

# ANNEX ON 12TH

300 12th Street SW  
Washington, DC

## COMMISSION OF FINE ARTS DESIGN SUBMISSION

July 21, 2022

Developer: CP VII Cotton Annex, LLC

Architect: Design Collective, Inc.

Landscape Architect: Design Collective, Inc.

Historic Preservationist: EHT Traceries

# CP VII COTTON ANNEX, LLC



SITE



# CP VII COTTON ANNEX, LLC



VIEW FROM NORTHWEST (C ST & 12TH ST SW)



# CP VII COTTON ANNEX, LLC



SITE PLAN



# CP VII COTTON ANNEX, LLC



RENDERING FROM 12TH AND C STREET



# CP VII COTTON ANNEX, LLC



RENDERING FROM 12TH AND D STREET



# CP VII COTTON ANNEX, LLC



AERIAL RENDERING FROM NORTHWEST



# CP VII COTTON ANNEX, LLC



AERIAL RENDERING FROM SOUTHEAST



# CP VII COTTON ANNEX, LLC

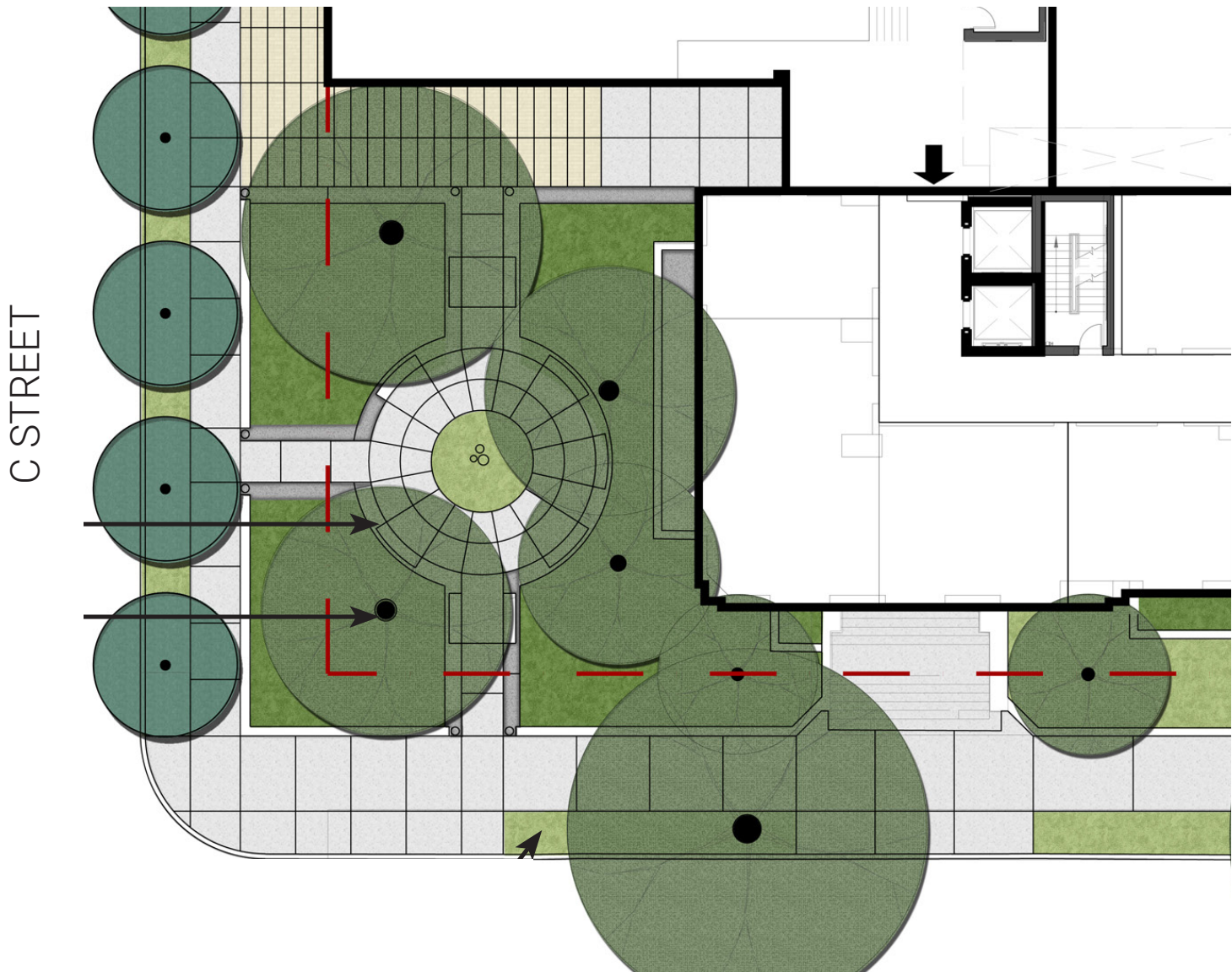


## COTTON ANNEX REFINED SITE PLAN

1" = 60' 



# CP VII COTTON ANNEX, LLC



1.21.2021 APPROVED PLAZA PLAN

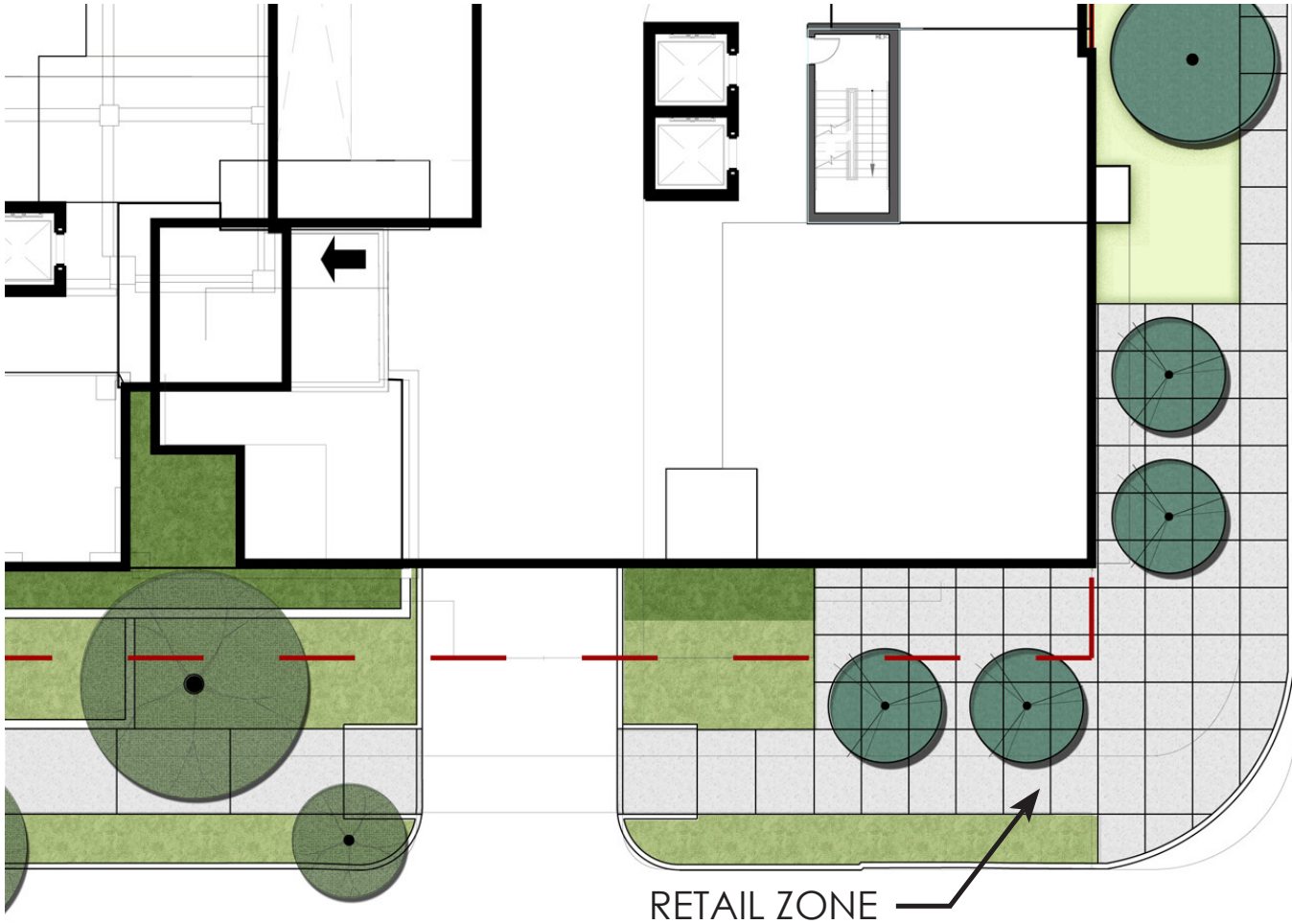


REFINED PLAZA PLAN

C STREET PLAZA



# CP VII COTTON ANNEX, LLC



D STREET



1.21.2021 APPROVED STREETSCAPE

REFINED STREETSCAPE

## 12TH ST. STREETScape



# CP VII COTTON ANNEX, LLC



1.21.2021 APPROVED WEST ELEVATION

# CP VII COTTON ANNEX, LLC



REFINED WEST ELEVATION



# CP VII COTTON ANNEX, LLC



UNMODIFIED HISTORIC ENTRY

12TH ST. ENTRY



1.21.2021 APPROVED WEST ELEVATION ENLARGEMENT



REFINED WEST ELEVATION ENLARGEMENT

- Signage and Marketing Subject to Change
- Metal and Glass Overhang
- Canopy Pinned Glass
- Lamp Posts Coordinated with Historic Entry
- Planter Boxes



# CP VII COTTON ANNEX, LLC



BUILDING ENTRY

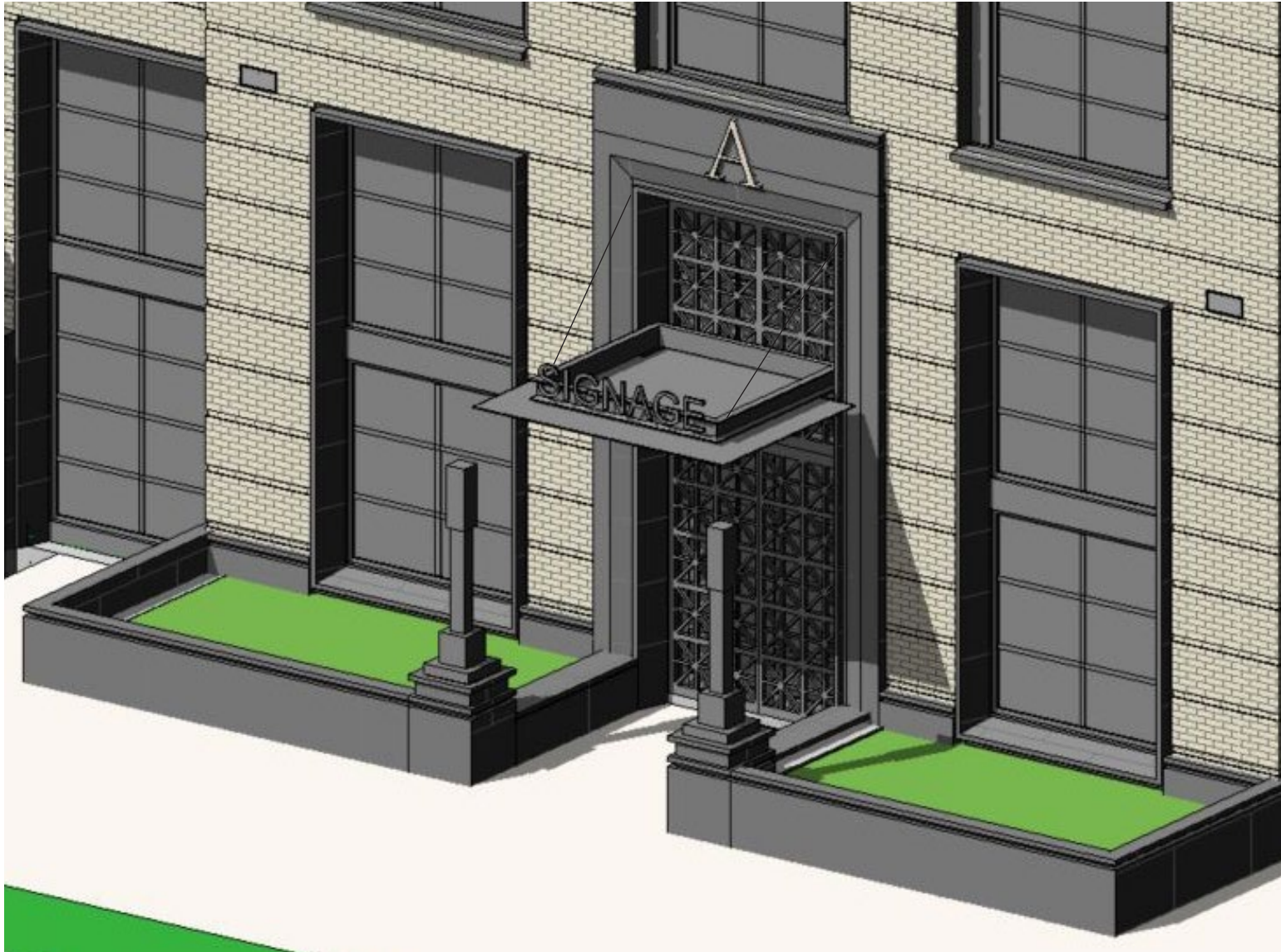
# 12TH ST. STREETScape



BUILDING ENTRY



# CP VII COTTON ANNEX, LLC



ENTRY AXON

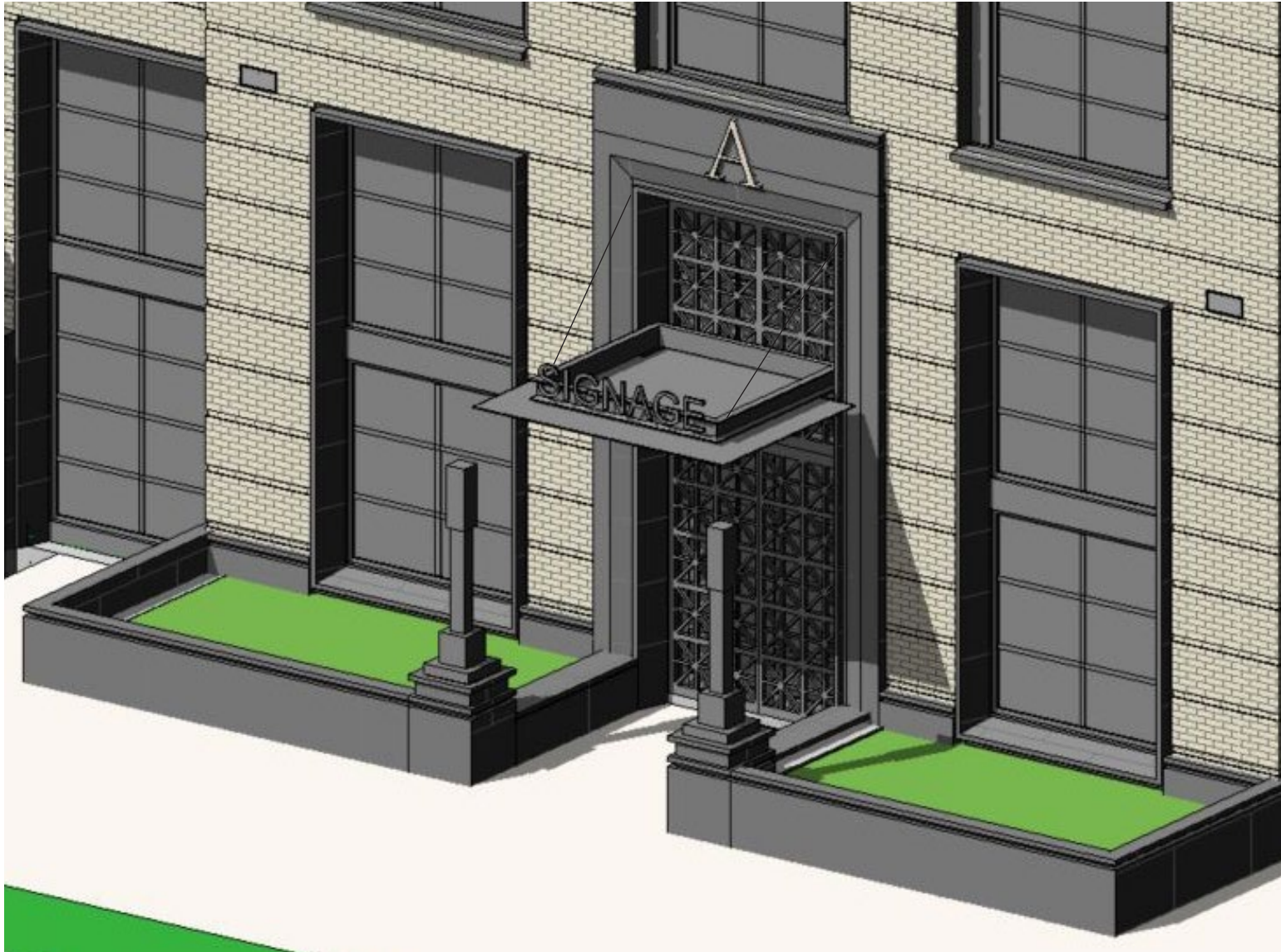


REFINED ENTRY STREETScape

# 12TH ST. STREETScape

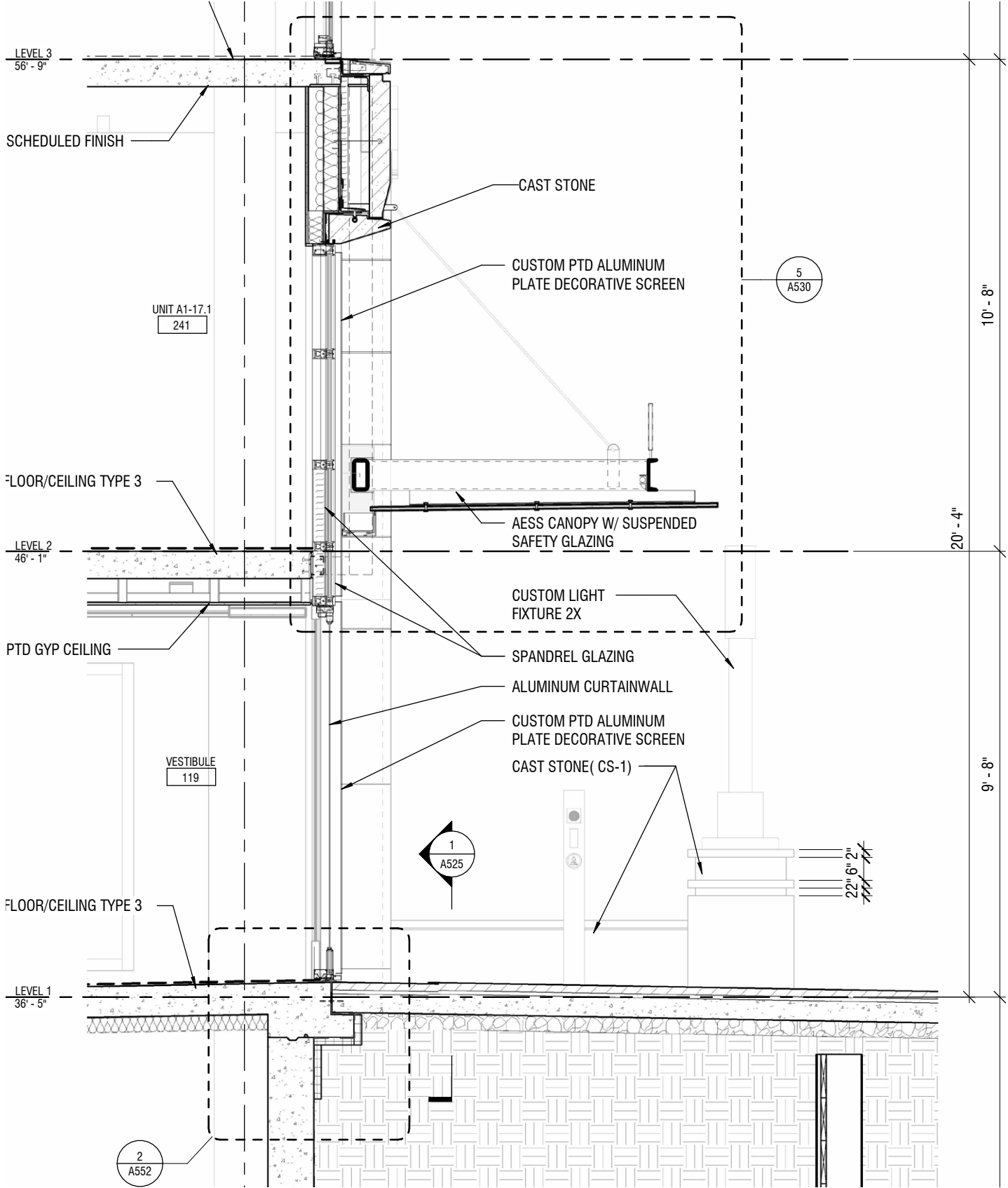


# CP VII COTTON ANNEX, LLC



ENTRY AXON

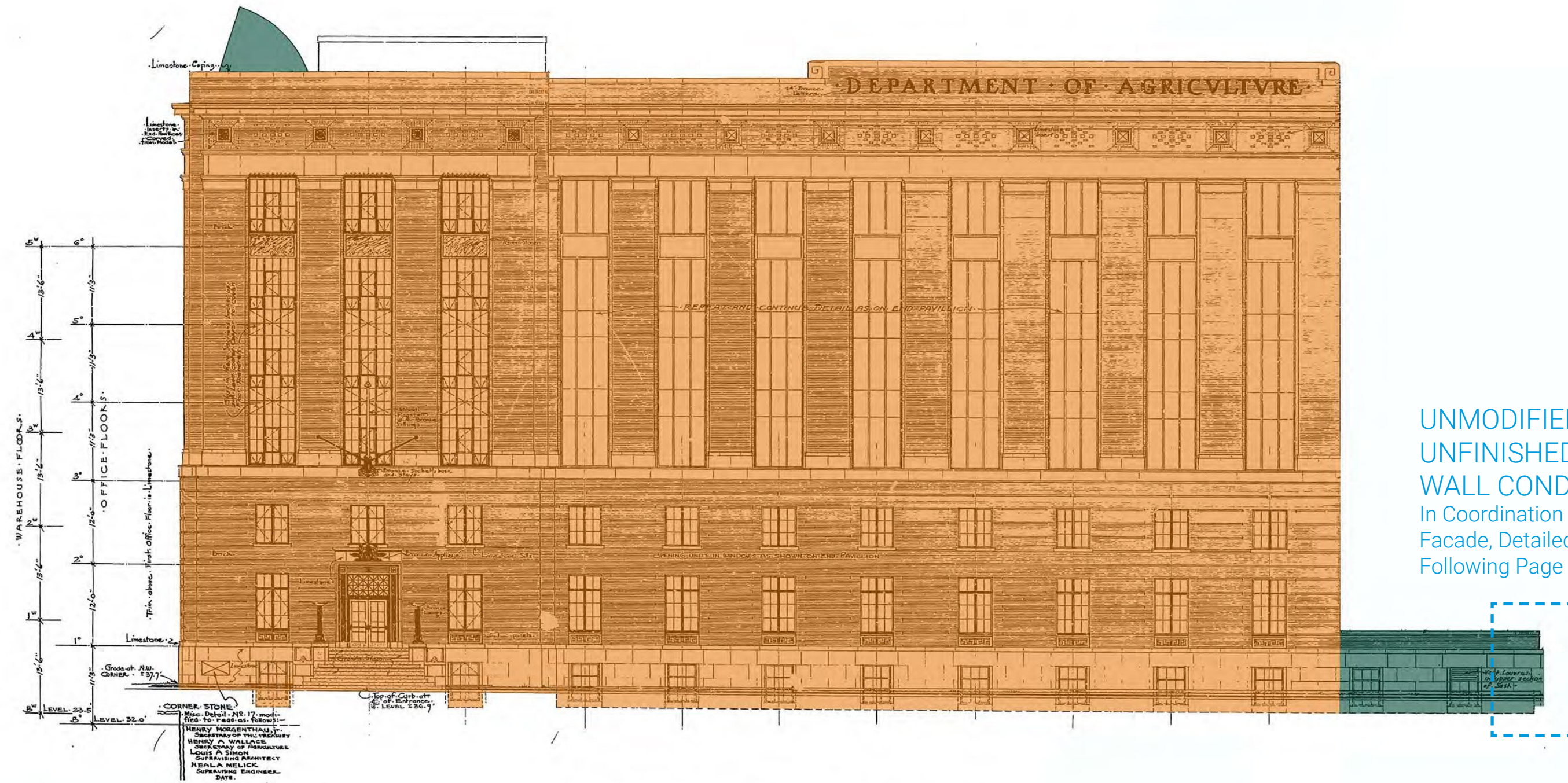
## 12TH ST. STREETScape



CANOPY SECTION



# CP VII COTTON ANNEX, LLC



UNMODIFIED  
UNFINISHED END-  
WALL CONDITION  
In Coordination w/ New  
Facade, Detailed on  
Following Page

TWELFTH STREET (WEST) ELEVATION  
Scale: 1/8" = 1'-0"

- Zone 1 (Restoration)
- Zone 2 (Rehabilitation)
- Zone 3 (Renovation)

## ZONE DIAGRAM



# CP VII COTTON ANNEX, LLC

Existing Materials and Profiles to be Relocated 2'-0" North, Aligned w/ New Precast Window Jamb



Concrete Support and Adjacent Slab to be Removed



UNMODIFIED UNFINISHED END-WALL CONDITION

## ZONE 2 WALL TERMINATION

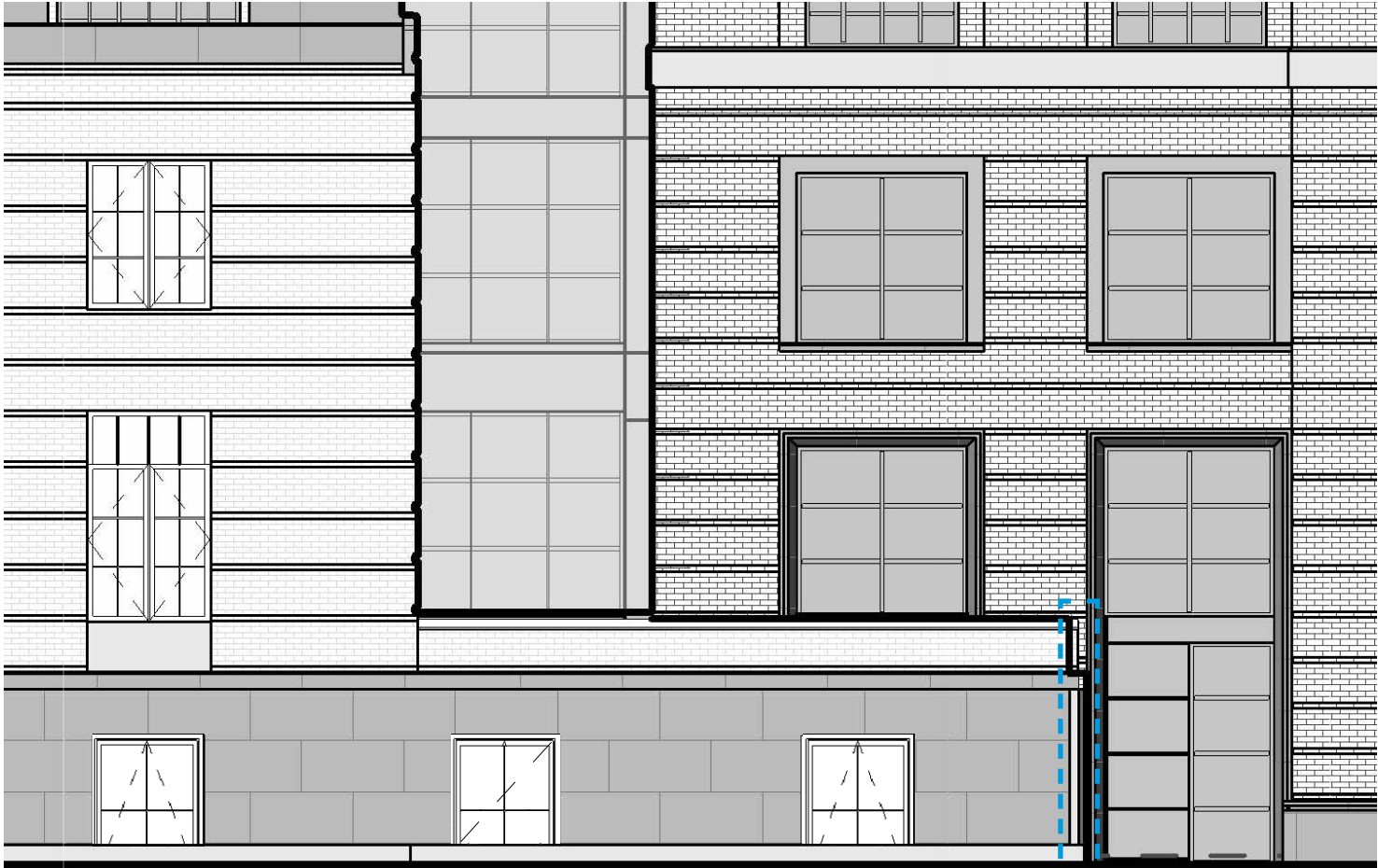


# CP VII COTTON ANNEX, LLC



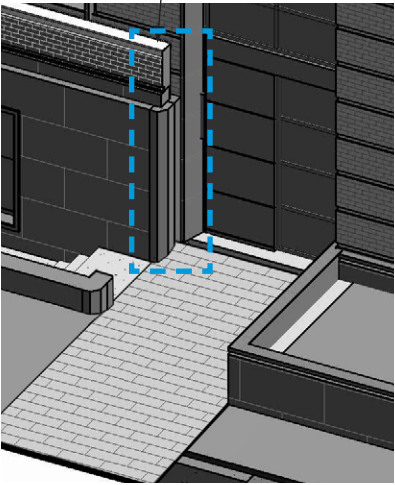
UNMODIFIED UNFINISHED END-WALL CONDITION OVERLAPPING NEW CONSTRUCTION

## ZONE 2 WALL TERMINATION



NEW PROPOSED INTEGRATED END-WALL CONDITION







- Primary Design Development:
1. Existing end-wall condition to be moved +/- 2'-0" north, aligning south face of wall with north face of adjacent new window precast jamb.
  2. Existing distance from limestone base to the brick above to be maintained.
  3. Existing concrete support behind limestone to be removed.
  4. New south face of wall to be clad with existing materials for seamless continuity of coursing as limestone and brick turn the corner.

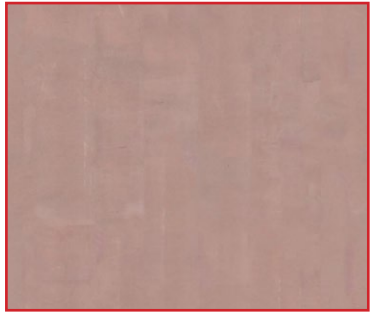


Area of Wall to be Moved



# CP VII COTTON ANNEX, LLC

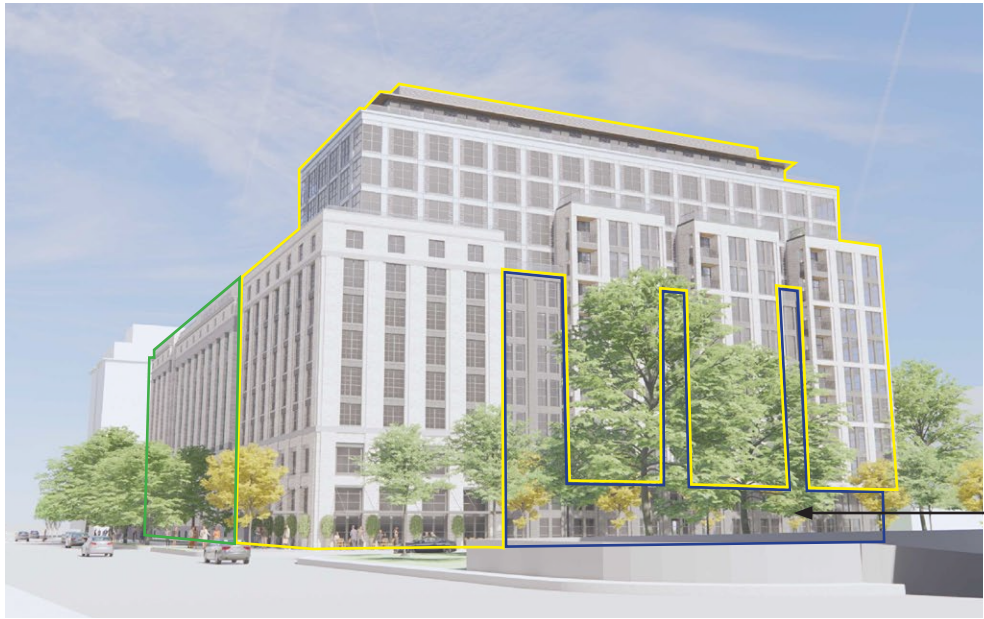
	
Face Brick Blend 1	Face Brick Blend 1
	
Face Brick Blend 1	Cast Stone 1 Sills, Banding, Coping, Water Table
	
Metal Wall Panel 1 And Adjacent Window Wall Color	Metal Wall Panel Profile Where Shown w/ Horizontal Shadow Lines



Metal Wall Panel 3



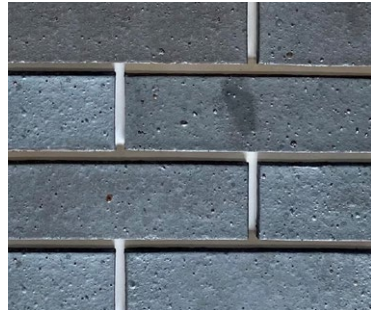
Historic Brick



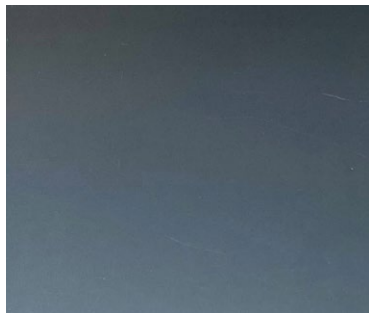
AS APPROVED PERSPECTIVES



Face Brick Blend 2



Face Brick Blend 2



Metal Wall Panel 2  
Primary Window  
Wall, All Misc. Metals:  
Canopy, Railings, Etc.



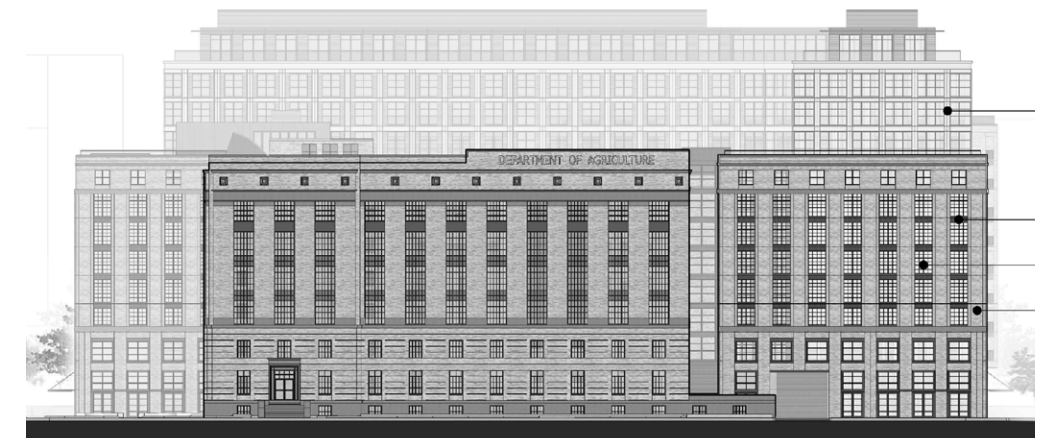
Cast Stone 2  
Sills, Banding



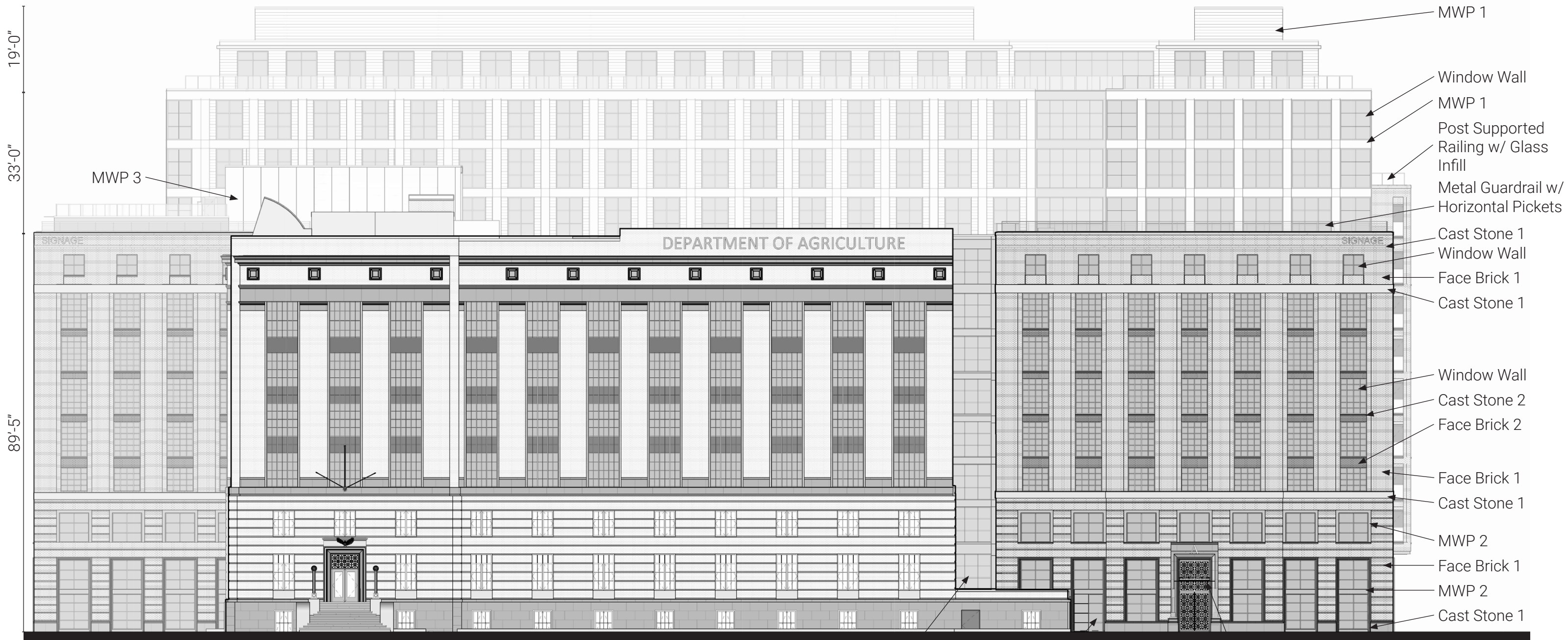
# CP VII COTTON ANNEX, LLC

## Primary Design Development:

1. Loading overhead door relocated to north elevation.
2. Primary residential entry relocated from recessed north west corner to street front at southern half of elevation.
3. Courtyard facade's inside corner fenestration updated to match approved north facade's inside corner fenestration.
4. All exterior signage locations per CFA standards and will be submitted at a future date.



01.21.2021 APPROVED WEST ELEVATION



REFINED WEST ELEVATION  
3/64" = 1'-0"

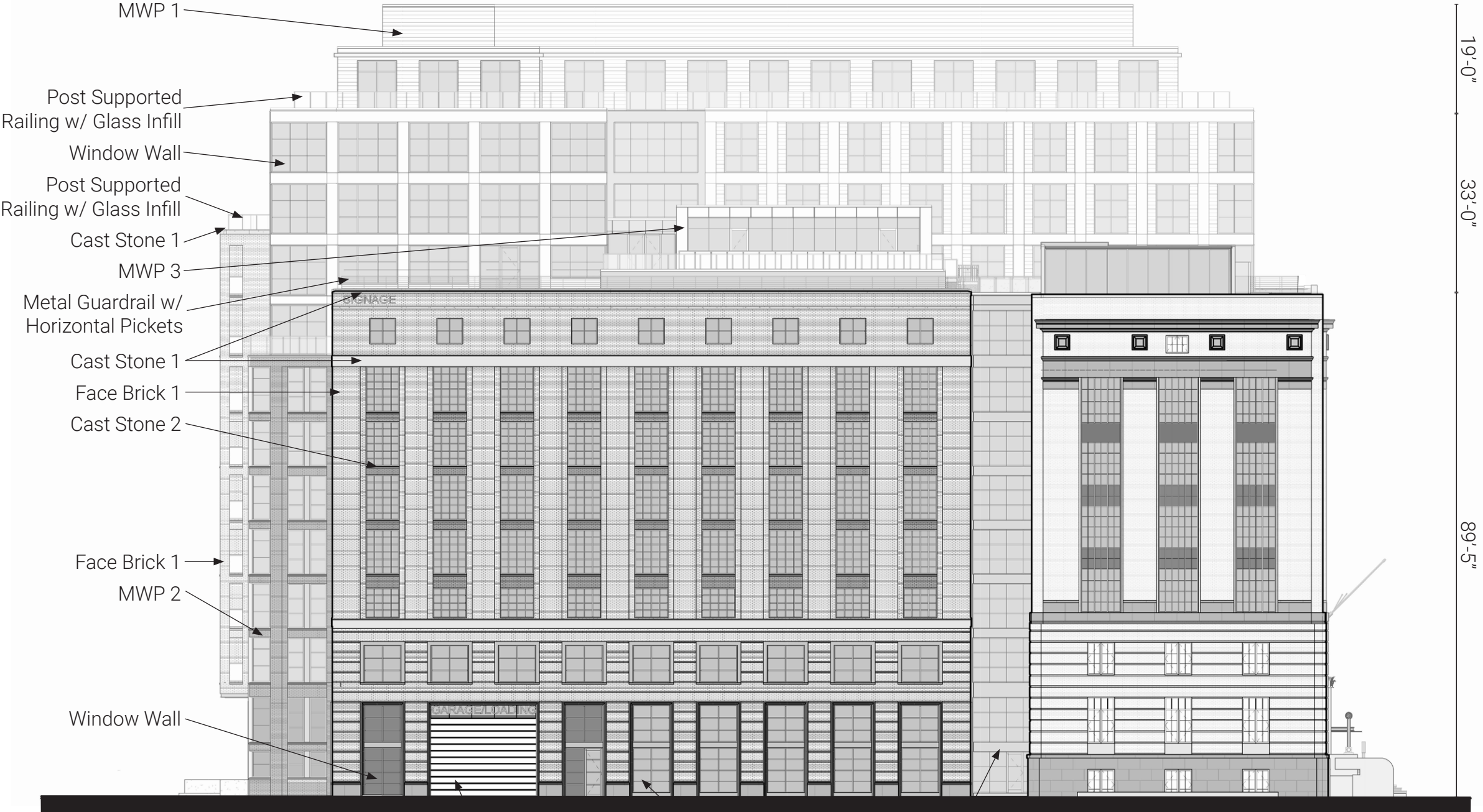


# CP VII COTTON ANNEX, LLC

Primary Design Development:  
 1. Loading/garage overhead door shifted one window west.  
 2. All exterior signage locations per CFA standards and will be submitted at a future date.



01.21.2021 APPROVED NORTH ELEVATION

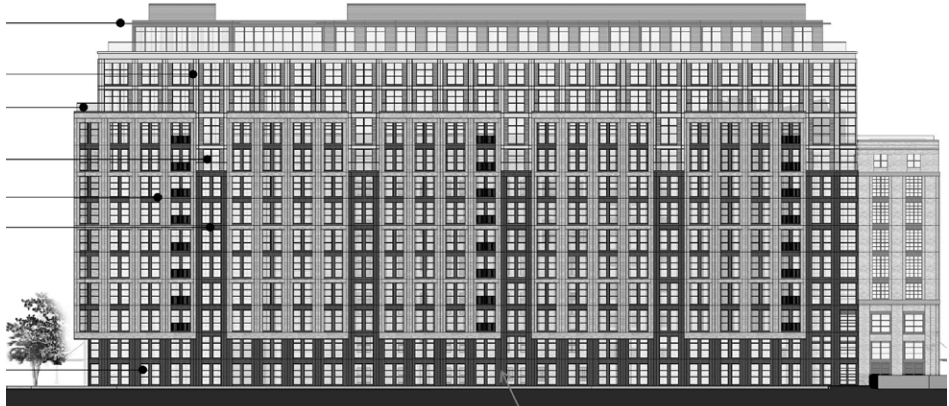


REFINED NORTH ELEVATION  
 3/64" = 1'-0"

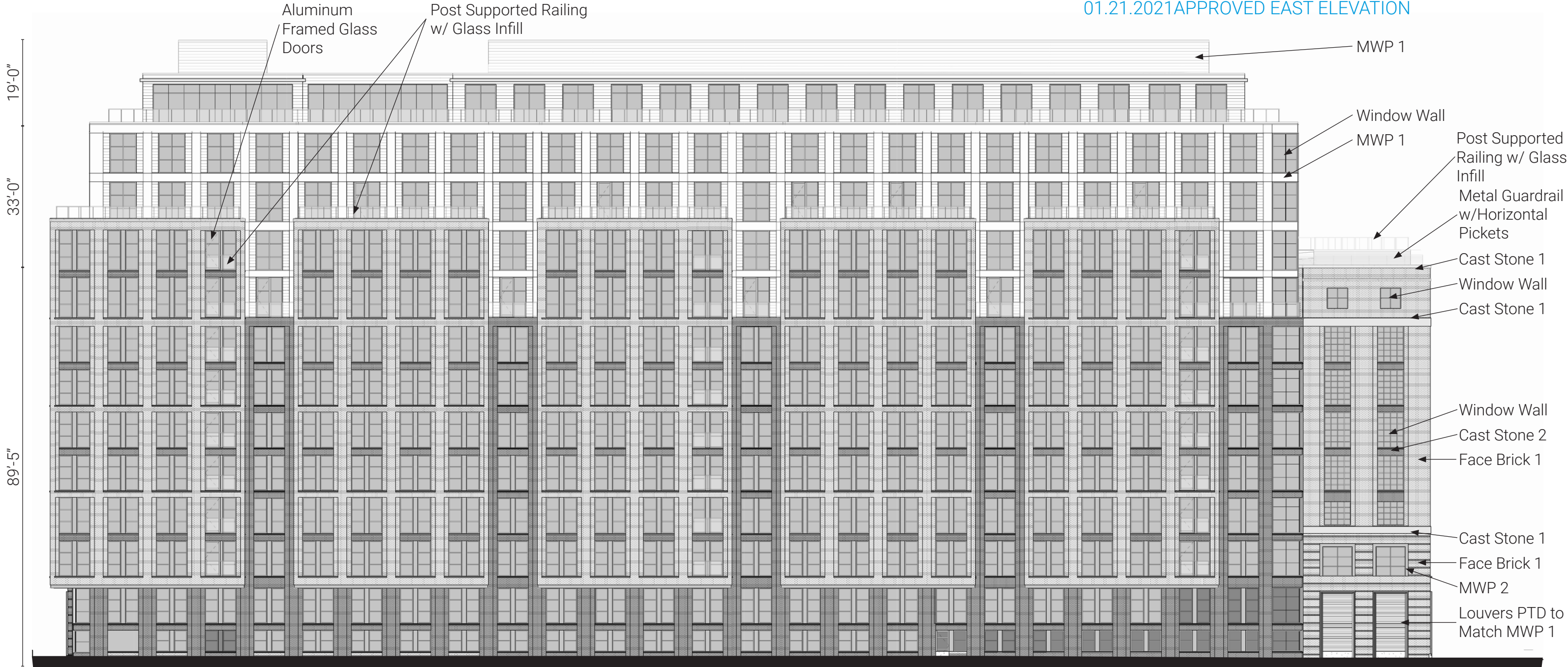


# CP VII COTTON ANNEX, LLC

Primary Design Development:  
 1. Spandrel panels shown at loading, and spandrel glass shown adjacent to garage entry ramp at north east corner.  
 2. All exterior signage locations per CFA standards and will be submitted at a future date.



01.21.2021 APPROVED EAST ELEVATION

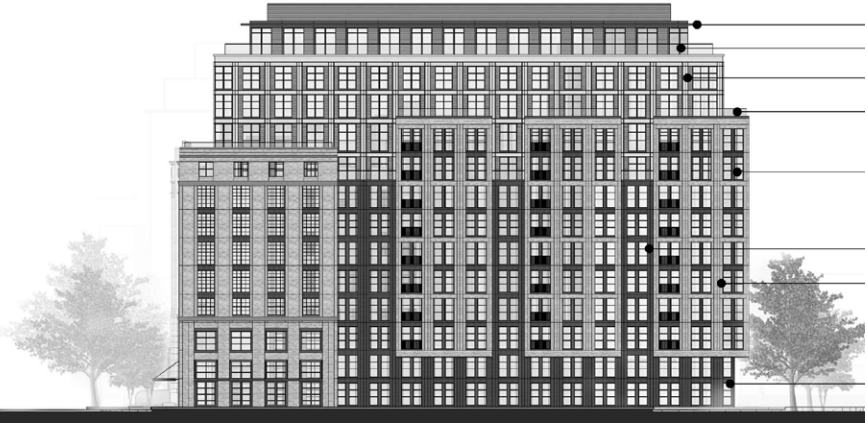


REFINED EAST ELEVATION  
 3/64" = 1'-0"

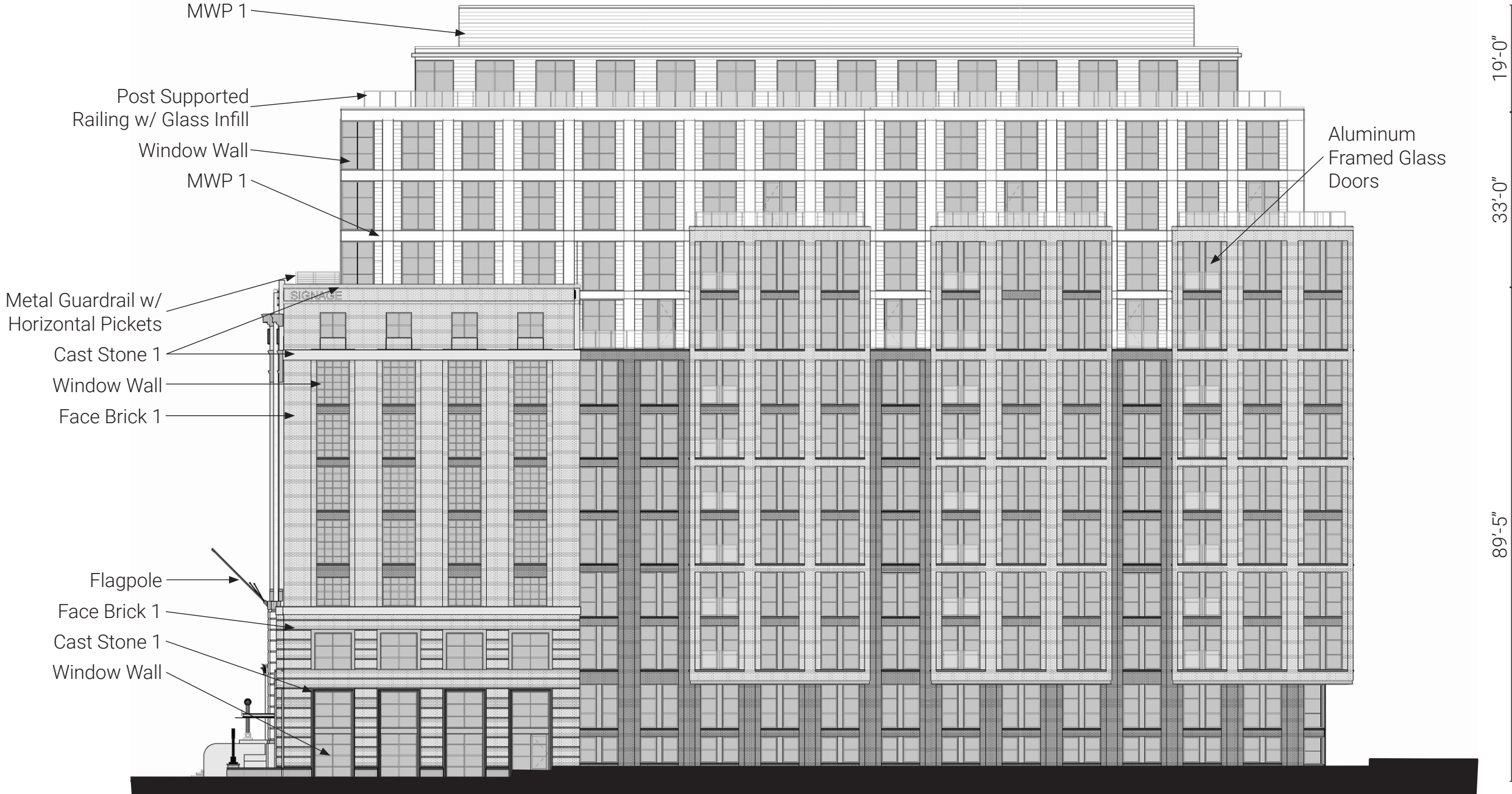


# CP VII COTTON ANNEX, LLC

Primary Design Development:  
 1. Grades updated to match existing condition.  
 2. All exterior signage locations per CFA standards and will be submitted at a future date.



01.21.2021 APPROVED SOUTH ELEVATION



REFINED SOUTH ELEVATION  
 3/64" = 1'-0"



# CP VII COTTON ANNEX, LLC



1.21.2021 APPROVED BAY DESIGN



REFINED BAY DESIGN

Metal Wall Panel Soffit w/ Edge Reveal Conceals Brick Shelf Angle

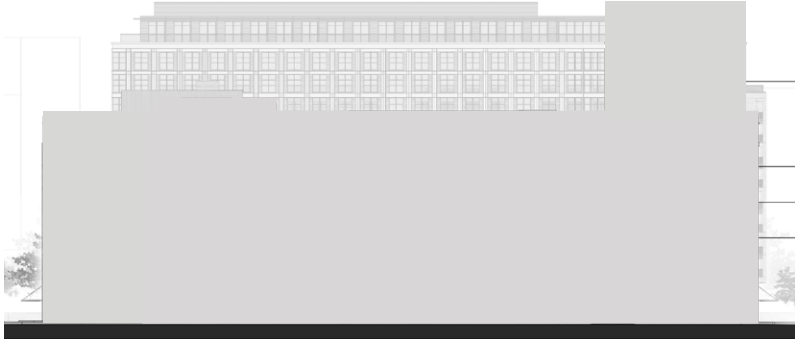
## SOUTH WEST BAY DESIGN



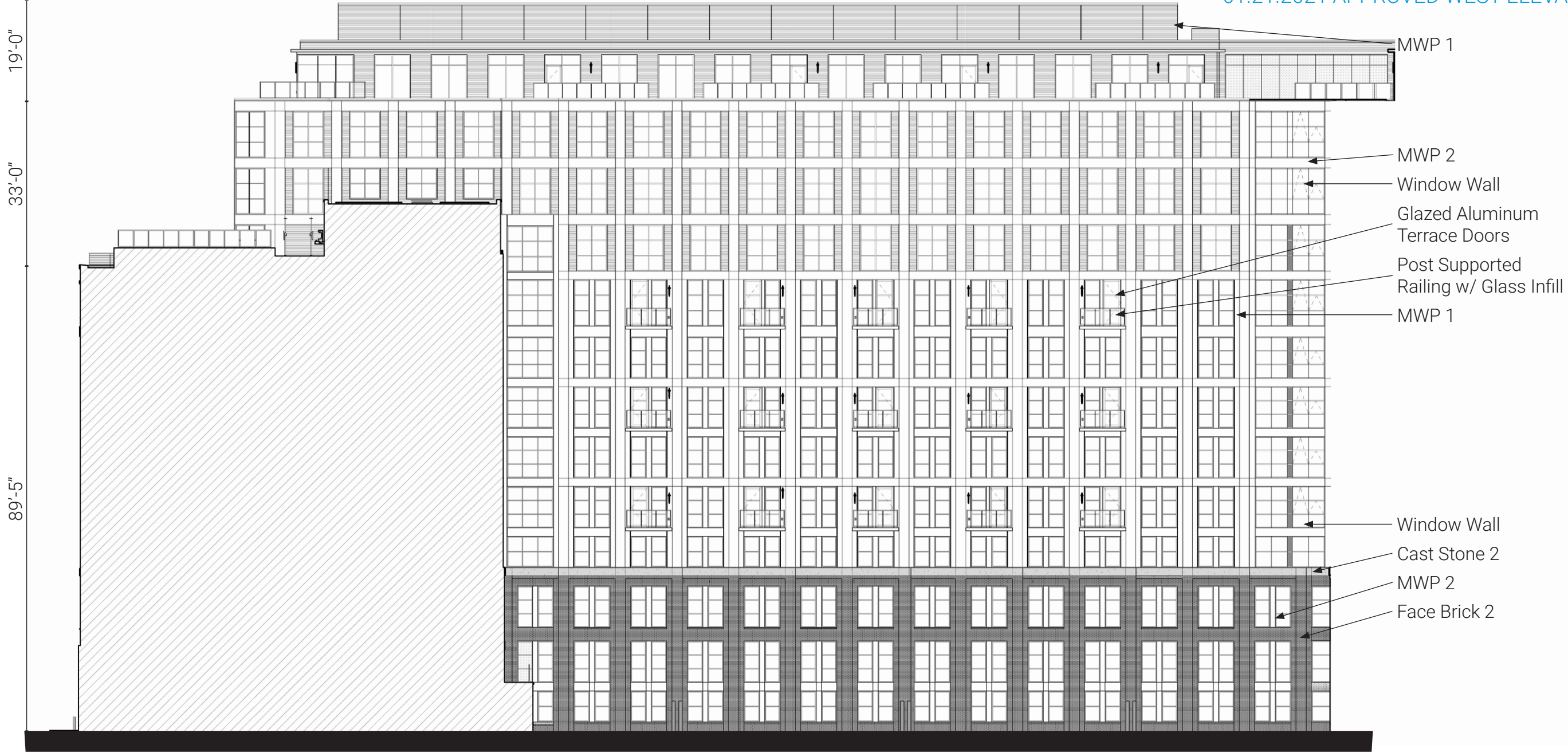
# CP VII COTTON ANNEX, LLC

**Primary Design Development:**

1. Carried design intent shown in top four levels of courtyard facade as shown in approved 12th St. Elevation down to courtyard level, employing base/middle/top articulation referential to new exterior facing facades.
2. Corner vertical fenestration updated to match approved north facing courtyard facade's corner fenestration.
3. All exterior signage locations per CFA standards and will be submitted at a future date.



01.21.2021 APPROVED WEST ELEVATION

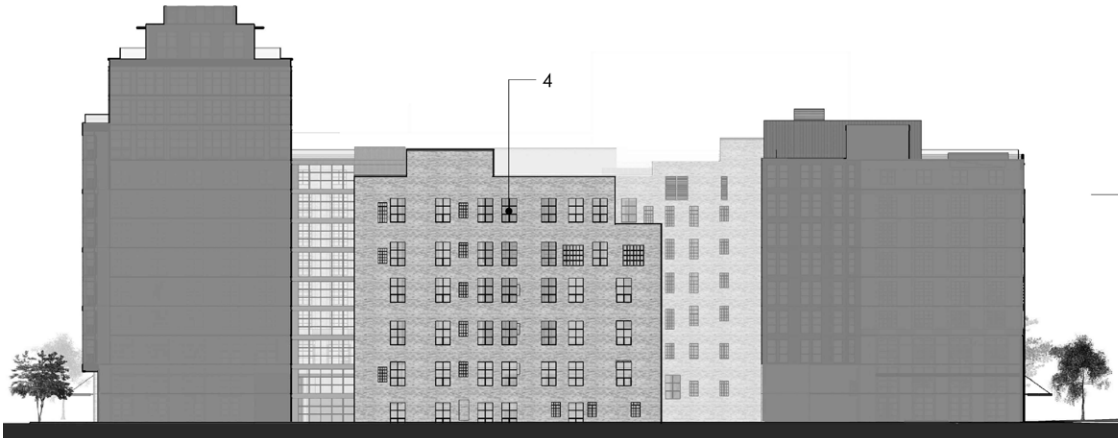


REFINED WEST ELEVATION  
3/64" = 1'

## COURTYARD NEW-CONSTRUCTION ELEVATIONS



# CP VII COTTON ANNEX, LLC



1.21.2021 APPROVED EAST ELEVATION

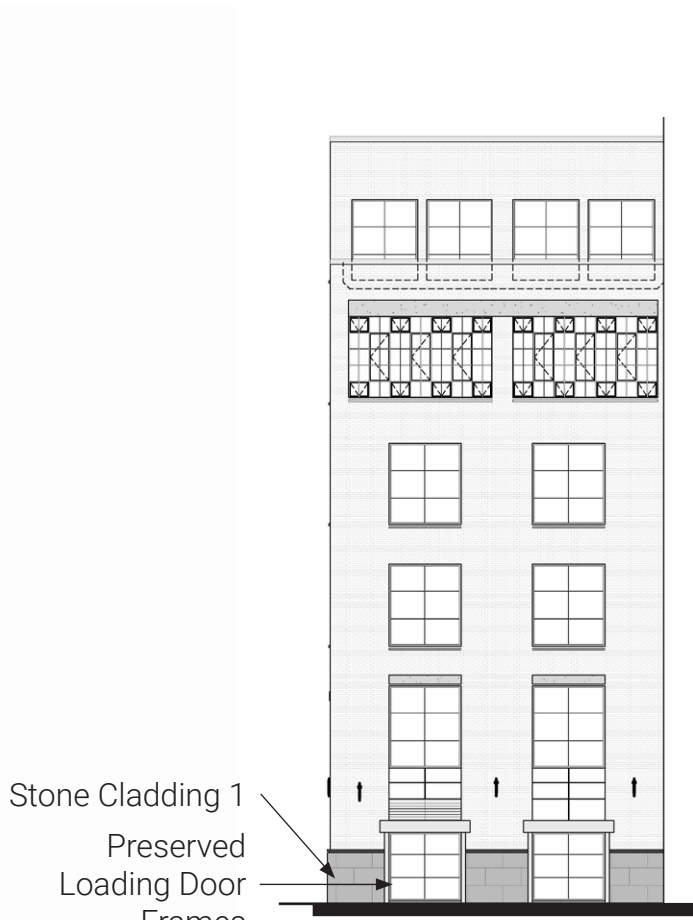
Primary Design Development:

1. New window locations respect and retain the majority of existing punched openings and load bearing masonry aesthetic, while providing adequate light and air for apartment living.
2. A water table is added to highlight the history that this portion of facade was originally below grade and has been revealed to provide at-grade indoor/outdoor connectivity.



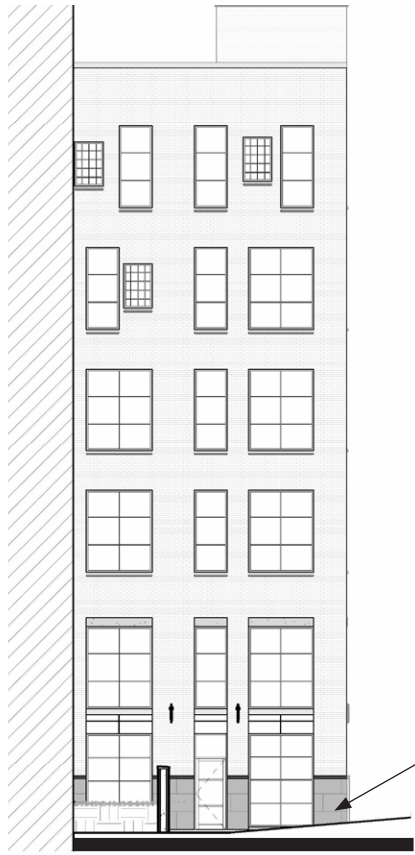
REFINED EAST ELEVATION

Cast Stone 1 Water Table



Stone Cladding 1  
Preserved Loading Door Frames

REFINED NORTH ELEVATION



Cast Stone 1 Water Table

REFINED SOUTH ELEVATION

## COURTYARD "WAREHOUSE" ELEVATIONS