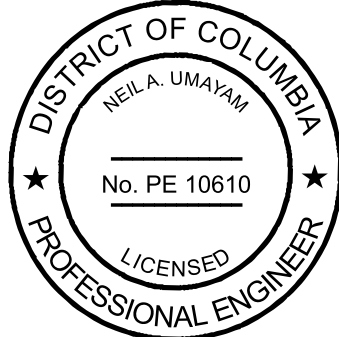
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



Neil A. Umayam

11-18-21

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT # 16-114
DRAWN BY: MTC

DATE: 02-01-2021
APPROVED BY: RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

DETAILS

SHEET NUMBER:

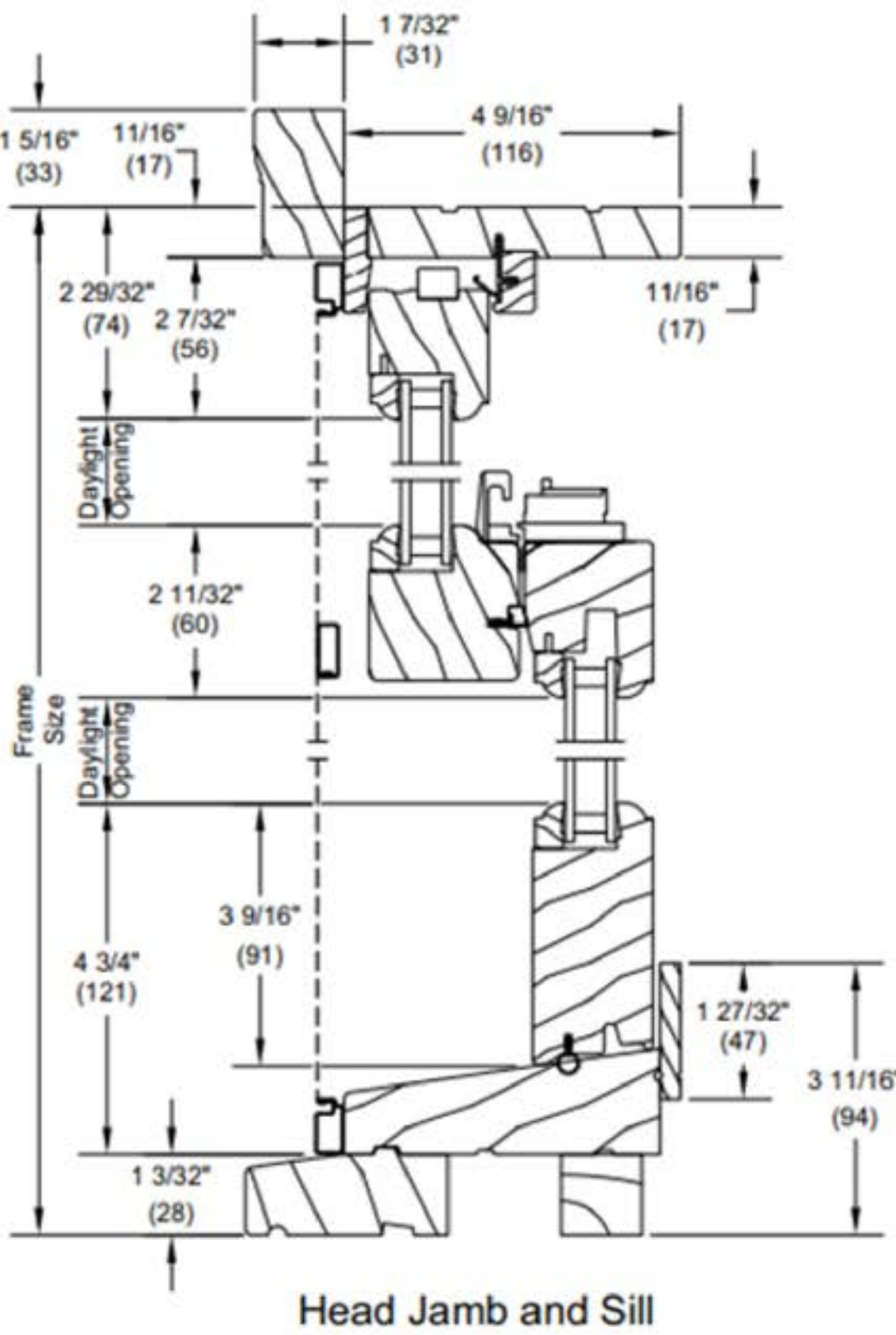
A002



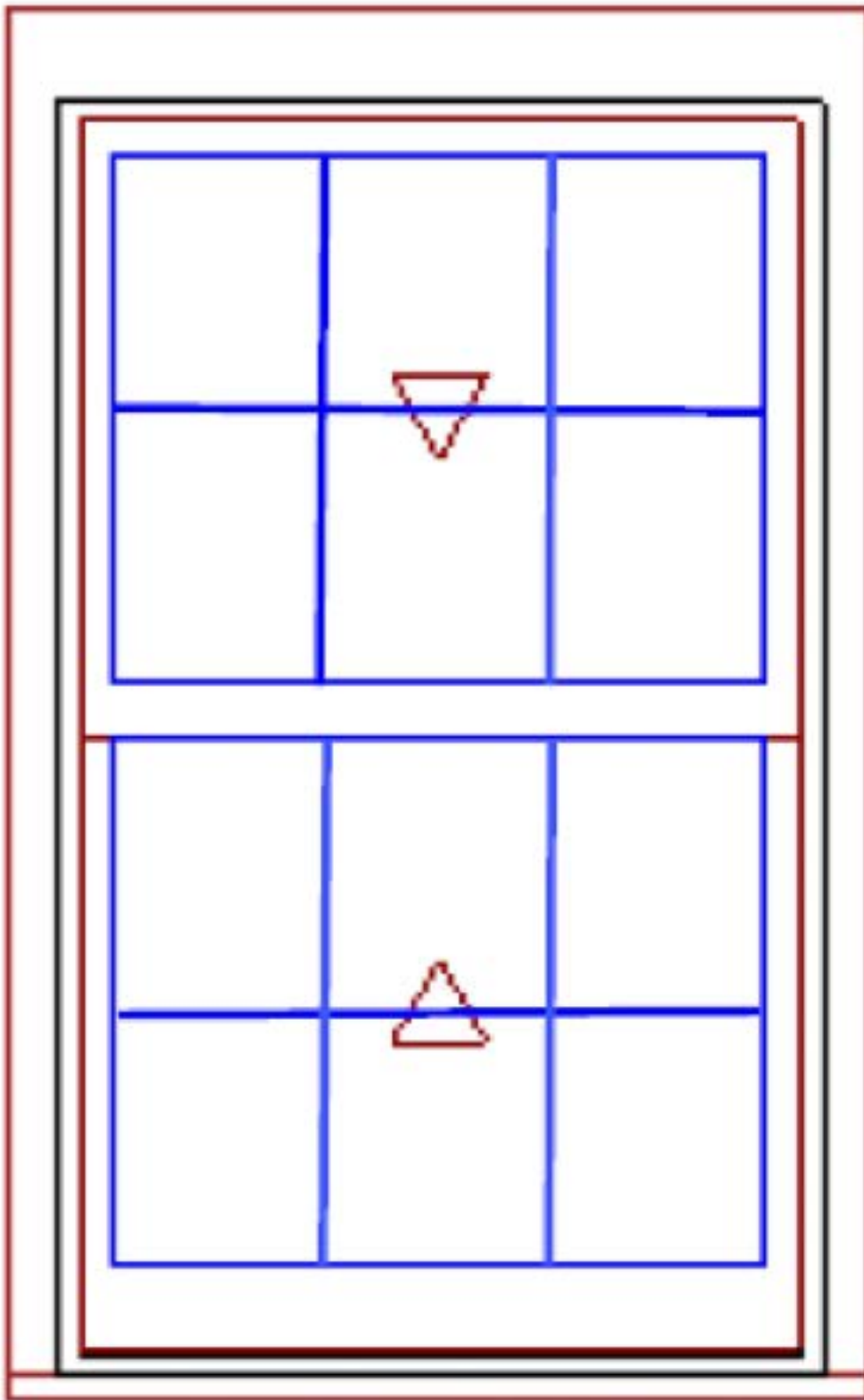
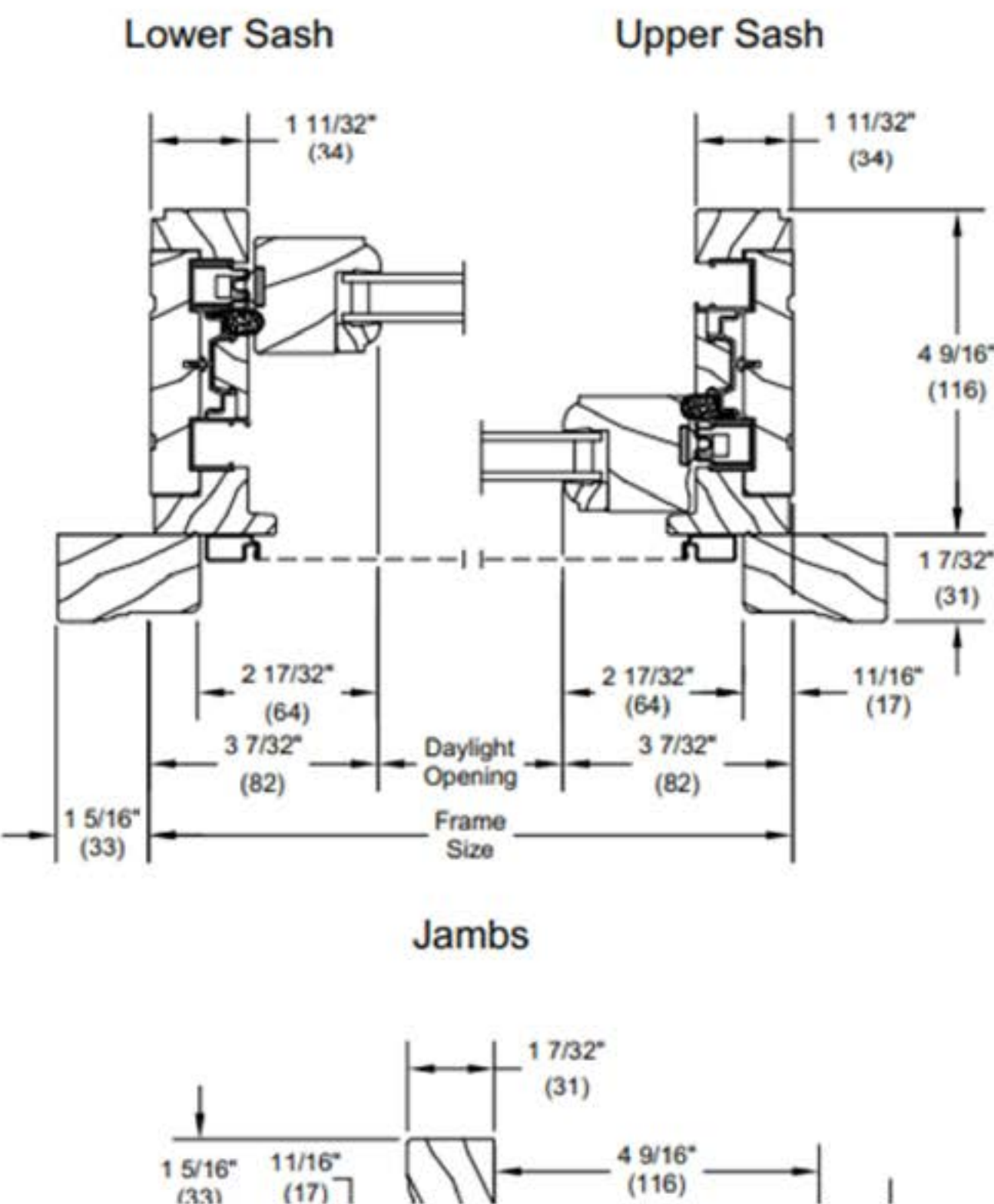
Ultimate Wood Double Hung

Section Details: Operating

Scale: 3" = 1' 0"



Double Hung



As Viewed From The Exterior

- Primed Pine Exterior
- Primed Pine Interior
- Ultimate Wood Double Hung
- Top Sash
 - Primed Pine Sash Exterior
 - Primed Pine Sash Interior
 - IG - Authentic Divided Lite
 - Low E2 w/Argon
 - Black Perimeter Bar
 - Ovolo Exterior Glazing Profile
 - Ovolo Interior Glazing Profile
- Bottom Sash
 - Primed Pine Sash Exterior
 - Primed Pine Sash Interior
 - IG - Authentic Divided Lite
 - Low E2 w/Argon
 - Black Perimeter Bar
 - Ovolo Exterior Glazing Profile
 - Ovolo Interior Glazing Profile
- Satin Taupe Sash Lock
- Beige Jamb Hardware
- No Screen
- 4 9/16" Jambs
- Primed Pine 4" 5/4 Flat Casing - Top
- Primed Pine 2" 5/4 Flat Casing - Side
- Primed Pine Standard Subsill



EXAMPLE OF EXISTING DOUBLE HUNG WINDOW



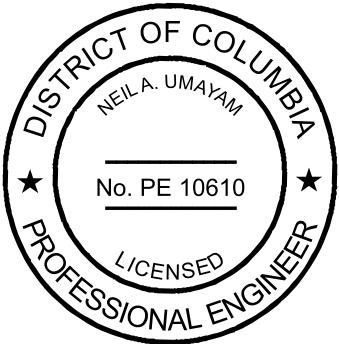
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:

16-114 MTC

DATE: APPROVED BY:

02-01-2021 RMRJ

SCALE:

NOT TO SCALE

REVISIONS:

DATE	DESCRIPTION

DRAWING TITLE:

DOUBLE HUNG
WINDOWS

SHEET NUMBER:

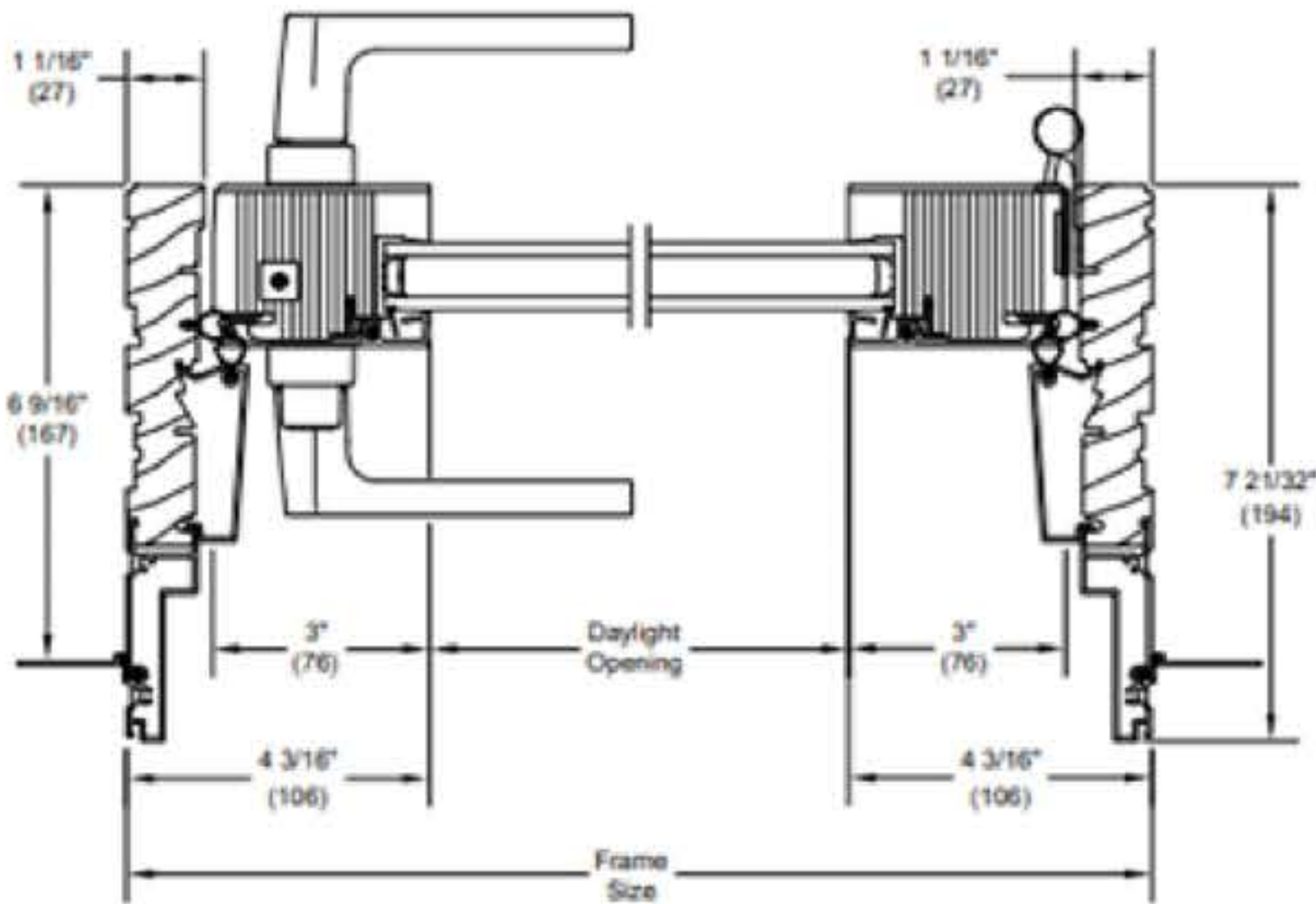
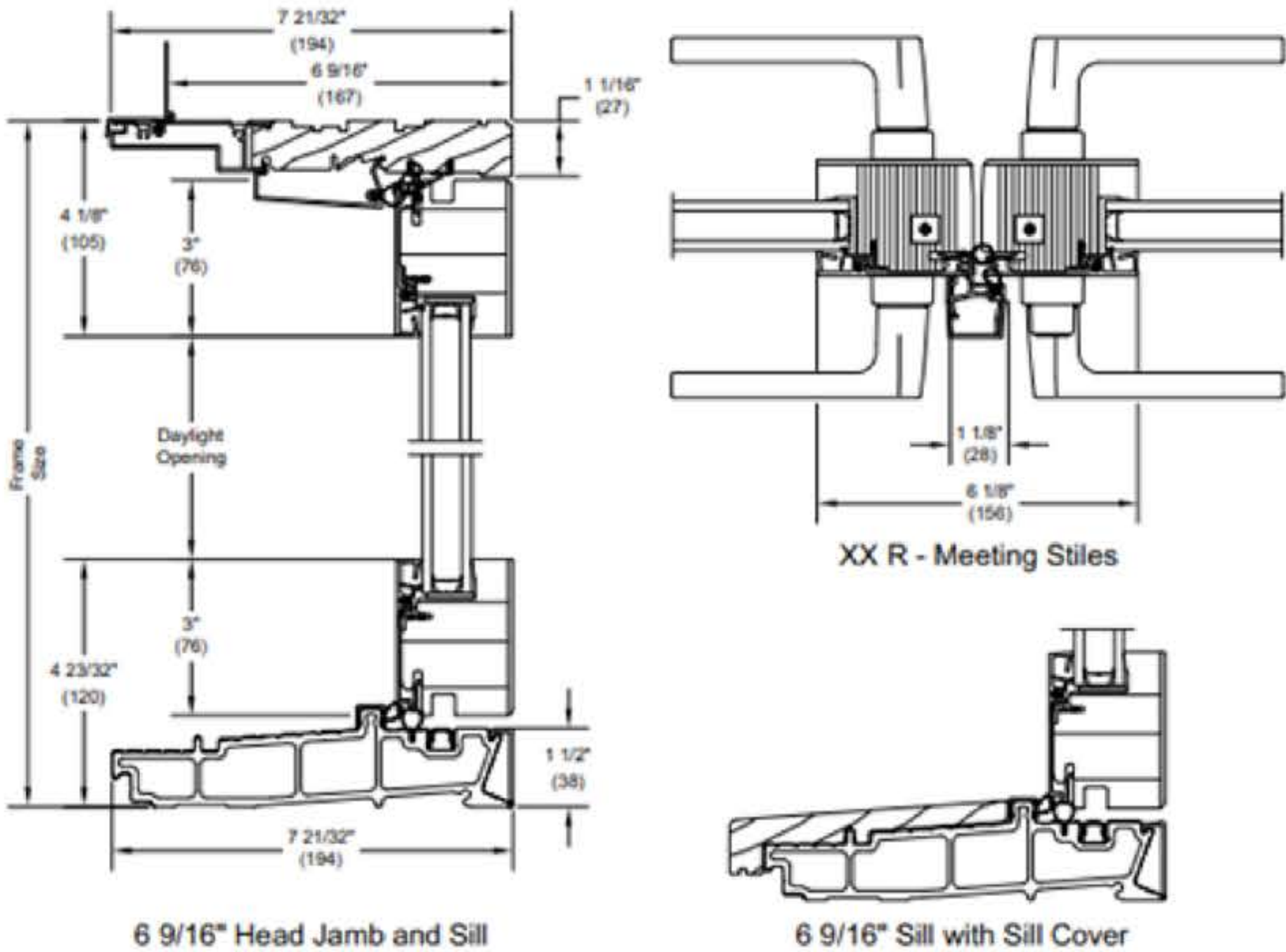
A003



Ultimate Inswing Door

Inswing Section Details: Operating

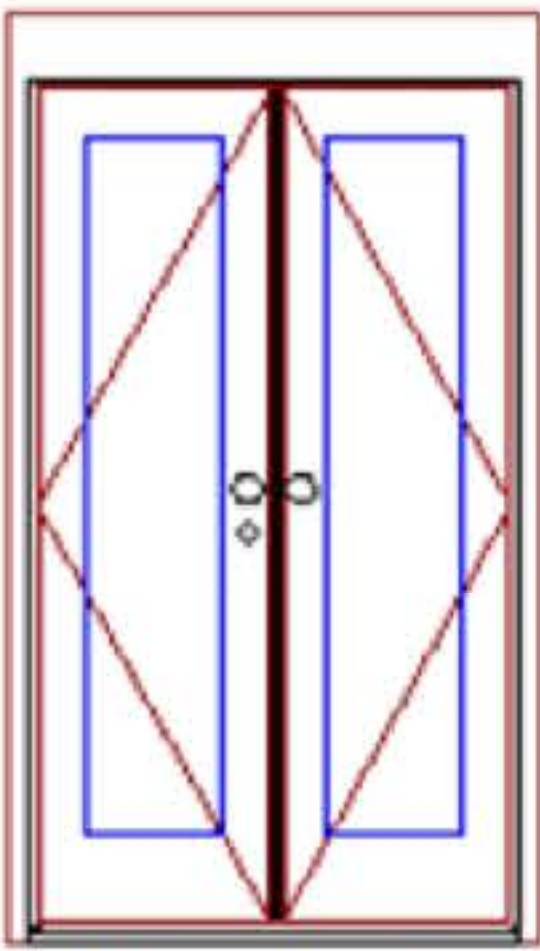
Scale: 3" = 1' 0"



6 9/16" X R Jamb



EXAMPLE OF EXISTING JULIETTE BALCONY DOOR



As Viewed From The Exterior

- Primed Pine Exterior
Primed Pine Interior
Ultimate Wood Inswing French Door 4 9/16" - XX Left Hand
Traditional Panels
Left Panel
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 1 Lite
Tempered Low E2 w/Argon
Black Perimeter Bar
Ogee Interior Glazing Profile
Right Panel
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 1 Lite
Tempered Low E2 w/Argon
Black Perimeter Bar
Ogee Interior Glazing Profile
Traditional Lever(s)
Multi-Point Lock on Active Panel
Satin Taupe Active Exterior Handle Set on Active Panel Keyed
Satin Taupe Active Interior Handle Set on Active Panel
Satin Taupe Dummy Exterior Handle Set on Inactive Panel
Satin Taupe Dummy Interior Handle Set on Inactive Panel
Satin Taupe Adjustable Hinges 3 Per Panel



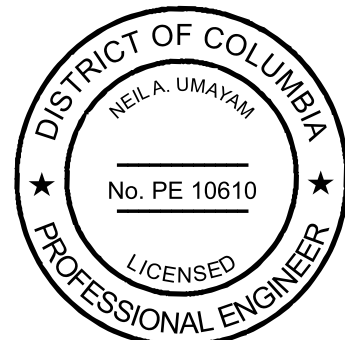
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:
16-114 MTC

DATE: 02-01-2021 APPROVED BY: RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

JULIETTE
BALCONY DOORS

SHEET NUMBER:

A003.1

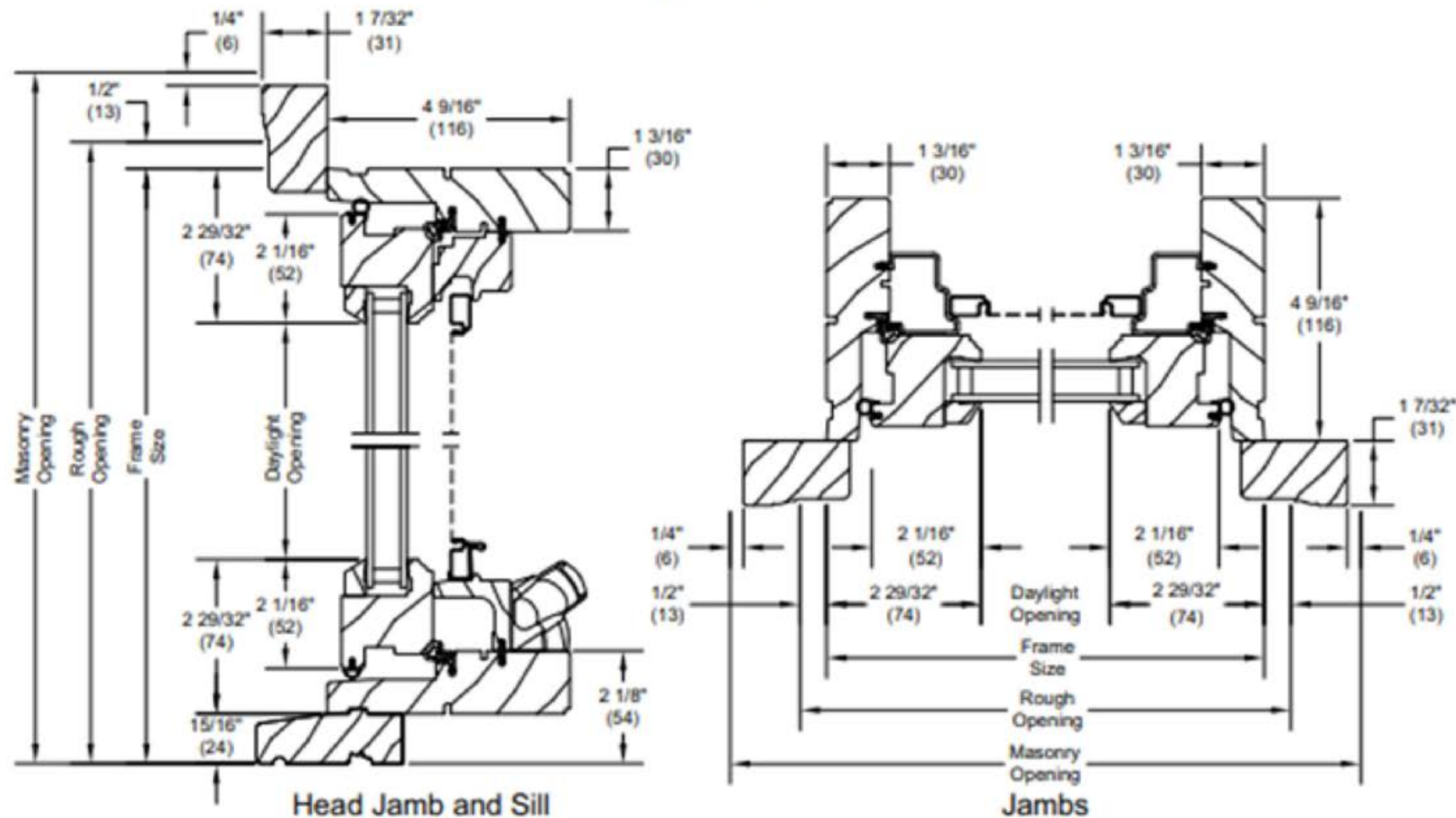


Ultimate Wood Casement, Awning and Picture

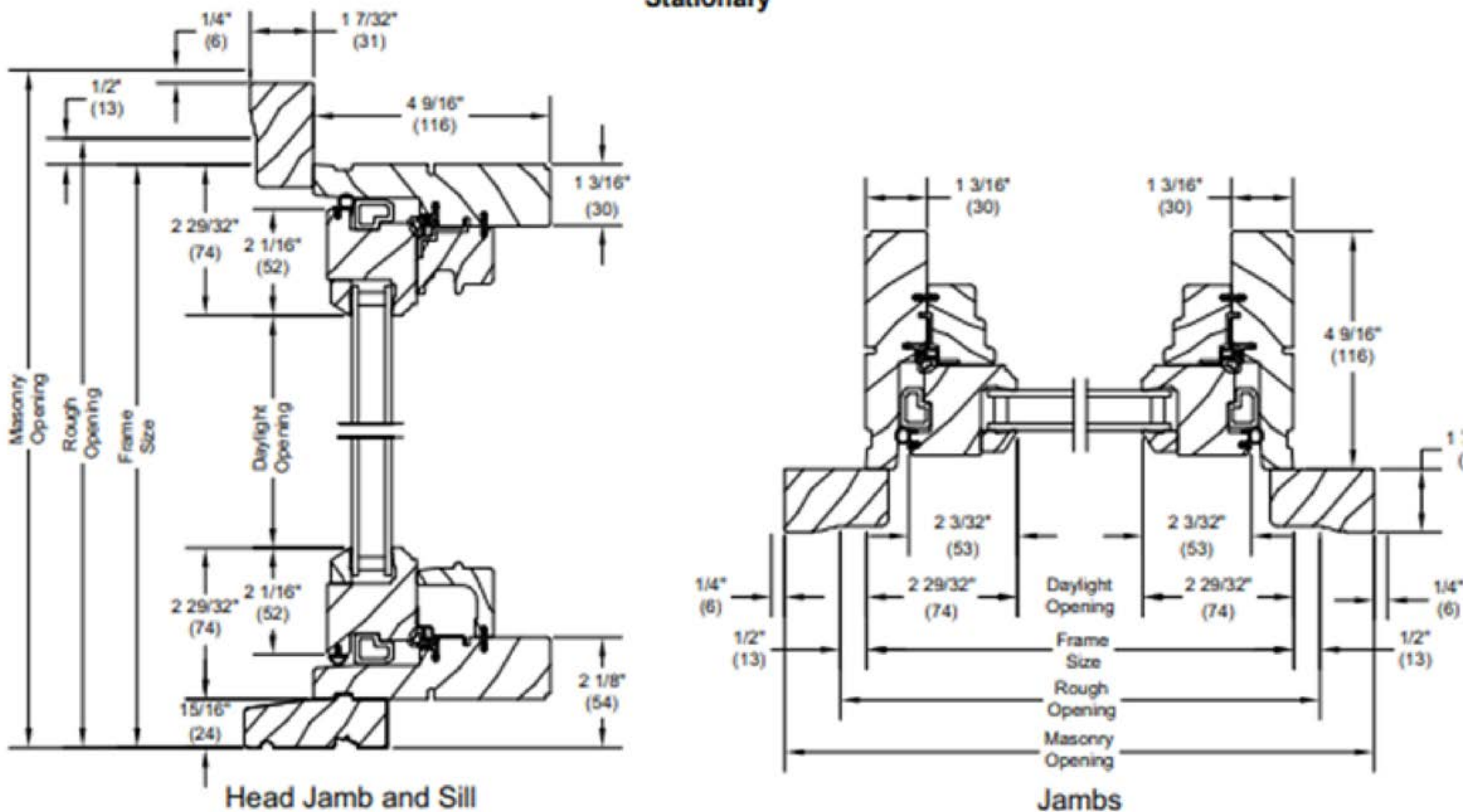
Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"

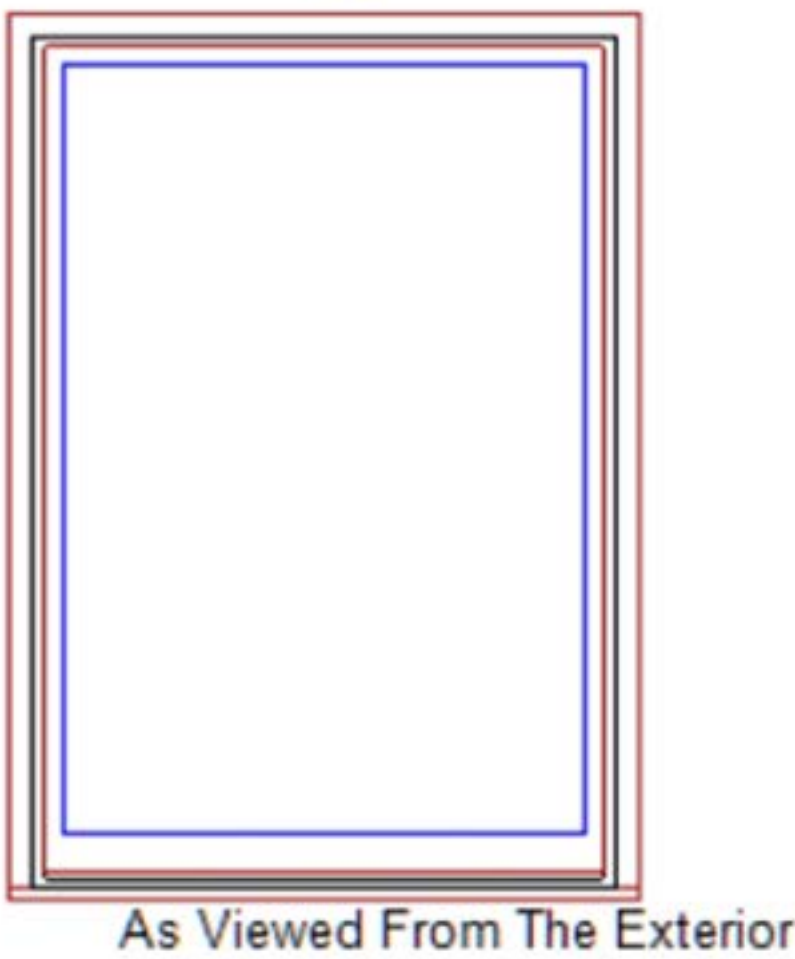
Operating



Stationary



EXAMPLE OF EXISTING JULIETTE BALCONY DOOR



- Primed Pine Exterior
Primed Pine Interior
Ultimate Wood Double Hung Picture 1 5/8 inch Sash
***Sash Ship Loose
Primed Pine Sash Exterior
Primed Pine Sash Interior
IG - 1 Lite
Tempered Low E2 w/Argon
Black Perimeter Bar
Ovolo Exterior Glazing Profile
Ovolo Interior Glazing Profile
5 1/2" Jamb
Primed Pine 2" 5/4 Flat Casing
Primed Pine Standard Subsill
Non Finger-Jointed Subsill
Non Finger-Jointed Sill
No Installation Method
***Note: Unit Availability and Price is Subject to Change



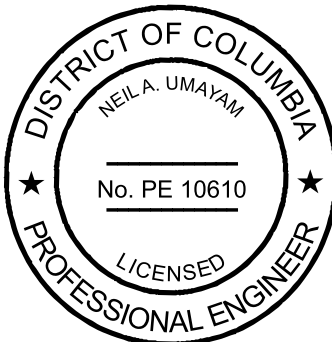
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



November 22, 2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

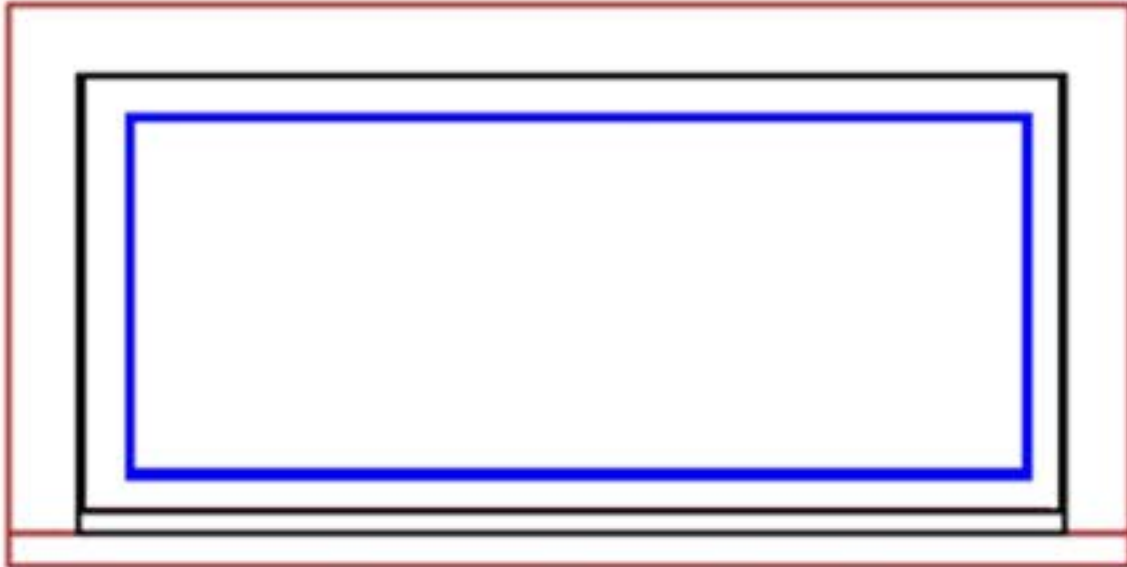
CSG PROJECT #	DRAWN BY:
16-114	MTC
DATE:	APPROVED BY:
02-01-2021	RMRJ
SCALE:	
NOT TO SCALE	
REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

FIXED PICTURE
WINDOW

SHEET NUMBER:

A003.2



As Viewed From The Exterior

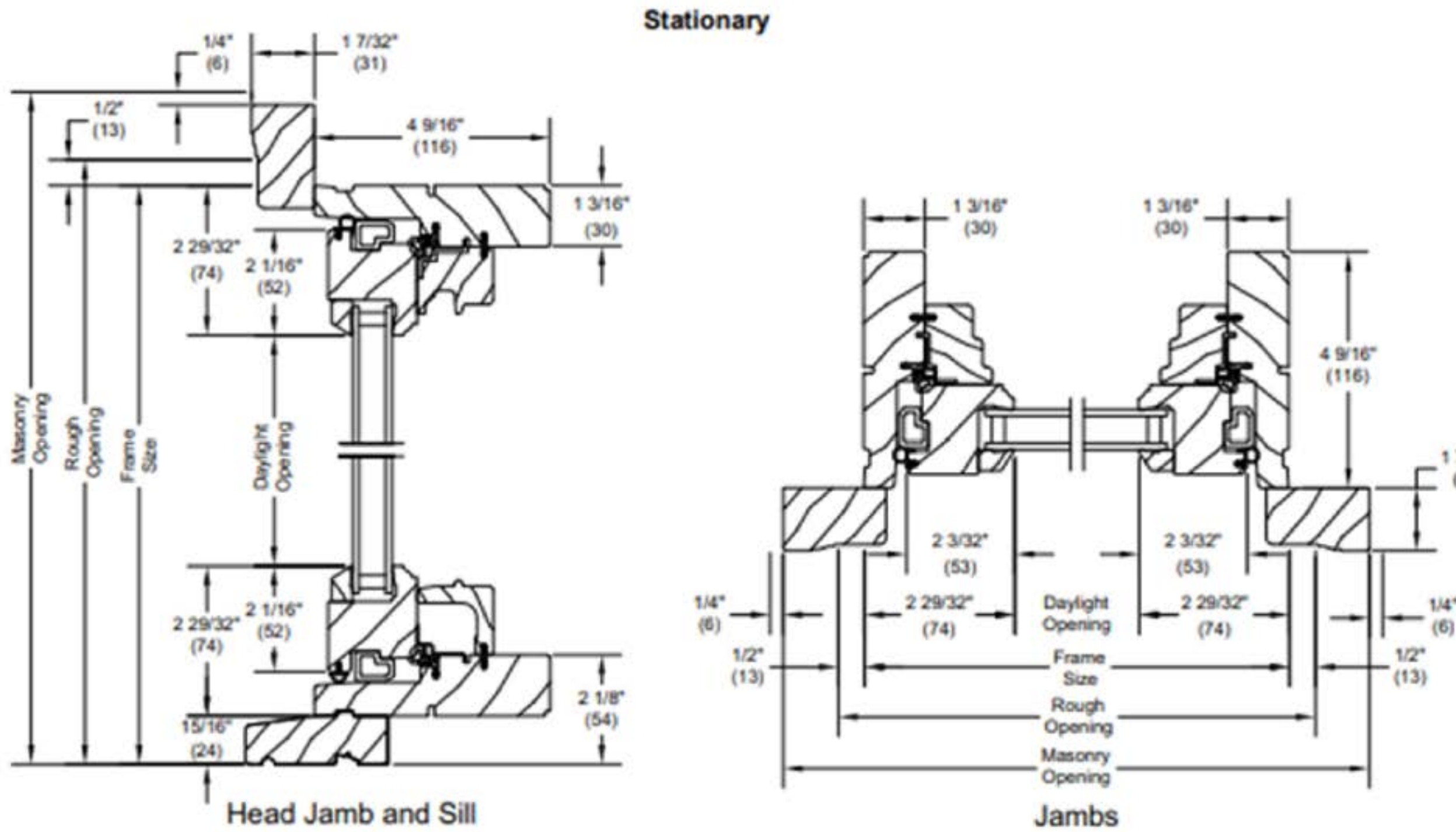
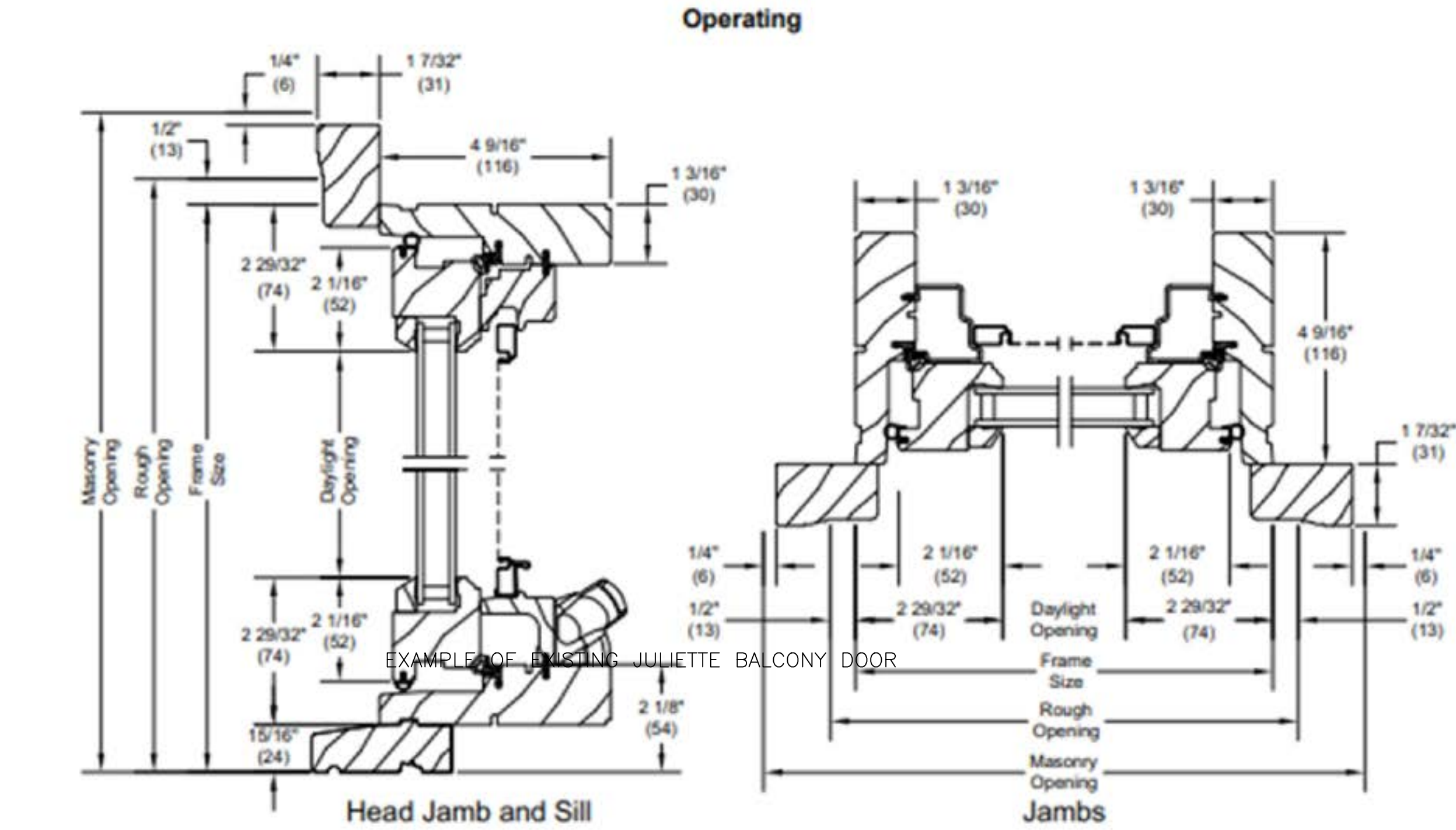
- Primed Pine Exterior
- Primed Pine Interior
- Ultimate Wood Transom/Picture
- Primed Pine Sash Exterior
- Primed Pine Sash Interior
- IG - 3/4" - 1 Lite
- Tempered Low E2
- Black Perimeter Bar
- Ovolo Interior Glazing Profile
- Standard Bottom Rail
- Beige Weather Strip
- Satin Taupe Folding Handle
- Satin Taupe Multi - Point Lock
- Interior Wood Screen
- Charcoal Hi-Transparency Fbrgl's Mesh
- Primed Pine
- Ovolo Interior Screen Profile
- 7" Jambs
- Primed Pine 2" 5/4 Flat Casing
- Primed Pine Standard Subsill
- Non Finger-Jointed Subsill



Ultimate Wood Casement, Awning and Picture

Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"



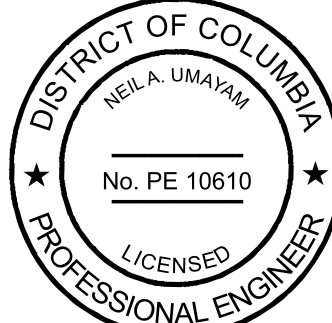
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



Neil A. Umayah

November 22, 2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:

16-114 MTC

DATE: APPROVED BY:

02-01-2021 RMRJ

SCALE:

NOT TO SCALE

REVISIONS:

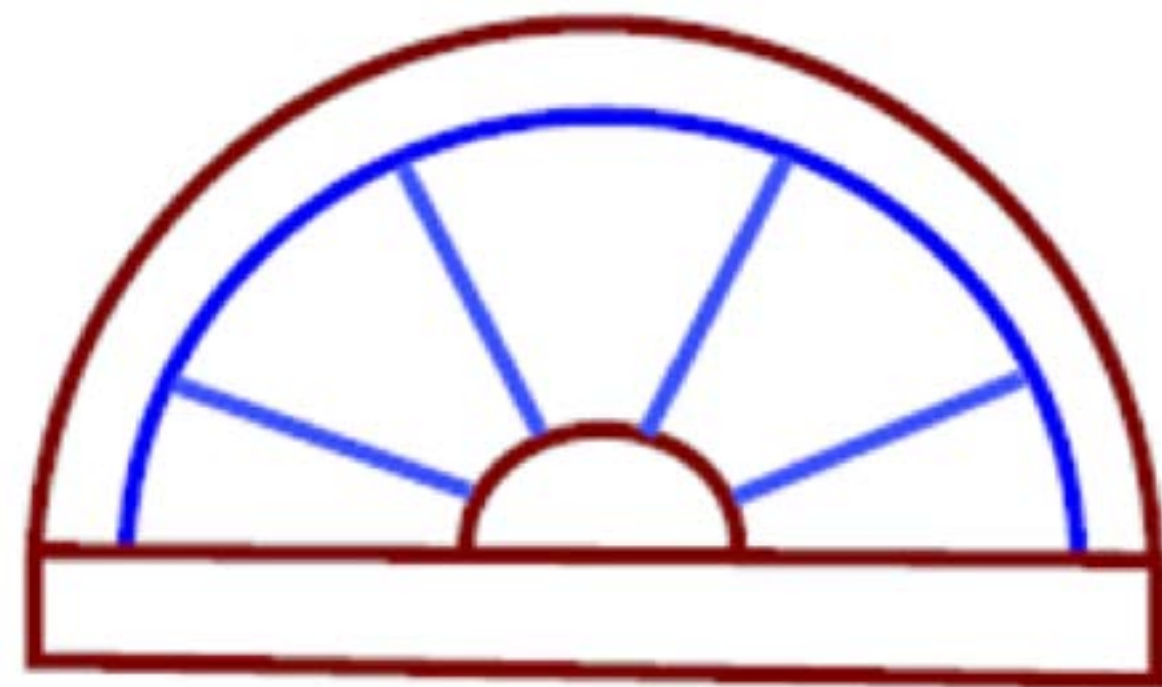
DATE	DESCRIPTION

DRAWING TITLE:

TRANSOM
WINDOWS

SHEET NUMBER:

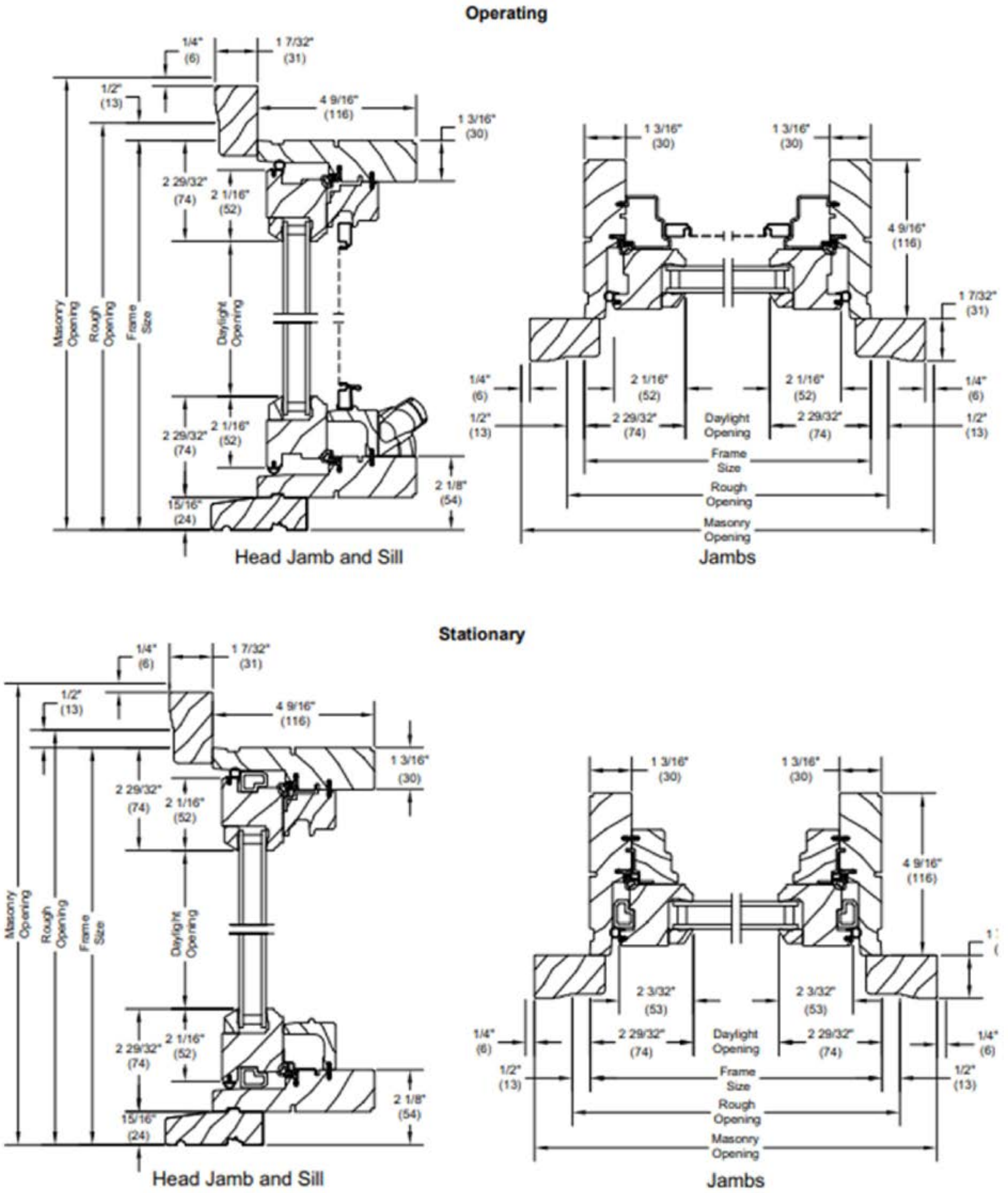
A003.3



- Primed Pine Exterior
- Primed Pine Interior
- Ultimate Wood Picture Window
- ***Sash Ship Loose
- Primed Pine Sash Exterior
- Primed Pine Sash Interior
- Authentic Divided Lite
- Tempered Low E2 w/Argon
- Black Perimeter Bar
- Ovolo Exterior Glazing Profile
- Ovolo Interior Glazing Profile
- 5 1/2" Jambs
- Primed Pine 2" 5/4 Flat Casing
- Primed Pine Standard Subsill
- Non Finger-Jointed Subsill
- Non Finger-Jointed Sill
- No Installation Method
- ***Note: Unit Availability and Price is Subject to Change

MARVIN®
Ultimate Wood Casement, Awning and Picture
Section Details: Operating and Stationary / Picture - 3/4" (19) IG

Scale: 3" = 1' 0"



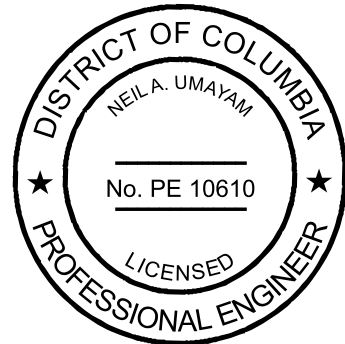
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



November 22, 2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:
16-114 MTC

DATE: 02-01-2021 APPROVED BY: RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

HALF-ROUND
WINDOW

SHEET NUMBER:

A003.4



EXAMPLE OF ROT AT SILL



EXAMPLE OF WARPED/ROTTED METAL TRACK



EXAMPLE OF ROT AT SILL



EXAMPLE OF ROT AT JAMB



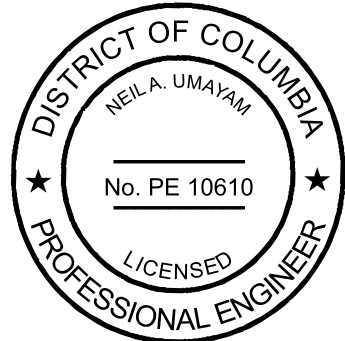
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



November 21, 2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #:	DRAWN BY:
16-114	MTC
DATE:	APPROVED BY:
02-01-2021	RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

EXISTING
WINDOW
CONDITION
PHOTOS

SHEET NUMBER:

A003.5



Authentic Divided Lite (ADL)



energy efficiency.

Separate pieces of glass are glazed between muntin bars - the way windows have been made since the beginning but with Marvin's updated design to increase



CLOSEUP OF EXISTING MUNTIN



EXISTING MUNTIN CONDITION



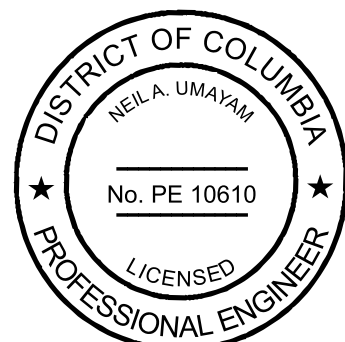
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



Neil A. Umayah

November 21, 2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT # 16-114 DRAWN BY: MTC

DATE: 02-01-2021 APPROVED BY: RMRJ

SCALE: NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

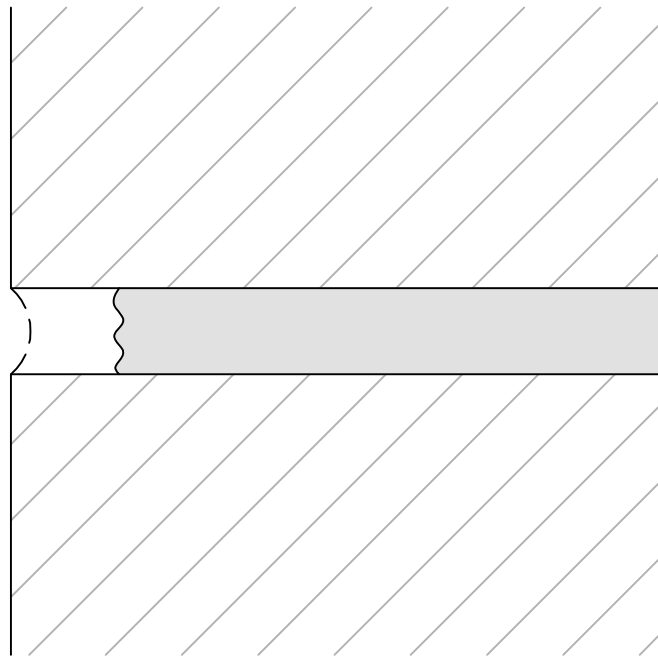
DRAWING TITLE:

DIVIDED LIGHT/
MUNTIN DETAILS

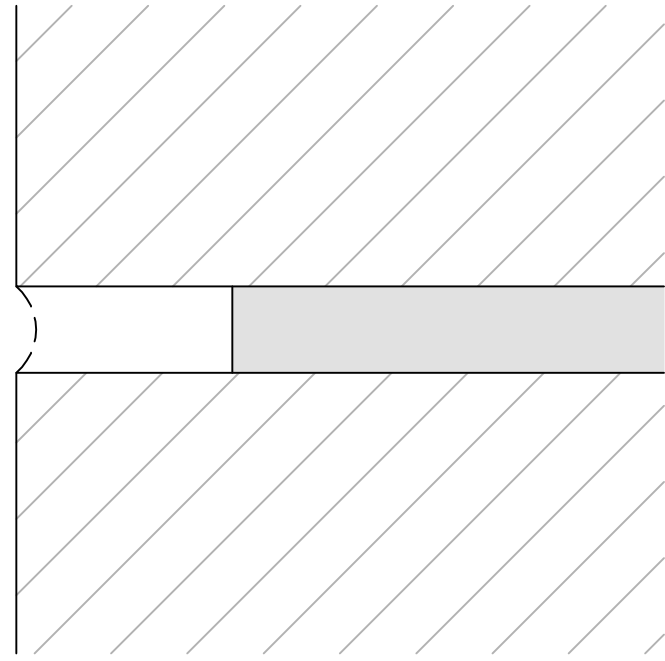
SHEET NUMBER:

A003.6

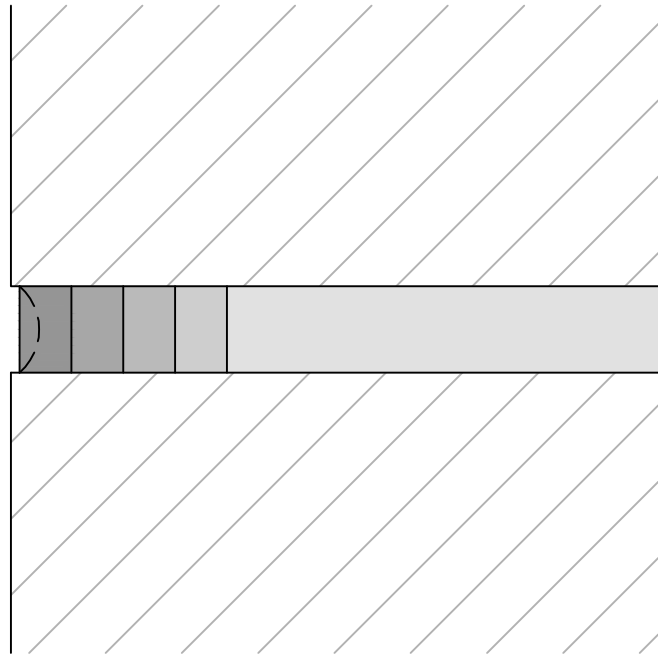
NOTE:
CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.



A) EXISTING MORTAR JOINT

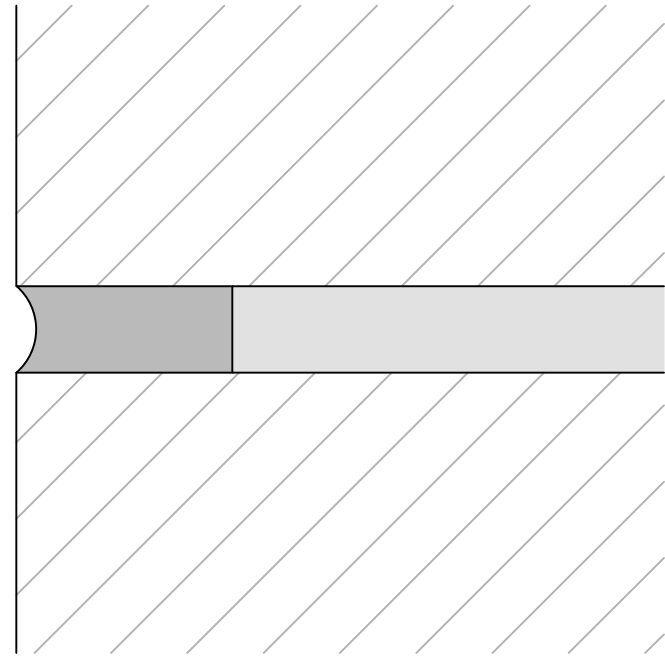


B) RAKE MORTAR TO A UNIFORM DEPTH OF .75" OR UNTIL SOUND MORTAR REACHED. CUT CENTER PASS TAKING CARE NOT TO DAMAGED BRICK. BRICK DAMAGED DURING RAKING PROCEDURE WILL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER



C) PACK POINTING MORTAR IN
.25" LIFTS

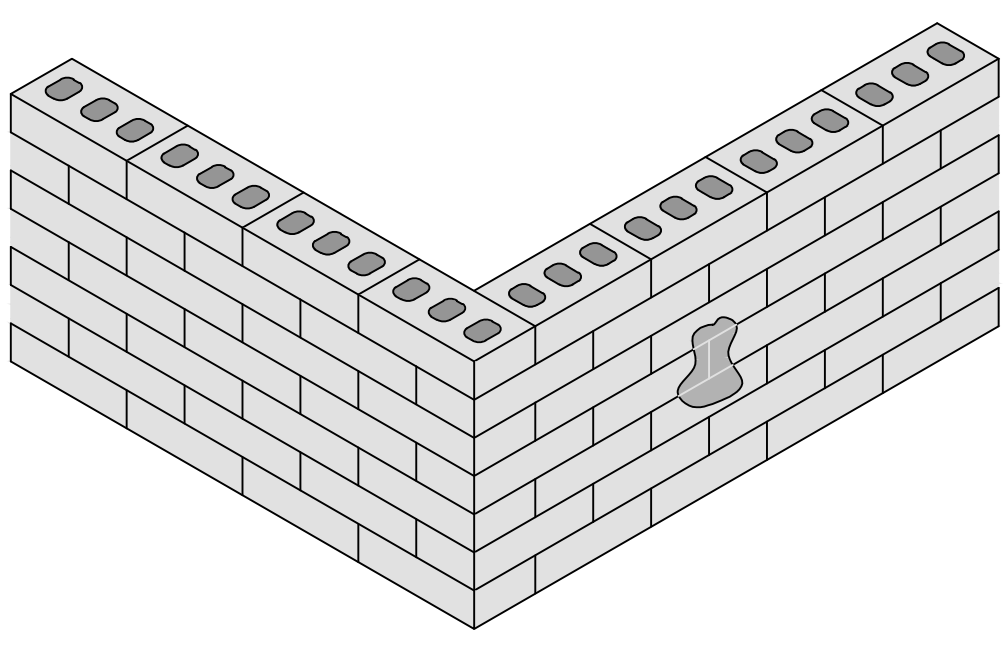
NOTE: NEW MORTAR SHALL BE
TYPE N PORTLAND CEMENT +
LIME + SAND.



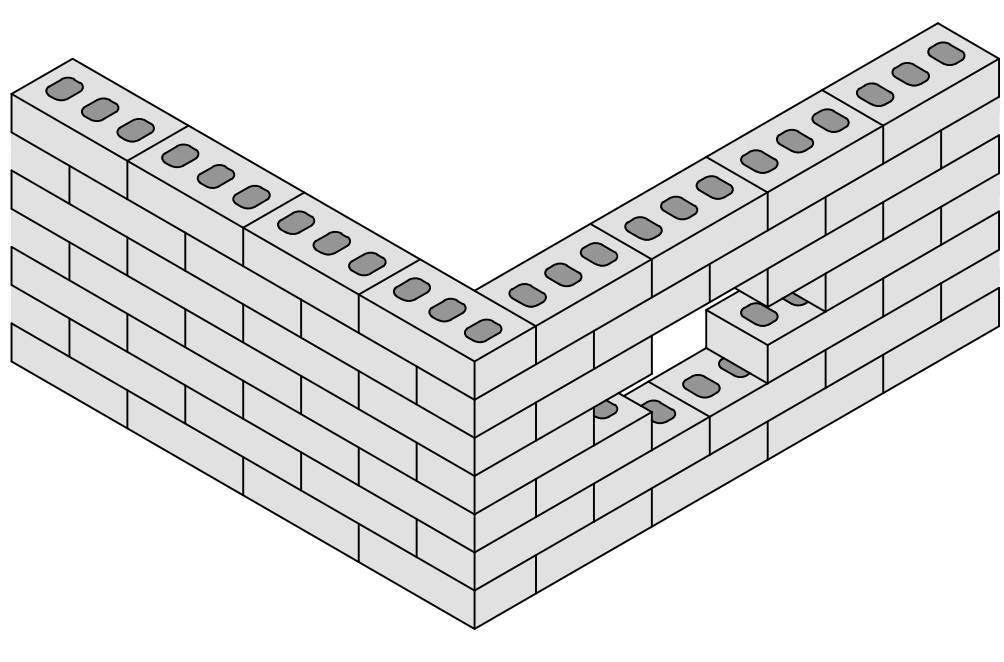
D) TOOL JOINT WHEN THUMBPRINT HARD TO MATCH
ORIGINAL PROFILE

1
A004
TYPICAL TUCKPOINTING REPAIR
SCALE: N.T.S.

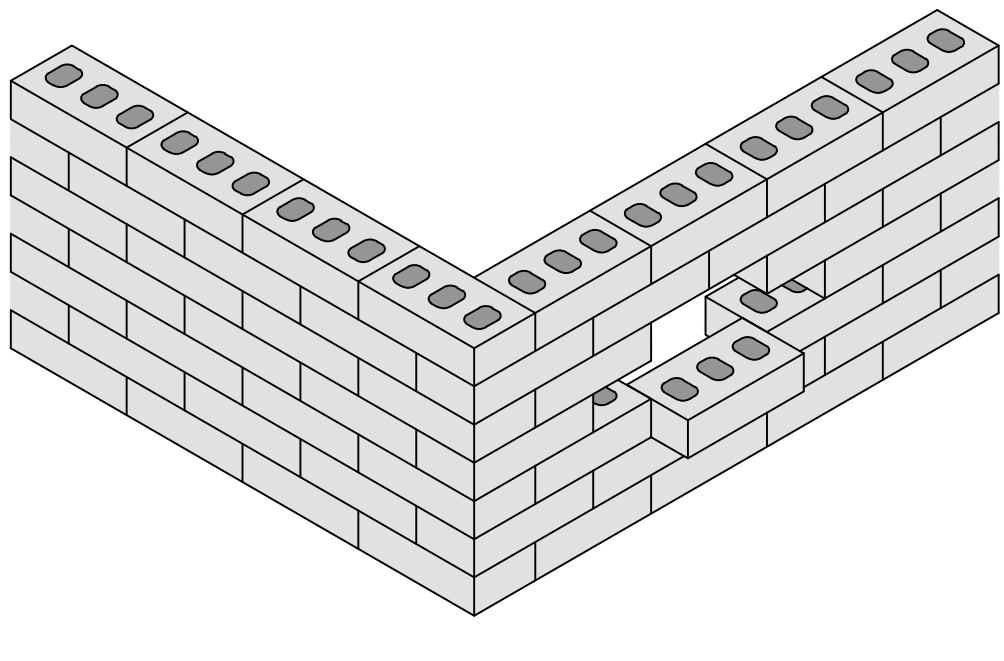
NOTE:
CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.



A) EXISTING DAMAGED MASONRY



B) REMOVE MASONRY AND MORTAR



C) BUTTER REPLACEMENT MASONRY (SIZE TO
MATCH EXISTING) AND CAREFULLY SHOVE INTO
PLACE

NOTE: NEW MORTAR SHALL BE
TYPE N PORTLAND CEMENT +
LIME + SAND.

2
A004
TYPICAL MASONRY REPAIR
SCALE: N.T.S.



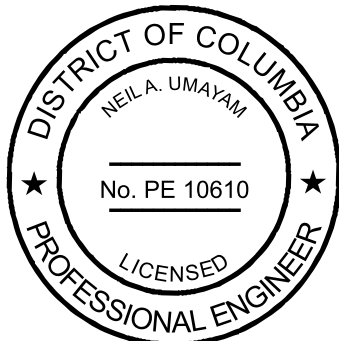
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #:
16-114

DRAWN BY:
MTC

DATE:
02-01-2021

APPROVED BY:
RMRJ

SCALE:
NOT TO SCALE

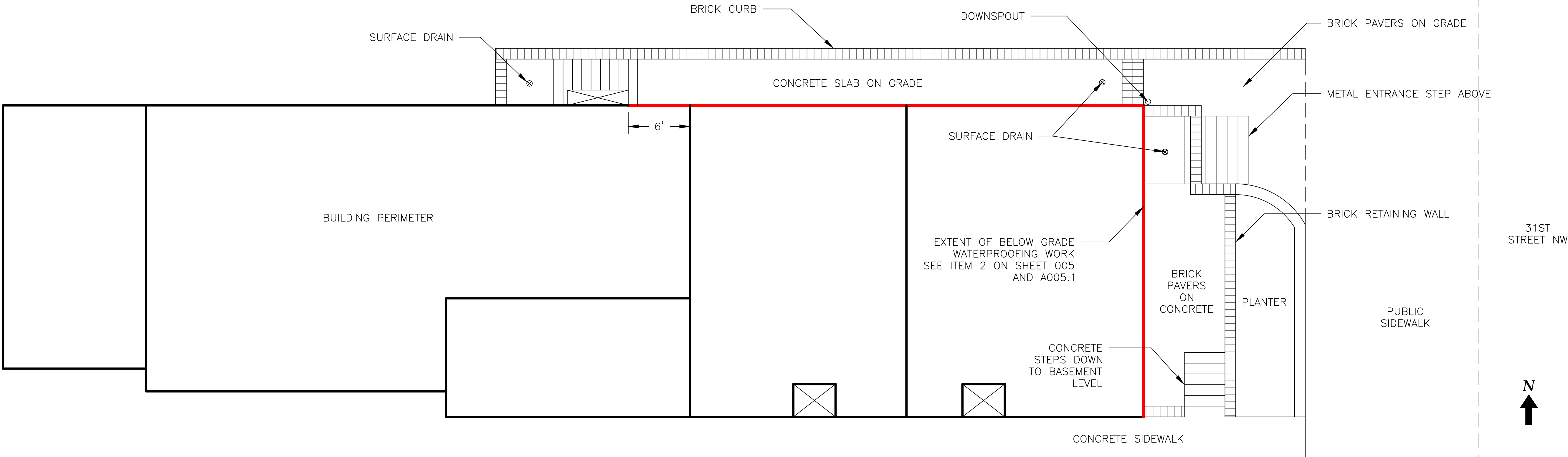
REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

BRICK DETAILS

SHEET NUMBER:
A004

- NOTES:
1. CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.
 2. REFER TO ATTACHED BUILDING ITEM INVENTORY (BII) FOR DESCRIPTION/PHOTOGRAPHS (SEE SHEET 005).



1 EXISTING AND PROPOSED SITE PLAN
A005 SCALE: N.T.S.

CSG
CONSTRUCTION SYSTEMS
GROUP, INC.

CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:

DISTRICT OF COLUMBIA
NEIL A. UMAYAN
No. PE 10610
LICENSED
PROFESSIONAL ENGINEER

Neil A. Umayan

November 21, 2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #:	DRAWN BY:
16-114	MTC
DATE:	APPROVED BY:
02-01-2021	RMRJ
SCALE:	
NOT TO SCALE	

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

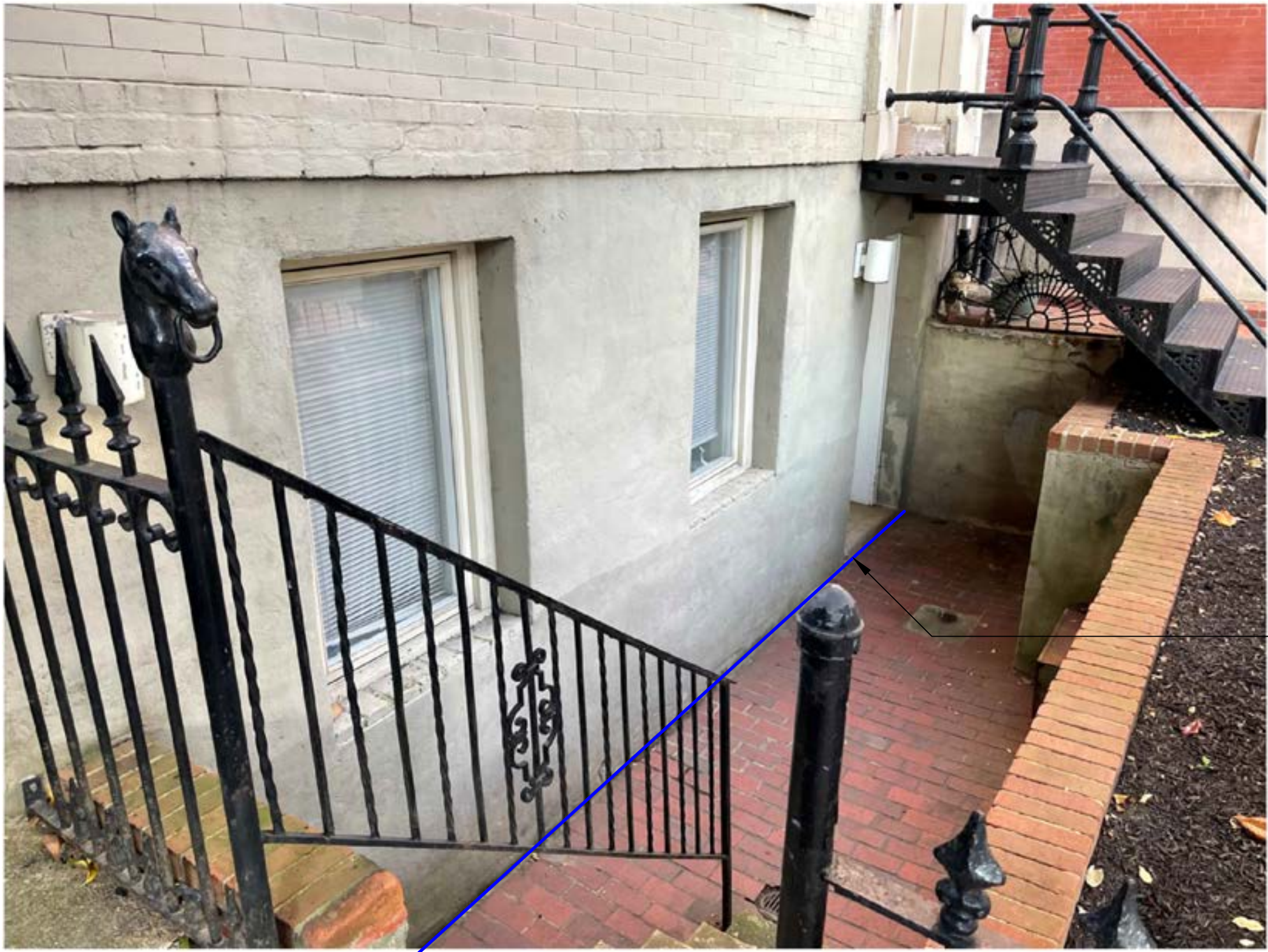
EXTENT OF NEW
BELOW GRADE
WATERPROOFING
ON BUILDING
1236

SHEET NUMBER:

A005

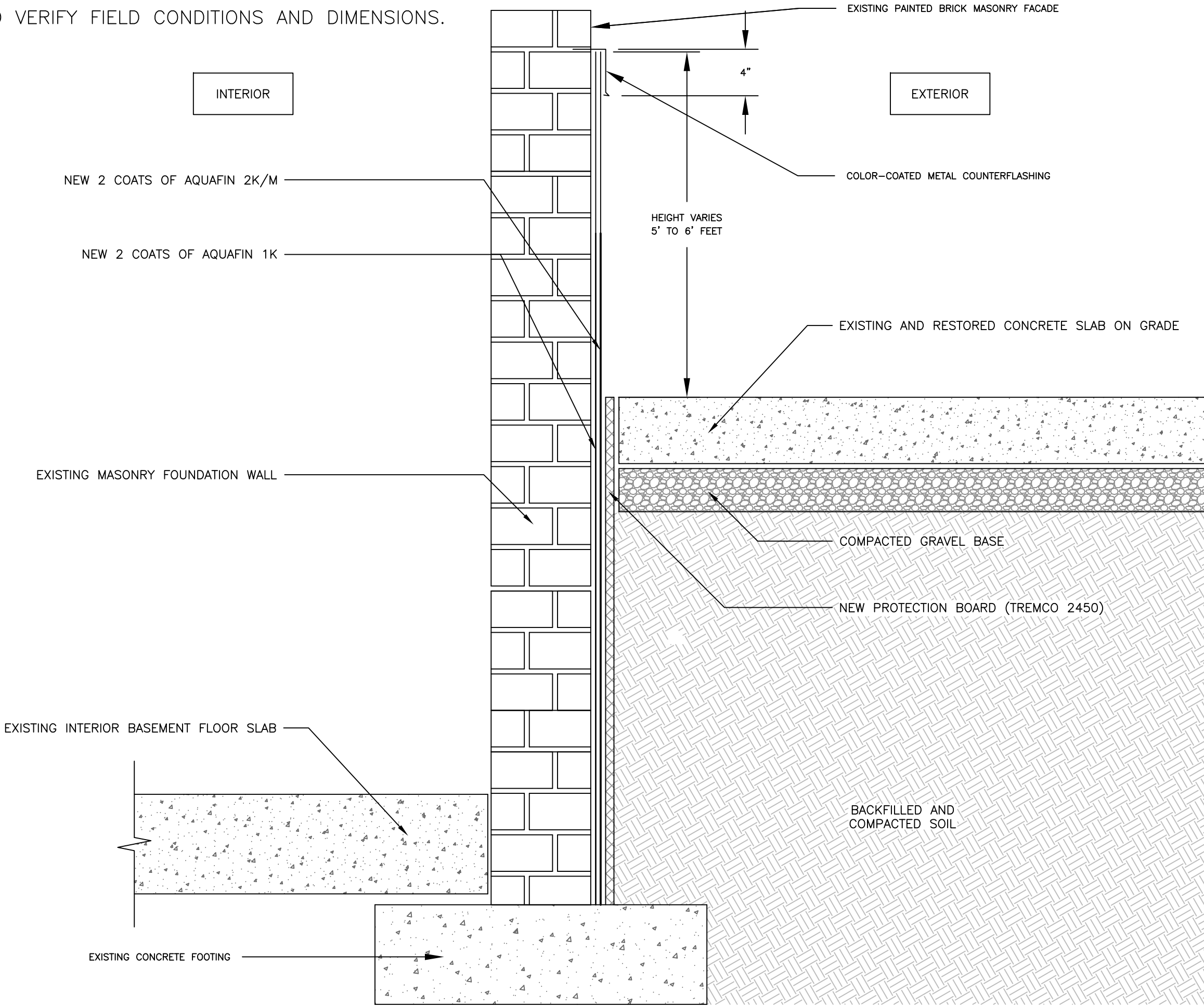


2 NORTH ELEVATION
A005 SCALE: N.T.S.



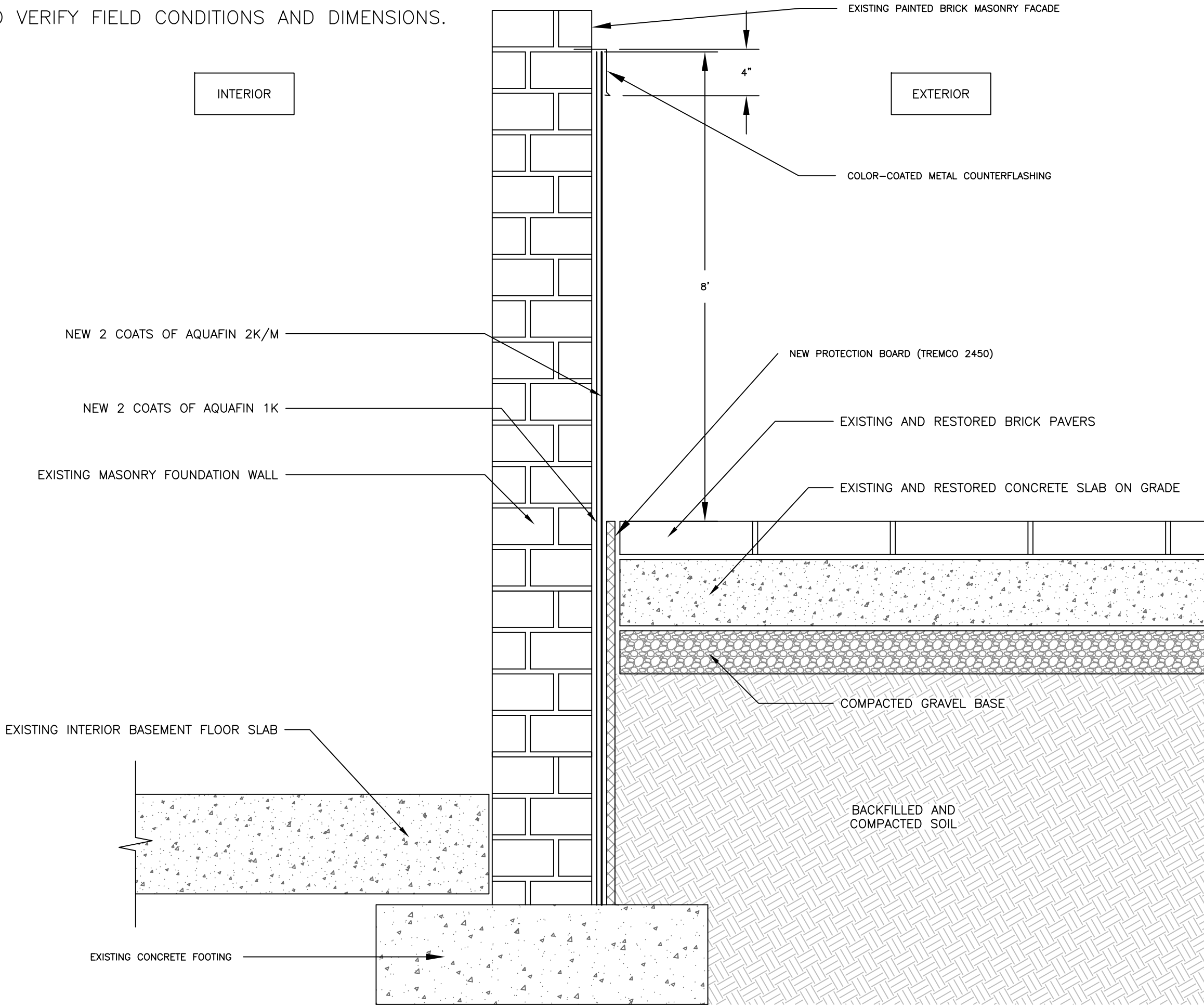
3 EAST ELEVATION
A005 SCALE: N.T.S.

NOTES:
CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.



1 NORTH ELEVATION BELOW-GRADE WATERPROOFING
A005 SCALE: N.T.S.

NOTES:
CONTRACTOR TO VERIFY FIELD CONDITIONS AND DIMENSIONS.



2 EAST ELEVATION BELOW-GRADE WATERPROOFING
A005 SCALE: N.T.S.



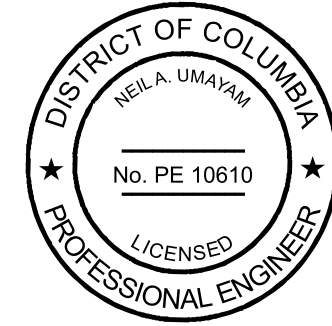
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



November 21, 2021

STRUCTURAL PLANS
CERTIFIED AS PROVIDED IN
SECTION 106.1.4.1 OF THE DC
CONSTRUCTION CODES
SUPPLEMENT AS AMENDED
TO DATE.

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #: 16-114
DRAWN BY: MTC

DATE: 02-01-2021
APPROVED BY: RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

BELOW GRADE
WATERPROOFING
DETAILS

SHEET NUMBER:

A005.1



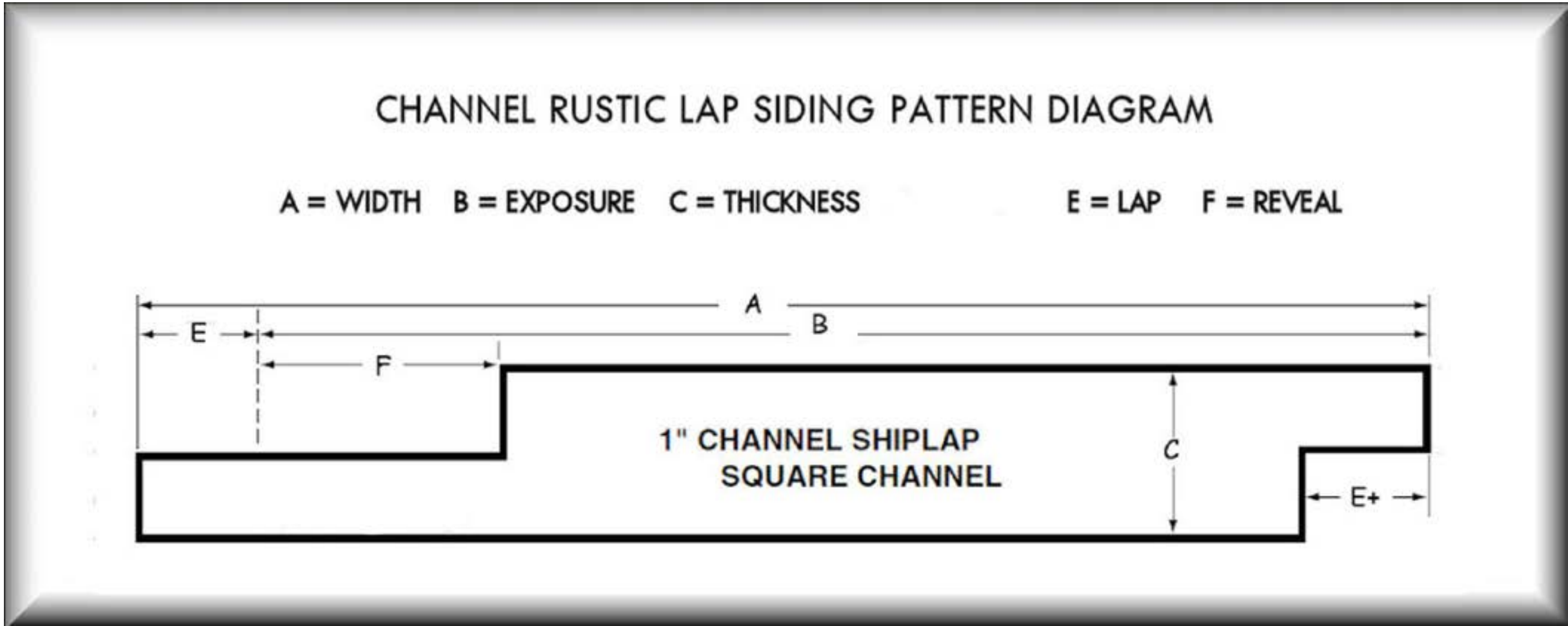
1 EXISTING CONDITION CLOSEUP
A006 SCALE: N.T.S.



2 EXISTING CONDITIONS CLOSEUP CONTINUED
A006 SCALE: N.T.S.



3 EXISTING CONDITION CLOSEUP WITH MEASUREMENTS
A006 SCALE: N.T.S.



FEATURE	DIMENSION
A	0'-5 7/8"
B	0'-5 5/8"
C	0'-0 3/4"
E	0'-0 1/2"
F	0'-1 1/4"

4 EXISTING AND PROPOSED SIDING
A006 SCALE: N.T.S.



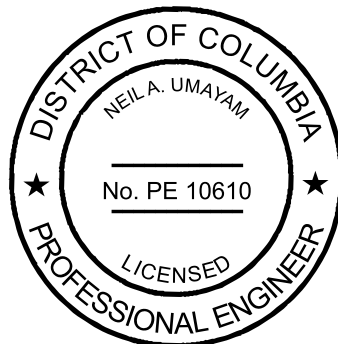
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



Neil A. Umayam

11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:
16-114 MTC

DATE: 02-01-2021 APPROVED BY:
RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

1220-1226 SIDING
INFORMATION

SHEET NUMBER:
A006

NOTE:
"X" MARKS LOCATION OF WINDOWS AND JULIETTE BALCONY DOORS TO BE REPLACED.



1 BUILDING 1220
A007 SCALE: N.T.S.

NOTE:
"X" MARKS LOCATION OF WINDOWS AND JULIETTE BALCONY DOORS TO BE REPLACED.



3 BUILDING 1226
A007 SCALE: N.T.S.

NOTE:
"X" MARKS LOCATION OF WINDOWS AND JULIETTE BALCONY DOORS TO BE REPLACED.



2 BUILDING 1222
A007 SCALE: N.T.S.

NOTE:
"X" MARKS LOCATION OF WINDOWS AND JULIETTE BALCONY DOORS TO BE REPLACED.



4 BUILDING 1226 CONTINUED
A004 SCALE: N.T.S.



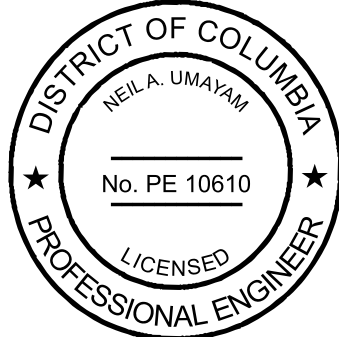
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #/DRAWN BY:
16-114 MTC

DATE: 02-01-2021
APPROVED BY: RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

1220-1226
WINDOW
REPLACEMENT

SHEET NUMBER:
A007

NOTE:
OUTLINED AREAS ARE LOCATIONS WHERE EXTERIOR WYTHE WILL BE REMOVED, SALVAGED AND REINSTALLED WITH TYPE N PORTLAND CEMENT/LIME/SAND MORTAR.



1
A008 VIEW OF SOUTH-WEST CHIMNEY FROM ROOF
SCALE: N.T.S.

NOTE:
OUTLINED AREAS ARE LOCATIONS WHERE EXTERIOR WYTHE WILL BE REMOVED, SALVAGED AND REINSTALLED WITH TYPE N PORTLAND CEMENT/LIME/SAND MORTAR.



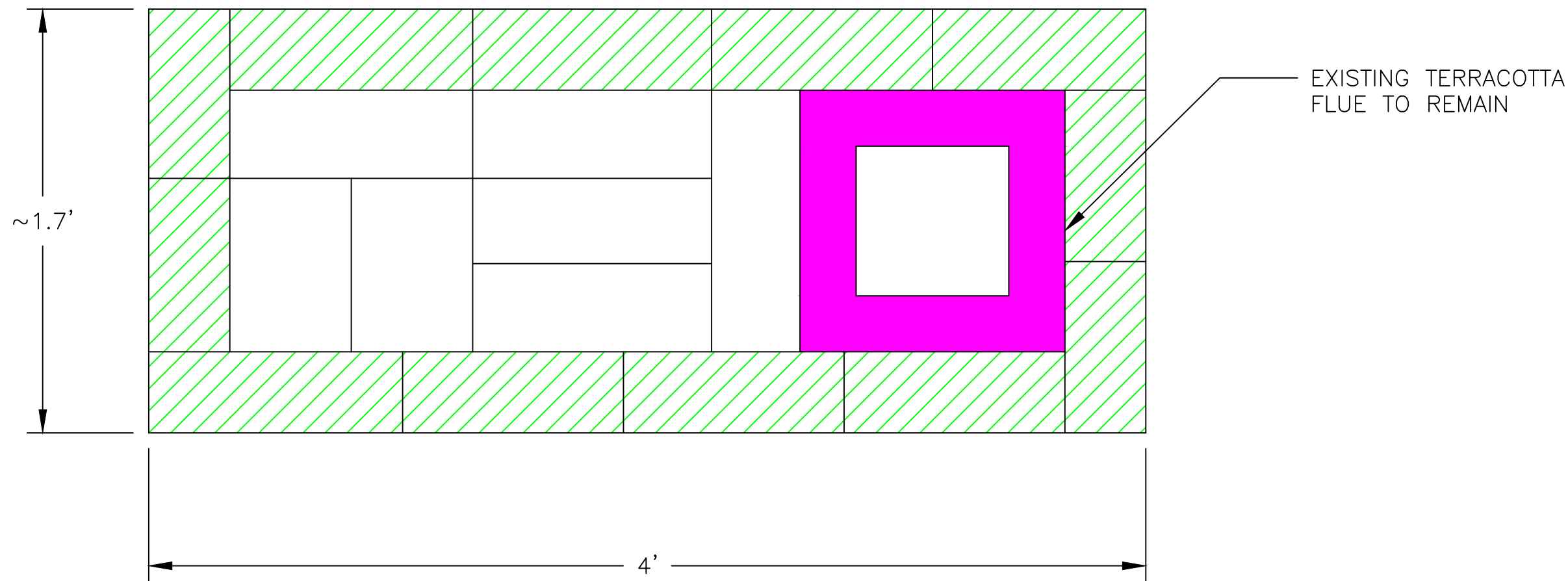
2
A008 VIEW OF SOUTH-EAST CHIMNEY FROM ROOF
SCALE: N.T.S.

NOTE:
OUTLINED AREAS ARE LOCATIONS WHERE EXTERIOR WYTHE WILL BE REMOVED, SALVAGED AND REINSTALLED WITH TYPE N PORTLAND CEMENT/LIME/SAND MORTAR.



3
A008 VIEW OF BOTH CHIMNEYS FROM THE GROUND
SCALE: N.T.S.

NOTE:
HATCHED AREAS ARE LOCATIONS WHERE EXTERIOR BRICK WYTHE WILL BE REMOVED, SALVAGED AND REINSTALLED WITH TYPE N PORTLAND CEMENT/LIME/SAND MORTAR.



4
A008 CUT THROUGH CHIMNEY
SCALE: N.T.S.



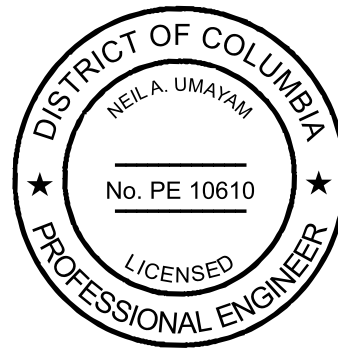
CORPORATE OFFICE:
1451 DOLLEY MADISON BLVD.,
SUITE 300
MCLEAN, VIRGINIA 22101

MARYLAND OFFICE:
8821 ENDLESS OCEAN WAY
COLUMBIA, MARYLAND 21045

TEL: 703-917-0055
FAX: 703-917-0464

WEB ADDRESS:
WWW.CSGENGINEER.COM

STAMP:



Neil A. Unayam

11-18-2021

PROJECT TITLE AND LOCATION:

BUILDING ENVELOPE
REHABILITATIONS

HAMILTON COURTS
1220-1236 31ST
STREET, NW
WASHINGTON, DC

CSG PROJECT #
16-114

DRAWN BY:
MTC

DATE:
02-01-2021

APPROVED BY:
RMRJ

SCALE:
NOT TO SCALE

REVISIONS:	
DATE	DESCRIPTION

DRAWING TITLE:

1236 CHIMNEY
INFORMATION

SHEET NUMBER:

A008