



1200 Architectural Engineers PLLC



EHT Traceries Historic Preservation



# THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs

3700 Water Street NW Washington, DC

Old Georgetown Board US Commission of Fine Arts • Concept Design Submission Volume 1

October 17, 2024

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### Client

**Washington Canoe Club**  
3700 Water Street NW  
Washington DC 20007  
240-599-4729

### Architect

**CGSArchitects**  
2909 M Street NW  
Washington DC 20007  
202-965-7070

### Structural Engineer

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Alexandria, VA 22314  
703-350-4151

### Historic Preservation

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44 Massachusetts Avenue NW  
Washington DC 20001  
202-393-1199

### Civil Engineer

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900 7th Street, NW, Suite 800  
Washington, DC 20001  
202-898-1999



1920 Washington Canoe Club Regatta Awards



**THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs**  
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Concept Design Narrative and Phased Development Plan



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## Concept Design Narrative

### Project Description, Background and Design Approach

CGS Architects and our consultant team approached this project as a fresh opportunity to consider and achieve an innovative design solution that meets the goals, aspirations and requirements of The Washington Canoe Club, The National Park Service, and residents of the greater Washington DC area and beyond.

The Washington Canoe Club (WCC) Boathouse was constructed in 1904, with major additions in 1910 and 1920 and modifications through the 1970s. The character of the Boathouse changed significantly when the Washington Area Sewer Authority built the Dulles Interceptor sewer line in the late 1960s on the river (south) side of the Boathouse. The sewer line and concrete apron between the Boathouse and the Potomac altered the site significantly. To accommodate the construction of the new sewer line and concrete apron the first-floor elevation of the existing boathouse was raised and estimated twelve inches by flooding the first floor with concrete. The building was not raised. The exterior walls were shortened. Interior and exterior doorways were extended to allow access where needed or left short. The resulting changes caused the original building architectural proportionality to be lost.

The building is in poor condition, and the majority of the building has not been habitable since 2010 due to concerns about structural stability. WCC currently has access to the first floor of the East Bay. All other areas including all the second floor are closed. While efforts to temporarily shore the building have been undertaken, this project presents the first opportunity to repair and rehabilitation of the WCC Boathouse in accordance with the 60-year lease signed December 12, 2019. The project area is located within the legislative boundary of Chesapeake & Ohio Canal Historical Park (CHOH) in Georgetown, Washington, DC and is bounded by the Potomac River on the south and the Capital Crescent Trail on the North. The site is administered by CHOH and is leased by the Friends of the Washington Canoe Club. The proposed work will take place by WCC and its contractors working closely with NPS to assure compliance with NHPA and NEPA. The requirements associated with the Section 106 review process were completed in 2022.

The proposed project's focus and main goals are to make necessary and immediate structural repairs to the West Bay structure, allow for the use of the first floor of the West Bay for storage and facilities, allow for continued use of the East Bay, and to restore the exterior of the boathouse. The level of work required to preserve the Boathouse's place of prominence along the Georgetown waterfront is significant. Initial efforts will focus on stabilization of existing elements with flood resiliency and code compliance in mind.

### Proposed Project Scope (Phase 1) :

In 2022, as part of the required Section 106 process, WCC presented a Phased Comprehensive Boathouse Rehabilitation Plan. WCC remains committed to the long-term plan and worked entailed therein, including raising the building and razing and reconstructing the East Bay. Due to extenuating circumstances, however, WCC and its architectural and engineering consultant team have revised plans for an initial Phase I of the project.

Phase I will repair portions of the boathouses' deteriorated structural framing primarily at the West Bay and areas of the East Bay exterior walls. Some changes to the interior functional spaces are anticipated along with the incorporation of new materials to replace failed elements and to improve resiliency to flood waters. This work will retain original fabric where possible while being sympathetic to the historic character of the property. Changes include installation of a restroom on the first floor to meet the Americans with disabilities Act (ADA), creating temporary gender specific locker rooms and facilities and to accommodate membership needs. The proposed locker rooms in this phase are intended to be removed in a future phase. Access to the second floor is not anticipated in this phase. Any work at the second floor will be in support of structural stabilization and first floor occupancy

The building exterior, including wall wood shingling and trims; wood windows that are currently boarded up; and doors and will be fully restored and painted. Where materials are beyond repair, they will be replaced in kind meeting recognized and required preservation standards. The existing masonry chimneys will be stabilized. The existing deteriorated corrugated metal and tar paper roofing, flashings and trim will be removed, repairs made, and new roofing installed. New metal gutters and downspouts are anticipated matching the removed originals.

New utilities will be installed as necessary to meet the proposed project scope. Site work in this phase may include regrading to direct water around the building. To mitigate observed water infiltration into the building a subsurface drainage system will be considered located along the north side of the building. Once the West Bay boat first floor storage bay is accessible for use a reorganization of the outdoor boat storage areas is anticipated, new fencing, and appropriate planting of native species may be installed. All work will maintain as much historic fabric as possible and will be sympathetic to the character defining features of the building and its significance as an individual landmark and contributing resource to the Georgetown Historic District.

### Future Phases :

Future phases anticipate elevating the West Bay structure to improve flood resiliency by elevating the second floor above the anticipated 100-year flood level. To achieve this goal new deep foundations and first floor internal structure will be required. This effort will also reestablish the original proportionality of the building elevations which was lost when the Dulles Interceptor was constructed, and the site raised around the building including changing the first-floor elevation. Removal of the circa 1920s East Bay, which recent structural assessments conclude has lost most of its historic fabric over time to past repair efforts is planned. The existing East Bay would be replaced with a new structure similar in exterior appearance but organized with different internal spaces. New deep foundations will be required for the entire existing and new construction. The second floor of the boathouse will be restored and reorganized. Plan changes anticipate the installation of an elevator to meet the Americans with disabilities Act (ADA), moving the kitchen to the second floor, updating the locker room layouts to accommodate membership needs and ADA requirements, and addressing fire and accessibility codes by improving ingress and egress routes.

### Design and Construction Challenges

- Deteriorated building conditions
- Preservation requirements
- Flood resilient design
- Phased construction
- Site water infiltration
- Site and building accessibility
- Building egress
- Mechanical ventilation and limited conditioning
- Fire protection
- Site and building security

### Design Goals

- Restore and repair the National Landmark Structure
- Reinforce the existing structure to create flood resilience
- Respect the existing built and natural context
- Create unique and identifiable destination
- Maximize the site for outdoor use while enhancing views
- Recreate a source of pride for Washington Canoe Club and Community
- Design that enhances and promotes a positive Club Member experience
- Energy and resource efficient design
- Follow established sustainable design principals
- Cost efficient design
- Design that promotes low maintenance costs





## Anticipated Phased Development Plan

### Preconstruction Phase

Engage CGS Architects and 1200 Architectural Engineers (structural) for Concept Design Phase Services  
COMPLETE

Civil Engineering Concept Design Phase and Site Survey  
PLANNED COMPLETION 8/2021

Geotechnical Engineering Survey  
COMPLETE

Phase 1 Environmental Site Assessment  
COMPLETE

Install CCTV security monitoring system  
COMPLETE

Survey existing temporary structural shoring to confirm whether West Bay first floor occupancy is possible.  
PLANNED COMPLETION - To Be Determined

Complete temporary repairs existing exterior envelop including roof, walls, windows and doors to create secure envelope.  
PLANNED COMPLETION - To Be Determined

Meet with DCRA and DOEE staff to review development plans  
PLANNED ENGAGEMENT - On Going

Meet with Community and Historic Preservation Stakeholders to review Concept Design  
PLANNED ENGAGEMENT - On Going

### Proposed Project Scope :

#### West Bay

1. Replace and or repair deteriorated structural framing at first and second floors as required.
2. Fully restore the existing exterior envelope including walls, shingling, trims, windows, doors, building materials and finishes per published NPS Preservation Guidelines.
3. Fully restore the existing interior areas at the first within areas indicated in plans per published NPS Preservation Guidelines.

4. Construct temporary men's and women's accessible restrooms and locker room in the area of existing kitchen and support spaces.
5. Upgrade existing and or install new electrical, plumbing, and security services as may be required.
6. Install foundation drainage system(s) along the north wall to prevent or limit water migration through the building.

#### East Bay

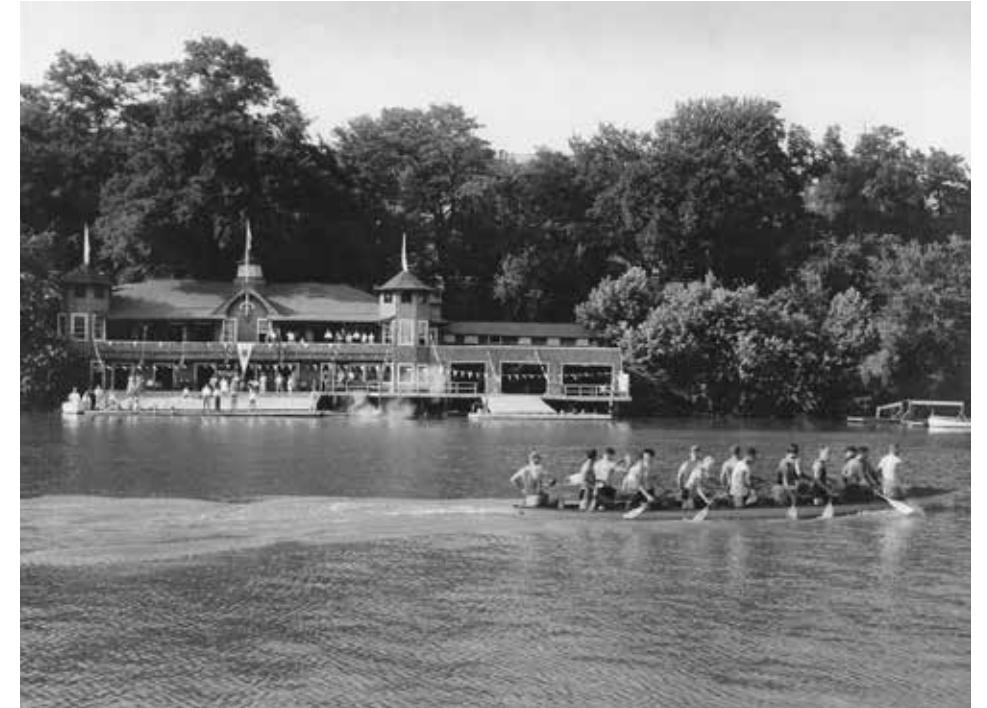
1. Replace and or repair deteriorated structural framing at first and second floors as required.
2. Fully restore the existing exterior envelope including walls, shingling, trims, windows, doors, building materials and finishes per published NPS Preservation Guidelines.
3. Upgrade existing and or install new electrical, plumbing, and security services as may be required.
4. Install foundation drainage system(s) along the north wall to prevent or limit water migration through the building.

#### Site

1. Organize and optimize outdoor boat storage and outdoor recreational areas after water craft is moved in reoccupied west bay.
2. Construct new perimeter fencing.
3. Clear invasive species and install native plantings.

#### Future Phases

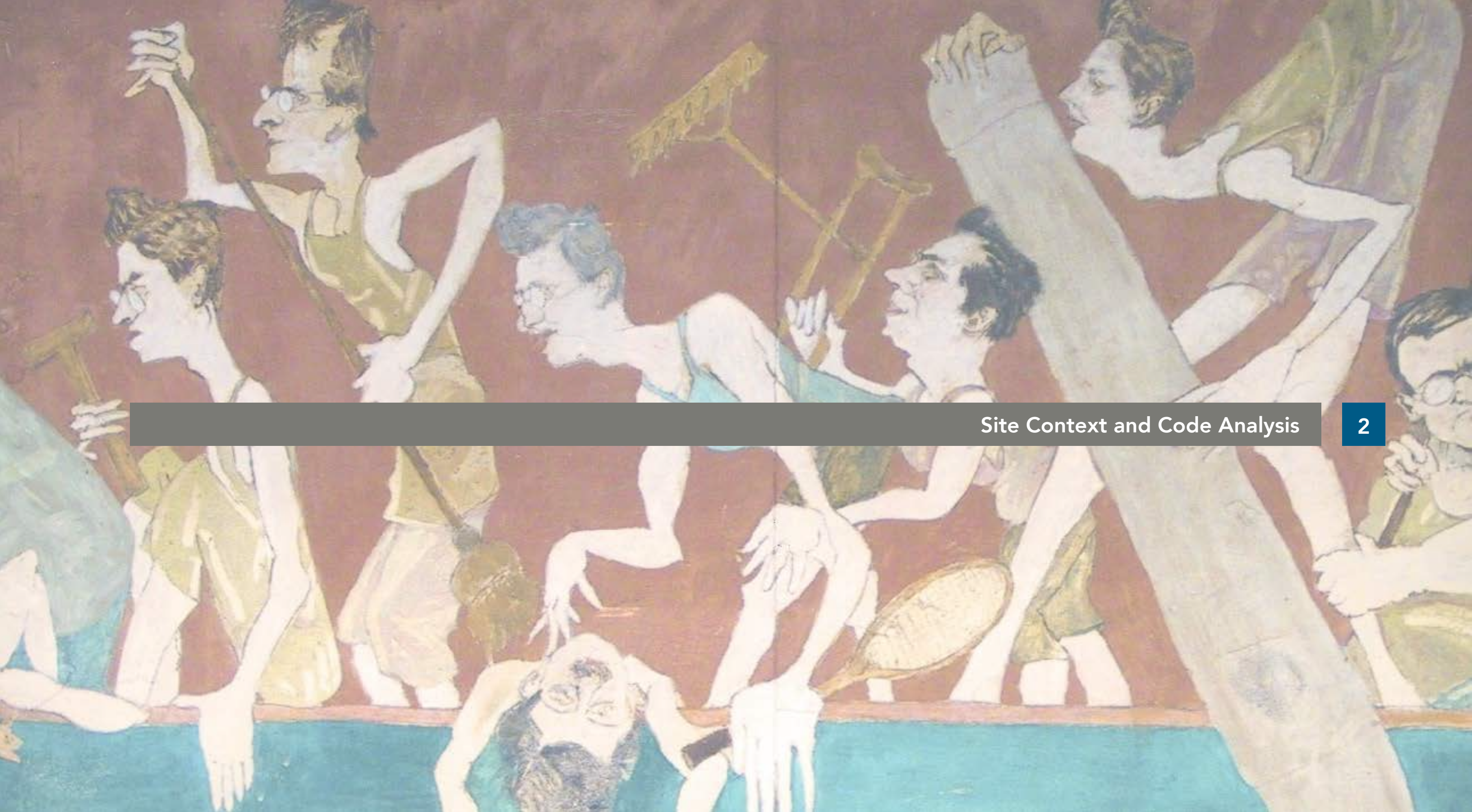
1. WCC presented a Phased Comprehensive Boathouse Rehabilitation Plan to the National Park Service and District of Columbia historic review agencies in 2022. WCC remains committed to the long-term plan and worked entailed therein. However, due to extenuating circumstances, WCC and its architectural and engineering consultant team have revised plans for an initial Phase 1 of the project.



c. 1958











## Vicinity Plan

### Key

1. Washington Canoe Club
2. Potomac Boat Club
3. Boating in DC Rentals
4. Alexandria Aqueduct Abutment
5. Capital Crescent Trail
6. C&O Canal
7. Canal Road NW
8. Georgetown University
9. Francis Scott Key Bridge
10. Francis Scott Key Memorial
11. Whitehurst Freeway NW
12. Georgetown Waterfront Park
13. M Street NW



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## Applicable Building Codes and Standards

Construction in a Flood Hazard Area is highly technical undertaking with several entities having jurisdiction. The following Codes and Standards represent some of the requirements. Additional detailed requirements will be observed as the project progresses into technical project phases.

### Building Codes

DC Building Code 2017

The 2017 District of Columbia Construction Codes, hereinafter referred to as the "Construction Codes," shall consist of:

1. The International Building Code (2015) published by the International Code Council, Inc. (ICC).
2. The International Residential Code (2015) published by the ICC.
3. The National Electrical Code (2014) published by the National Fire Protection Association (NFPA).
4. The International Fuel Gas Code (2015) published by the ICC.
5. The International Mechanical Code (2015) published by the ICC.
6. The International Plumbing Code (2015) published by the ICC.
7. The International Property Maintenance Code (2015) published by the ICC.
8. The International Fire Code (2015) published by the ICC.
9. The Energy Standard for Buildings Except Low-Rise Residential Buildings (ANSI/ ASHRAE/IES 90.1—2013) published by ASHRAE (formerly known as the American Society of Heating, Refrigeration and Air-Conditioning Engineers, Inc.) and the International Energy Conservation Code—Residential Provisions (2015) published by the ICC.
10. The International Existing Building Code (2015) published by the ICC.
11. The International Green Construction Code (2012) published by the ICC.
12. 2010 ICC A117.1 Accessible and Usable Building and Facilities 2010 Americans with Disabilities ADAAG Requirements

All additions, insertions, and deletions to the Model Codes, as identified in the District of Columbia Construction Codes Supplement of 2017 (the Construction Codes Supplement), codified in Title 12 of the District of Columbia Municipal Regulations (DCMR)

### Design Standards

Design Wind Speed	90 mph, 3 second burst
Frost Depth	24 inches below grade
Ground Snow Load	43 psf
Seismic Design Category	B
Winter Design Temperature	16 degrees F
Termite	Moderate /Heavy
Weathering	Severe

### Building Code Summary

Building Use and Occupancy	Existing A-3, Assembly Group
Construction Type	Type V Wood Frame Construction Interior
Finishes	Existing Class C
Fire Protection System	Existing, not suppressed Proposed, full suppression

### Relevant Code Sections

Title 20 DCMR, "Environment," Chapter 31, "Flood Hazard Rules" in its entirety including Sections 3100-3113 and 3199

#### 3105 TECHNICAL PROVISIONS

- 3105.3 Within SFHAs, the lowest floor (including basement) of any new construction of, or substantial improvement to, non-residential structures shall be at least one and one-half feet (1-1/2 ft.) above the base flood elevation or be designed and constructed to be floodproofed during any flood up to that height. Elevation and floodproofing shall be verified by an Elevation Certificate (FEMA Form 81-31) and a Floodproofing Certificate (FEMA 81-65), or their latest available versions from [www.fema.gov](http://www.fema.gov).
- 3105.4 For any new construction of, or substantial improvement to, non-residential structures within SFHAs, enclosed space below the lowest floor (including basement) which will be used solely for the parking of a vehicle, building access, or incidental storage in an area other than a basement, shall be designed and constructed to allow for the automatic entry and exit of flood waters for the purpose of equalizing hydrostatic forces on exterior walls.
- 3105.5 Any non-residential structure, or part thereof, which will not be completely or adequately elevated, shall be designed and constructed to be floodproofed in accordance with the standards contained in the publication entitled "Non- Residential Floodproofing – Requirements and Certification (Technical Bulletin 3-93)" or its latest available version by FEMA from [www.fema.gov](http://www.fema.gov), or some other equivalent standard for that type of construction. Designs shall be certified by a District registered professional engineer or architect, and floodproofing shall be verified by a Floodproofing Certificate (FEMA 81-65) or its latest available version from [www.fema.gov](http://www.fema.gov).

Special Flood Hazard Areas (SFHA)

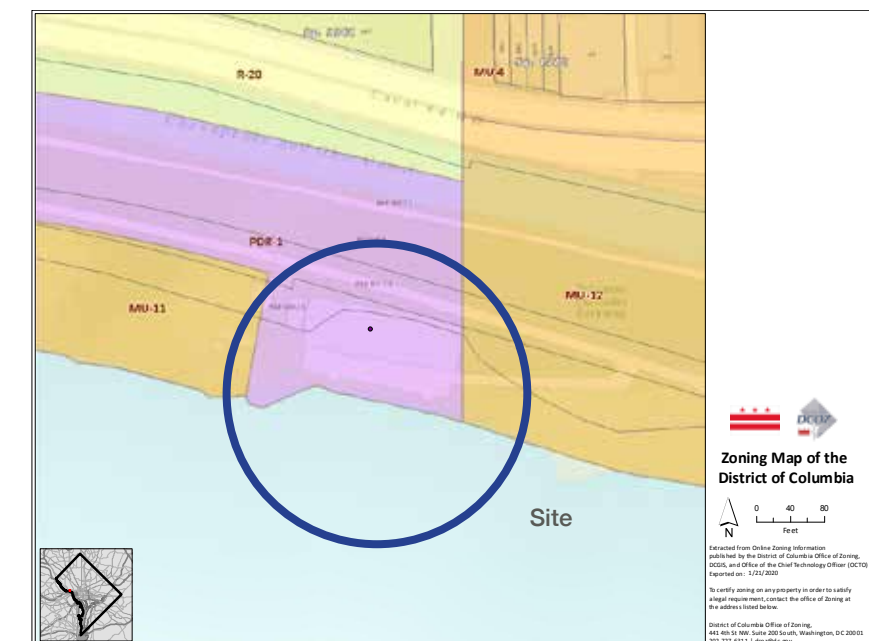
### Other Standards

U.S. Department of the Interior - Guidelines on Flood Adaptation for Rehabilitating Historic Buildings, 2021  
FEMA Referenced Guides and Technical Bulletins including but not limited to:

FEMA MT-1 Technical Guidance - Guidance for Flood Risk Analysis & Mapping  
FEMA Technical Bulletin 2 - Flood Damage-Resistant Materials Requirements  
Applicable National Flood Insurance Program Regulations including:  
60.3 - Flood plain management criteria for flood-prone areas for non residential structures  
ASCE 24: Improving the Performance of Buildings and Structures in Flood Hazard Areas

### Zoning Code Summary

Address	3700 Water Street NW
Owner	United States of America
Leasee	Washington Canoe Club
Owner Address	Unavailable
Square, Lot, Suffix	PAR 03000001
Zone District	PDR -1, Planned Distribution and Repair MU-12, Mixed Use Zone 12
Historic Landmark	Washington Canoe Club
Historic District	Georgetown Historic District Chesapeake and Ohio Canal National Historical Park



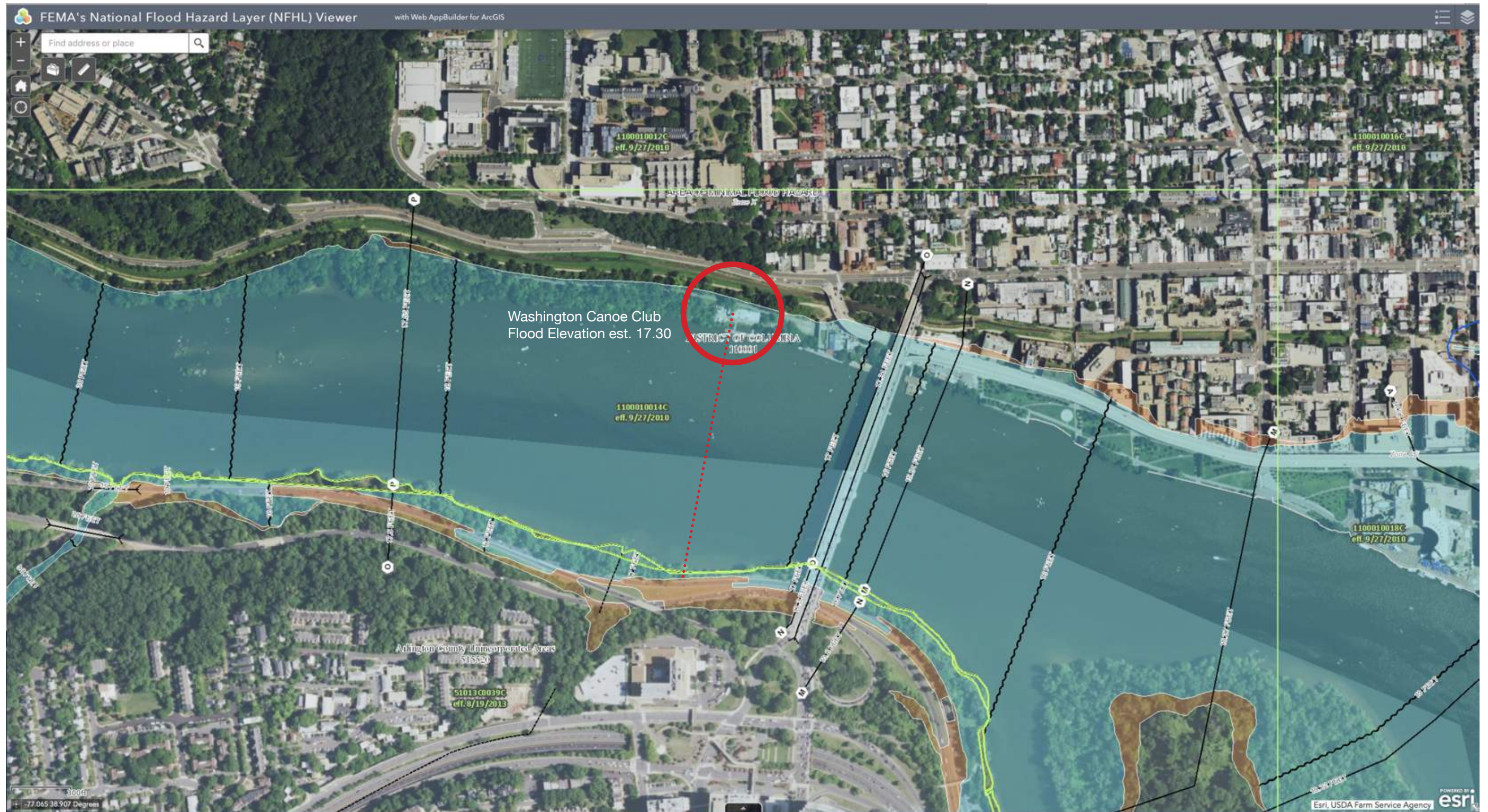
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FEMA Flood Insurance Risk Map (FIRM) 2016

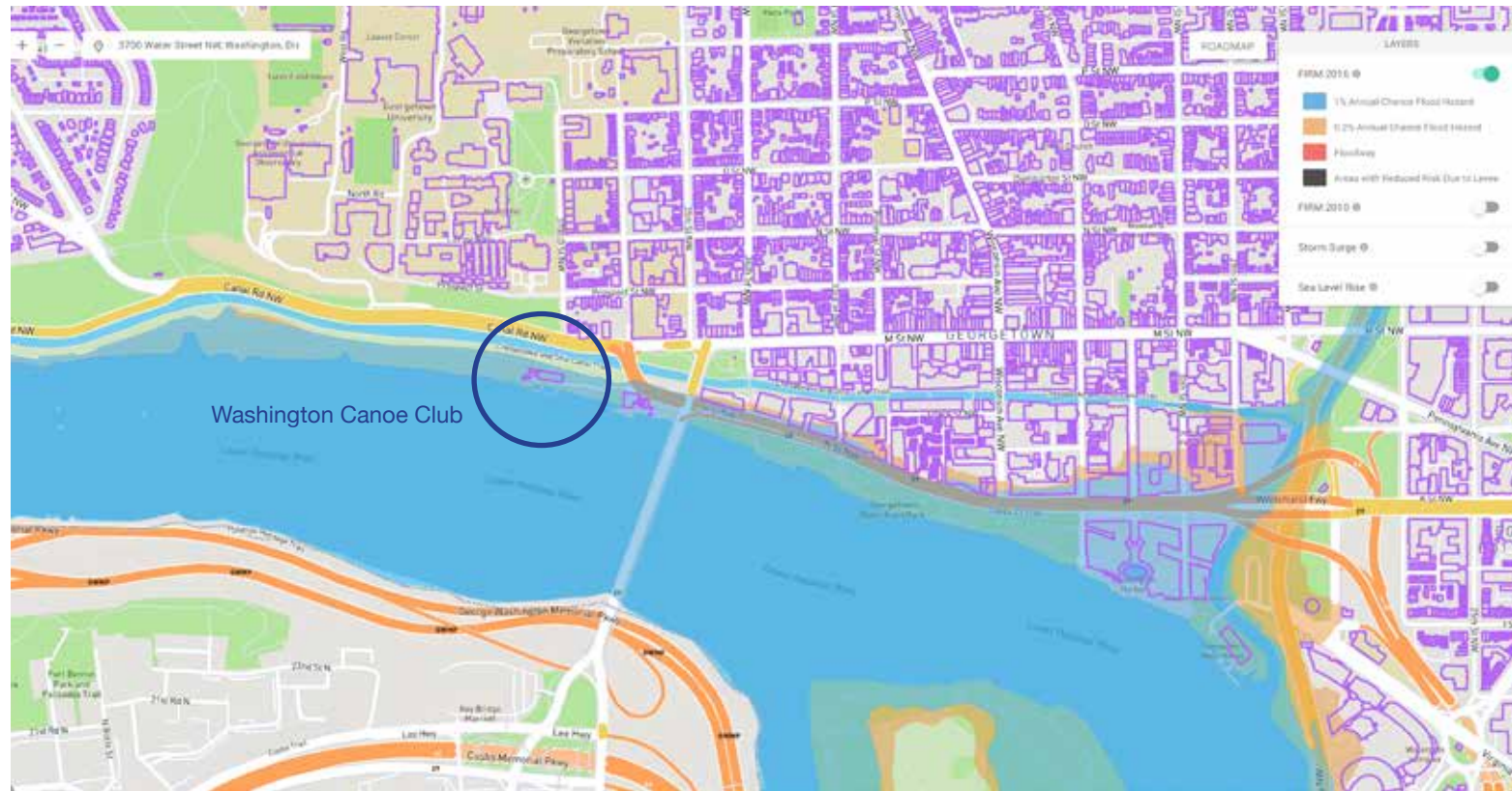


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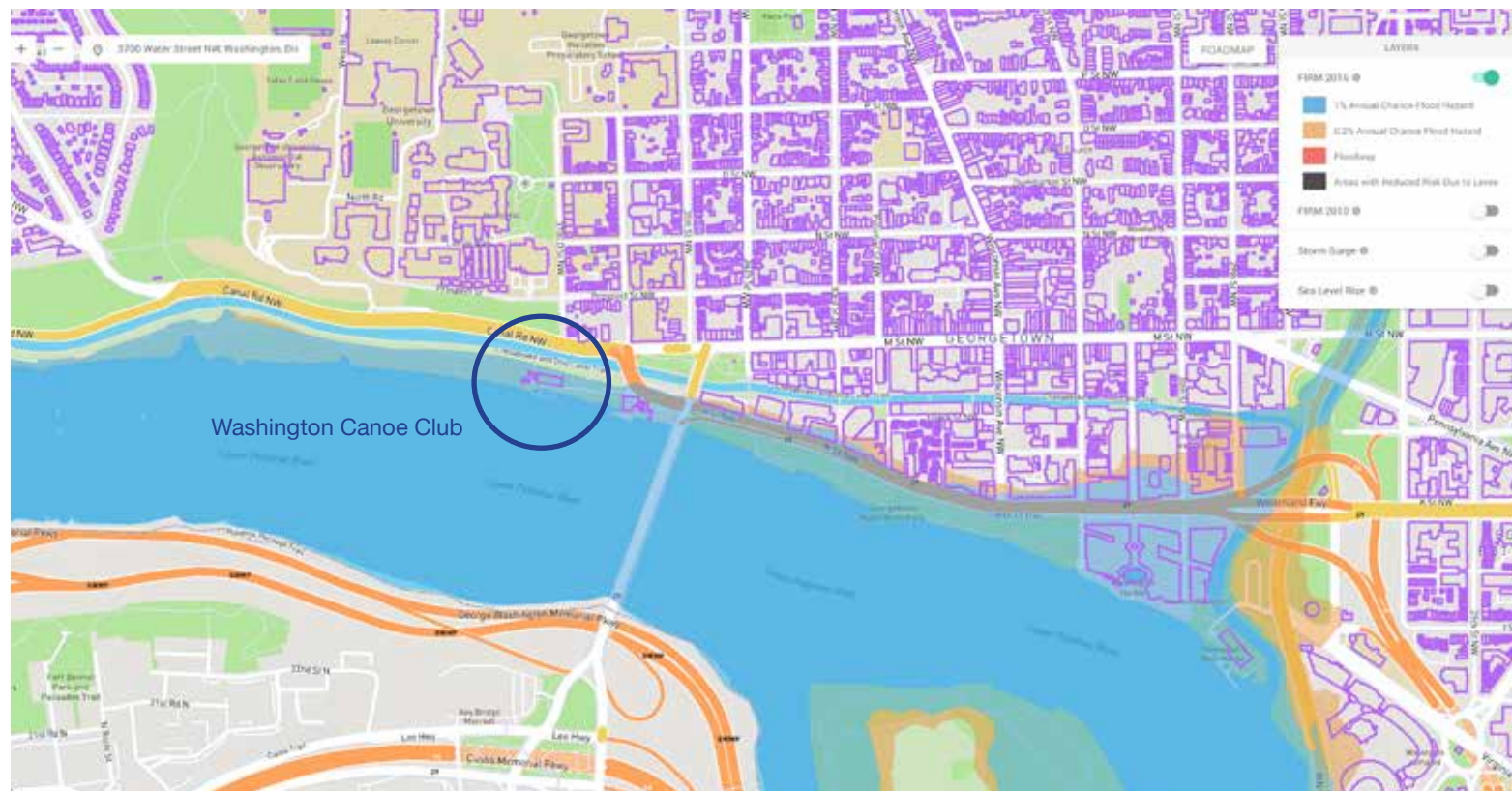
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FIRM 2016 Predicted Flood Event



FIRM 2016 - Predicted Storm Surge



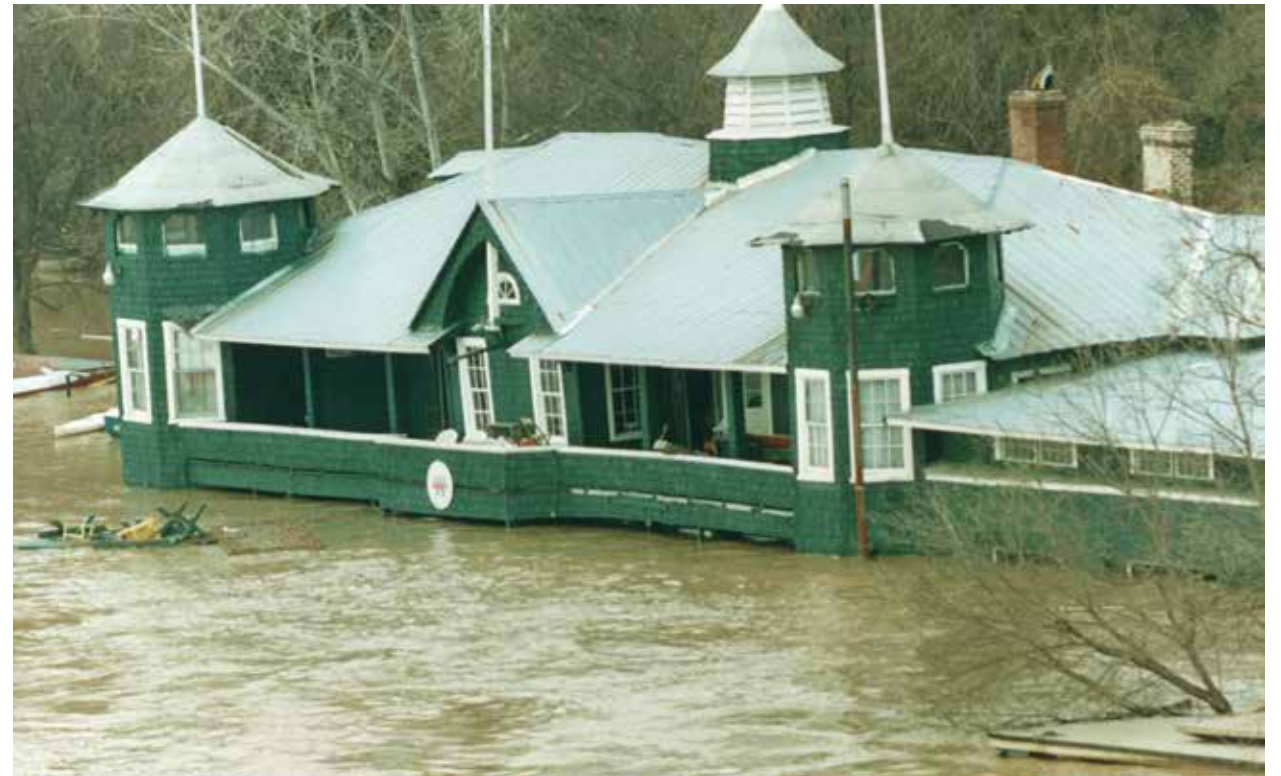
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Historic Flooding



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## Existing Site Photographs

### Key

1. View from Key Bridge
2. View east from up river
3. View east from Capital Crescent Trail
4. View from C&O Canal
5. View from C&O Canal

1



2



3



4



5



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Washington Canoe Club 2024



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**Existing Exterior Conditions**

**Key**

- 1. East entry
- 2. River elevation from east
- 3. River elevation from west
- 4. Southwest corner detail
- 5. River elevation from west
- 6. Detail at balcony and turret
- 7. Second floor detail
- 8. First floor storage bay doors
- 9. North elevation to west
- 10. North elevation to east







**Existing Interior Conditions**

**Key**

- 1. Main entry Hall
- 2. Typical damage at entry Hall
- 3. Kitchen
- 4. Hall from Kitchen to East Bay
- 5. Typical damage at Kitchen
- 6. Grille Room Windows







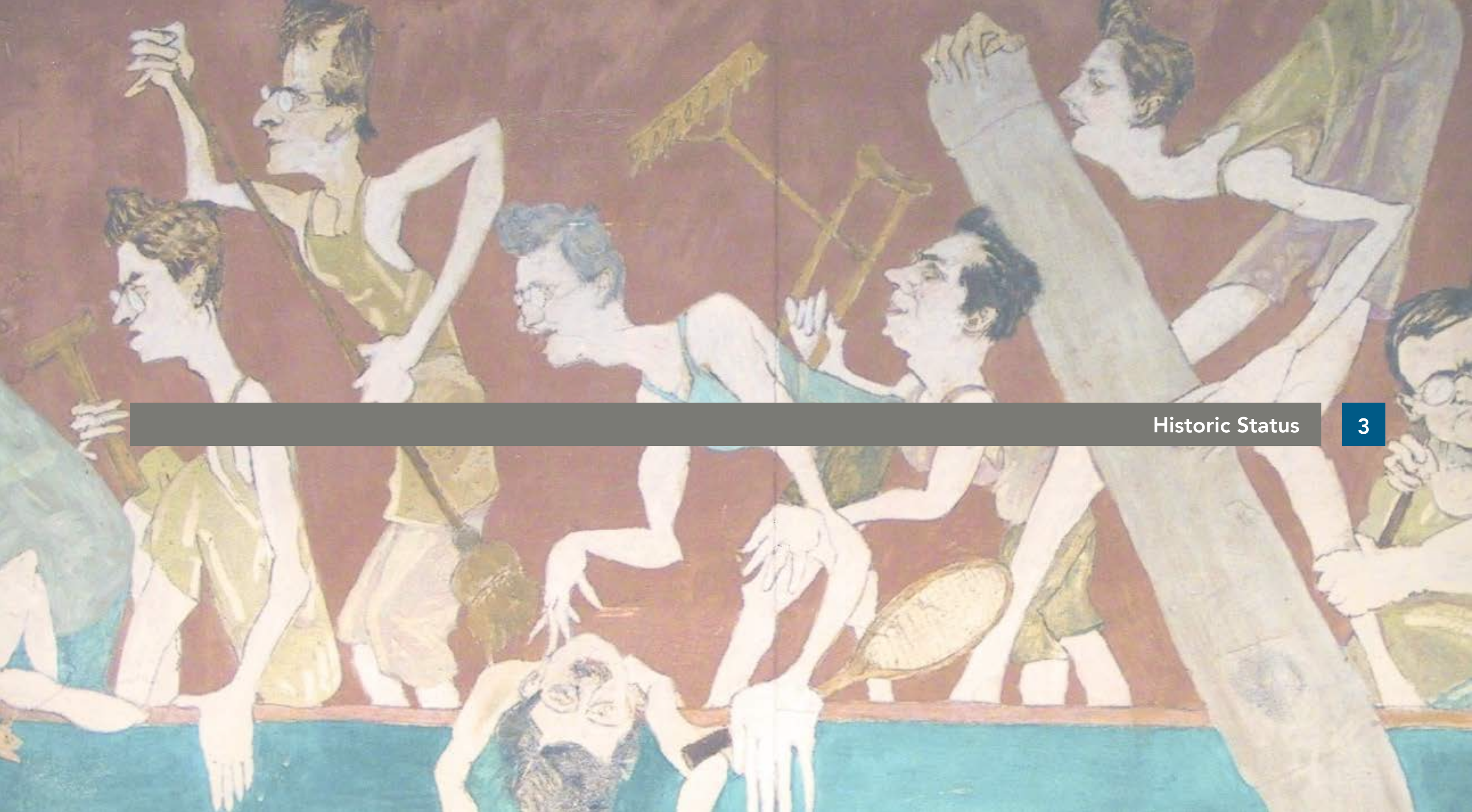
### Existing Interior Conditions

#### Key

- 1. South wall West Bay
- 2. West Bay
- 3. West Bay
- 4. Deteriorated north wall
- 5. South wall exterior door
- 6. Water just below slab at West Bay
- 7. First floor water seepage at West Bay
- 8. Typical column base West Bay
- 9. Temporary shoring 2nd floor ballroom
- 10. Cut down first floor door







Historic Status

3



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# WCC HISTORIC STATUS

1973: Designated as an individual landmark within the DC Inventory of Historic Sites

1990: Listed in the National Register of Historic Places in

NRHP Period of Significance: 1904 - 1939

1904 (NRHP Date of Significance): Year the WCC was established

1924 (NRHP Date of Significance): Year the WCC members prevailed in national competition to represent United States at the Olympics

Considered a contributing resource to the Georgetown Historic District and the Potomac Gorge

Located within the boundaries of the C&O Canal National Historical Park



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Washington Canoe Club 1925



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### Historic Photographs

#### Key

- 1. Original boathouse before c.1904
- 2. Boathouse with 1910 addition
- 3. View east to floating docks c.1910
- 4. View east to floating docks c.1920's
- 5. View from River 1920's
- 6. River view c.1915 with east additions
- 7. View of pilings



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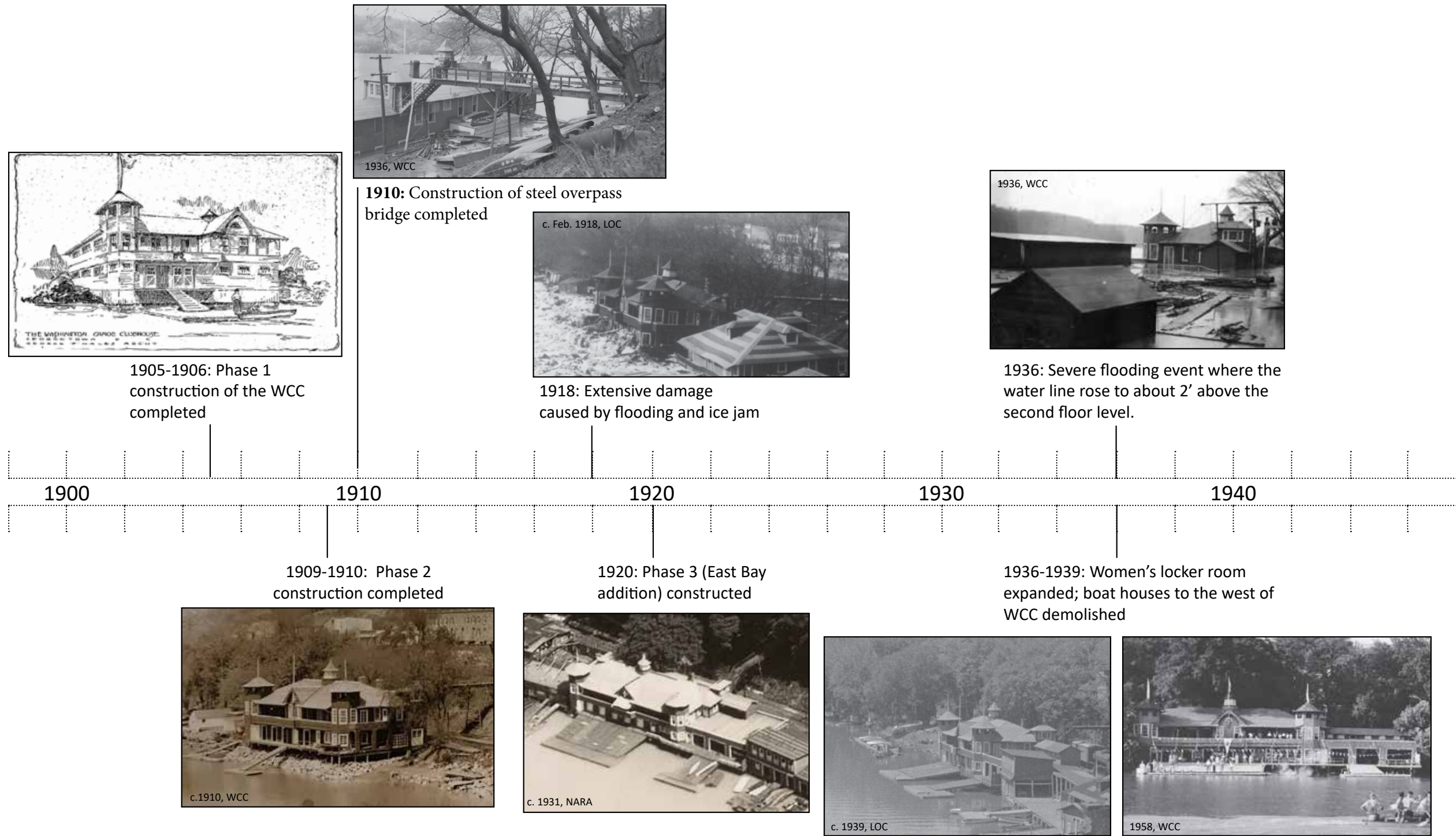
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# WCC BUILDING CHRONOLOGY





# WCC BUILDING CHRONOLOGY, cont.



1965 c., WCC



c.1968, Georgetown Historic Waterfront

1960s: Potomac  
Interceptor installed;  
concrete apron laid

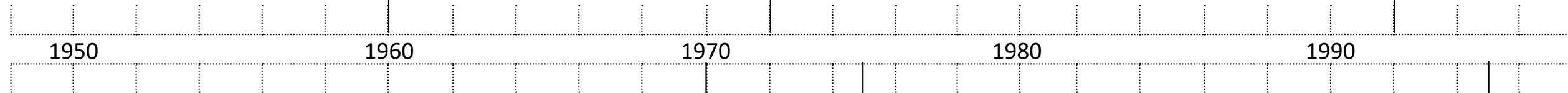
1972-1976: Damaged wooden framing along east and west elevations removed; first floor raised to align with concrete apron; additional structural support added; 4 fixed windows added to first story of north elevation



1972, WCC

1972: Flood that completely encompassed first story

1992: Structure, joists, and columns in East Bay entirely rebuilt



1970 c.: Steel overpass removed; new porch on north elevation constructed

1975: Roof deck enclosed



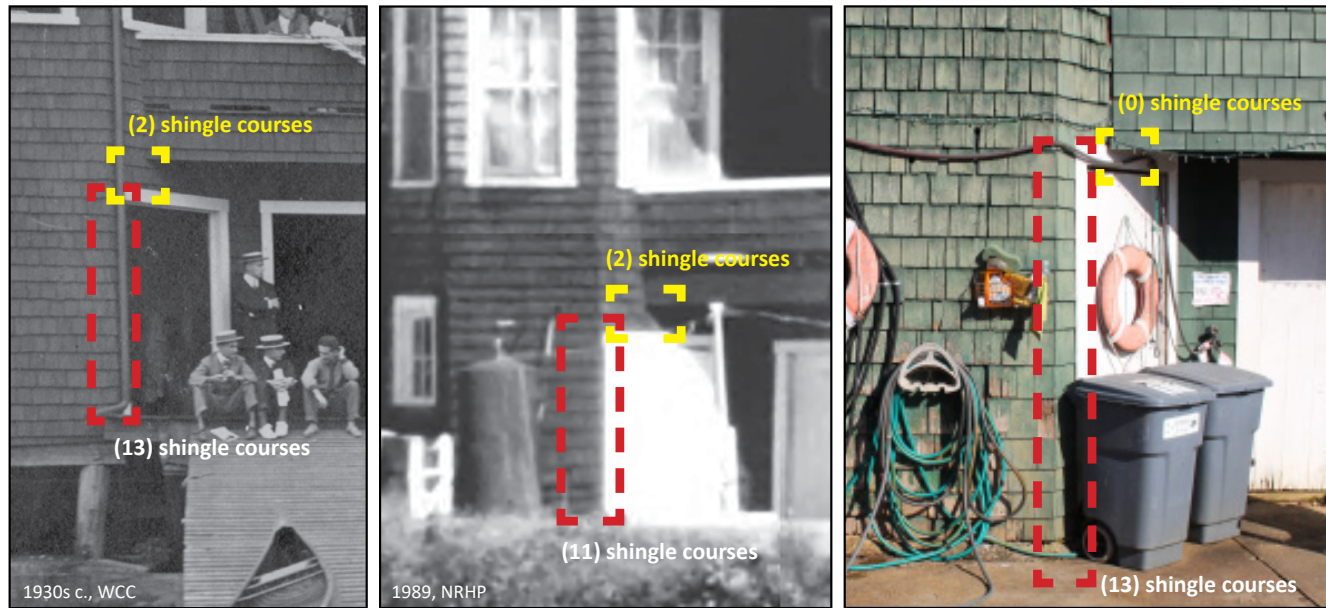
2013, LOC

1995: Ramp added to north porch

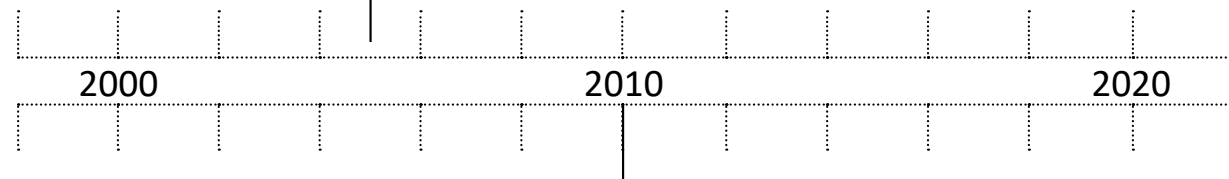




# WCC BUILDING CHRONOLOGY, cont.



2005-2008: Balcony structurally reinforced and reconstructed; 1st story of south elevation reconstructed



2010-2013: Original portion of WCC and c. 1909 addition closed due to structural instability; temporary stabilization efforts undertaken by NPS

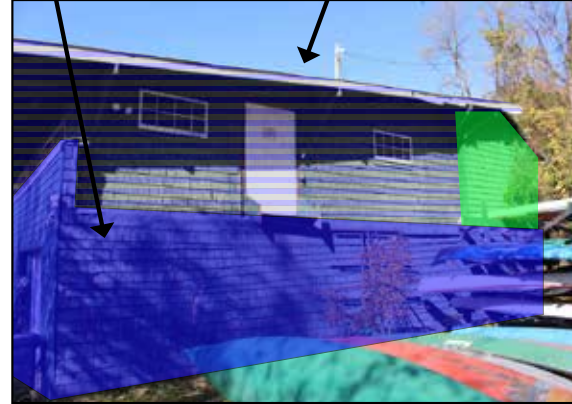




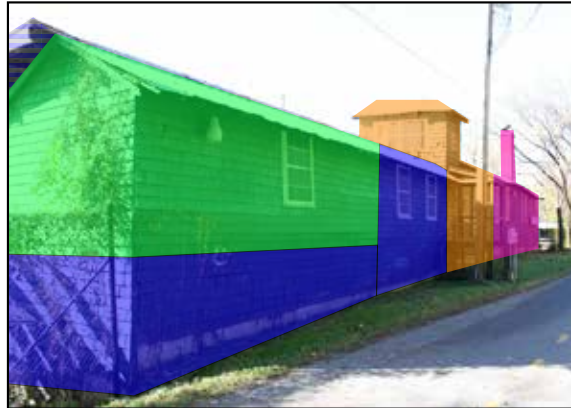
First story reconstructed; balcony structurally stabilized; interior structural support throughout



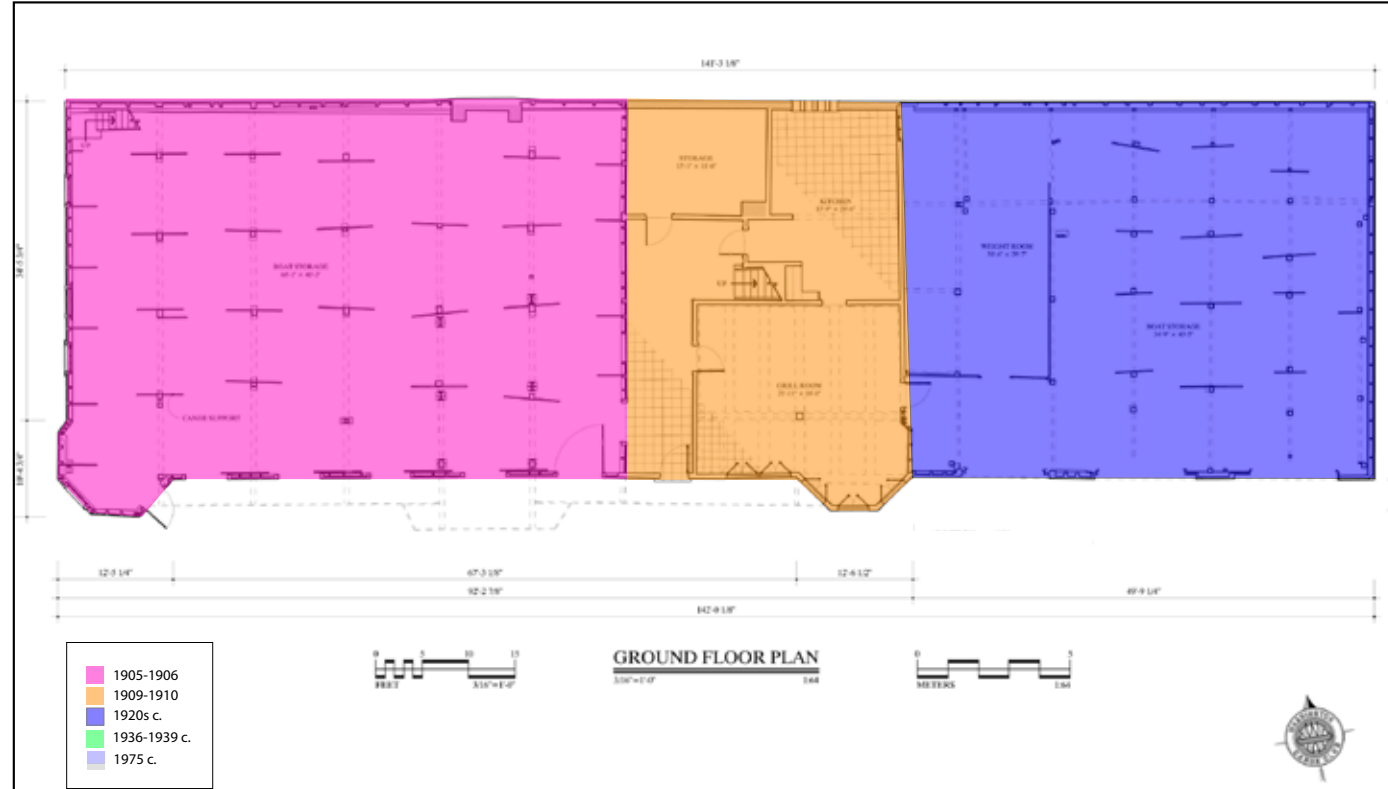
Structure entirely rebuilt



Second floor roof deck covered in 1975 to accommodate a workshop on the second floor



Building not in use due to structural concerns; windows boarded up; interior structurally stabilized throughout



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# REPORTS PRODUCED

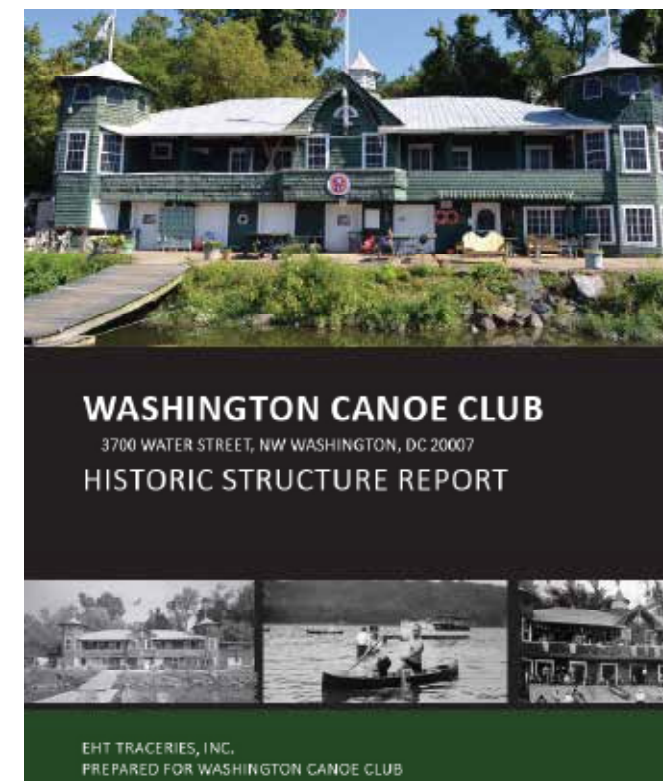
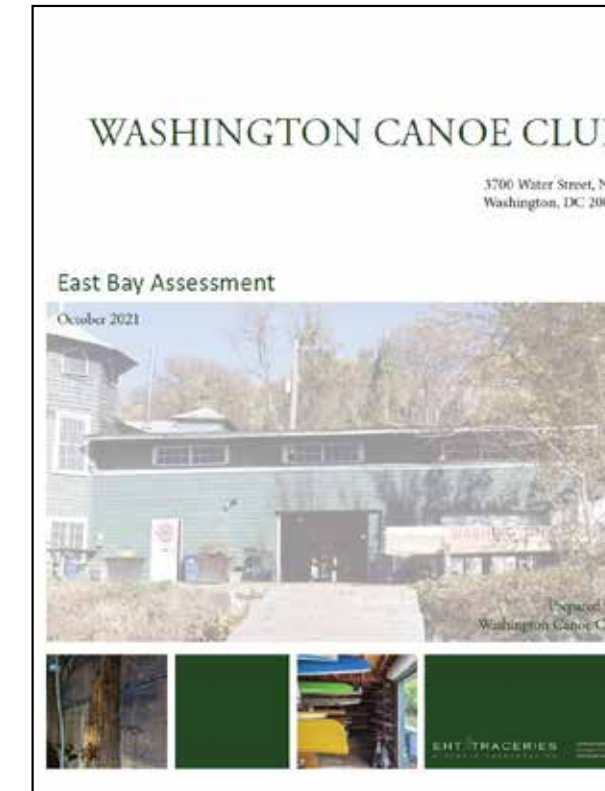
**Cultural Landscape Report (NPS, 2023)**

**East Bay Assessment Report (EHT Traceries, 2021)**

**Historic Structures Report (EHT Traceries, 2021)**

*Report informed by previous studies, including:*

- Historic Structure Assessment Report: Washington Canoe Club Building (NPS, May 30, 2014)
- Washington Canoe Club Boathouse Rehabilitation 2015 : Part I - Design Parameters (Baird Smith, FAIA, March 15, 2016)
- Washington Canoe Club Boathouse Rehabilitation 2015 : Part II – Rehabilitation Concept (Baird Smith, FAIA. April 30, 2016)
- Geotechnical Engineering Narrative and Investigation Report: Geotechnical Engineering Design (AECOM, January 29, 2018)
- Washington Canoe Club Cursory Mural Investigation (Evergreene Architectural Arts, January 31, 2019)
- National Register form
- Historic American Building Survey (HABS) Washington Canoe Club HABS No. DC-876 (November 2013)



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# SECTION 106 MILESTONES TO DATE

**January 2022:** Section 106 Consulting Parties Meeting #1

**October 2022:** NPS Issued Letter of No Adverse Effect

**November 2022:** DC HPO concurred that the undertaking will have No Adverse Effect

**September 2024:** Updated HPO on this revised scope of work; HPO confirmed that no further Section 106 was required and that review would be delegated to the Old Georgetown Board

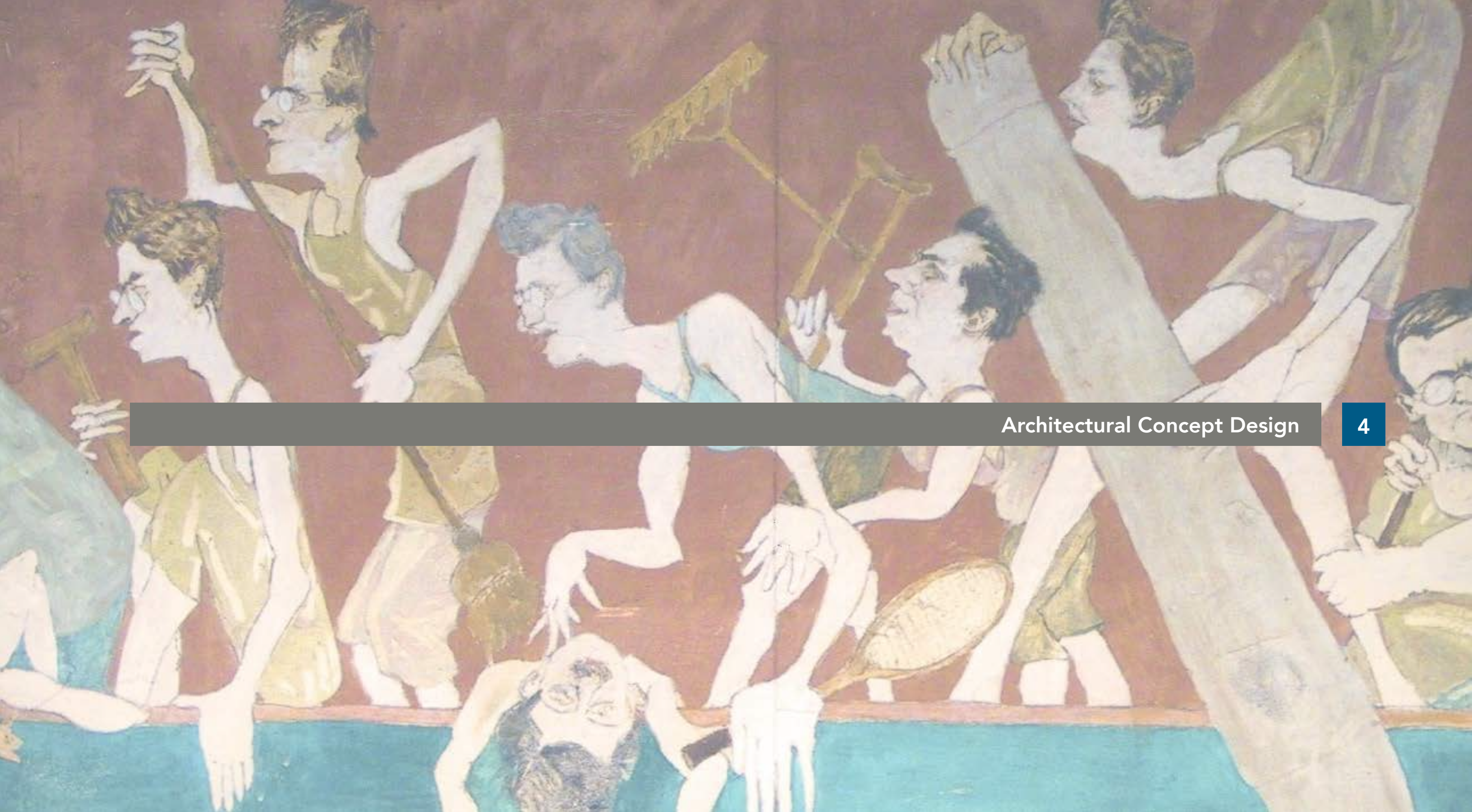


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1905



1910



1958



Present

### Building Chronology



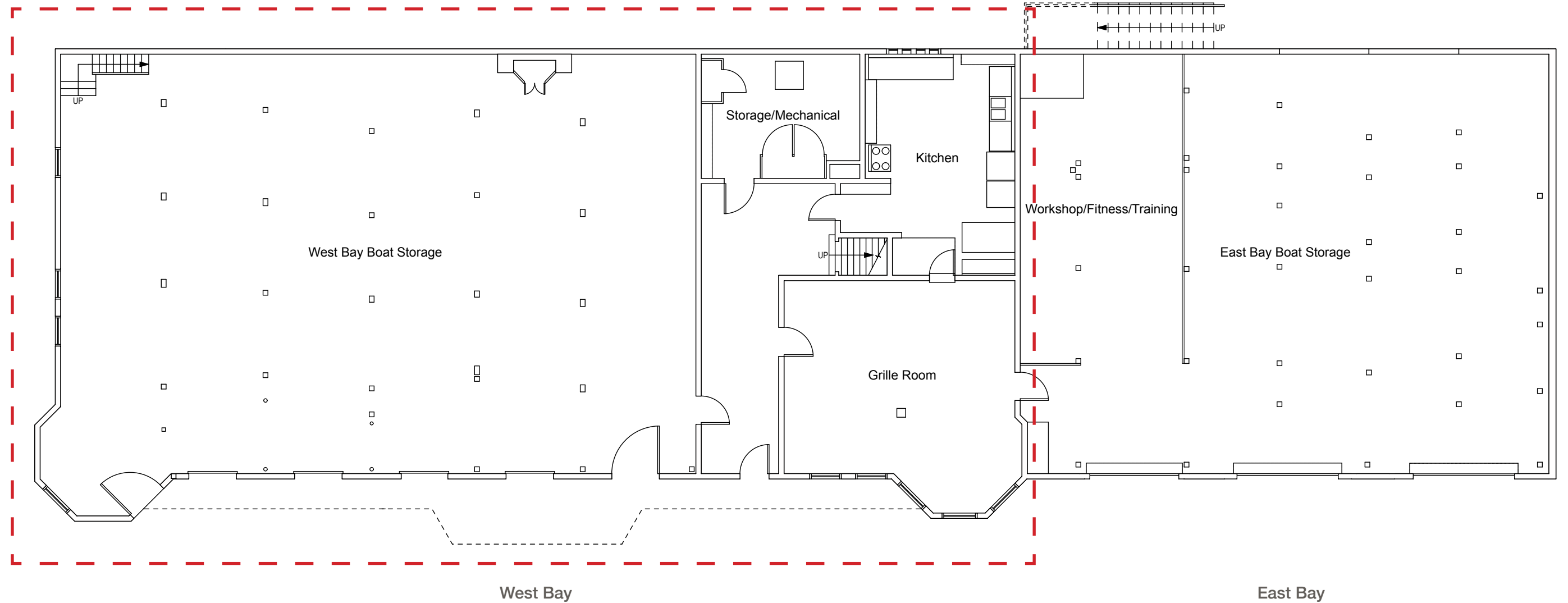
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No access this area due to structural deficiencies



Note: Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed preferred at critical locations. Drawings rectified to be square, plumb and level for clarity

### Existing First Floor Plan



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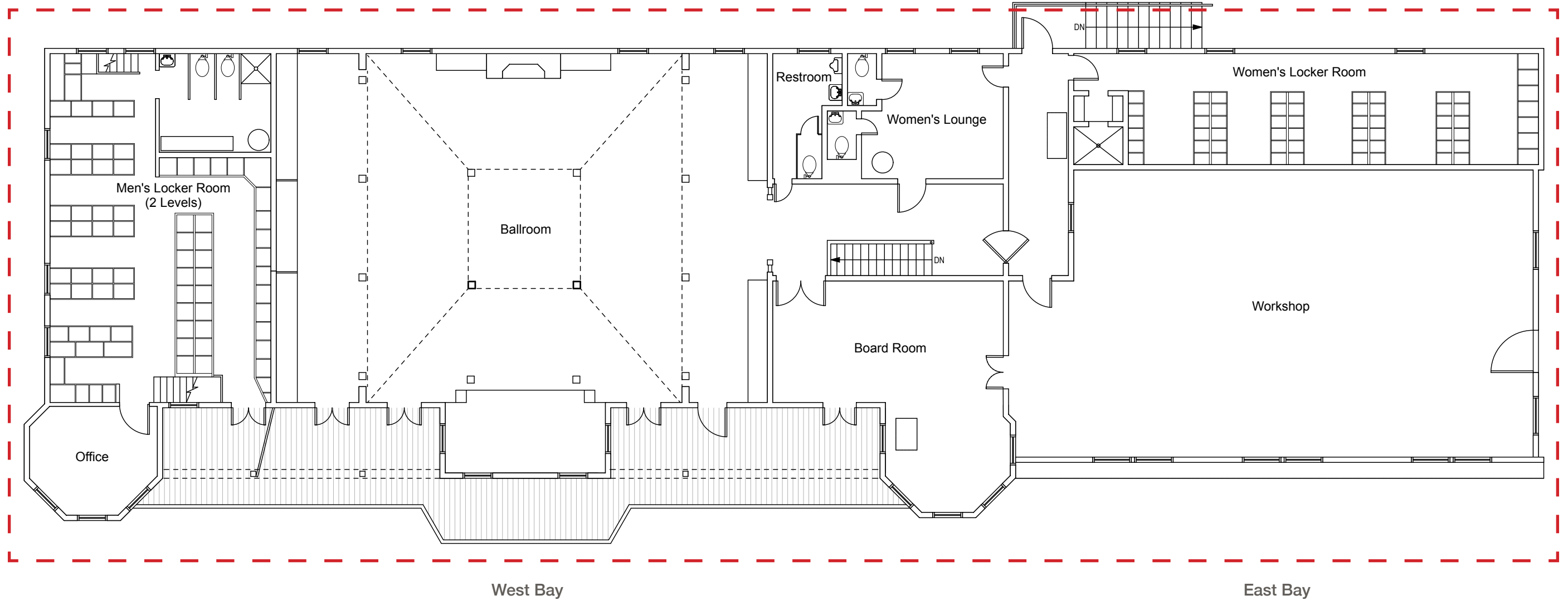
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No access this floor due to structural deficiencies



Note: Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed preferred at critical locations. Drawings rectified to be square, plumb and level for clarity

### Existing Second Floor Plan



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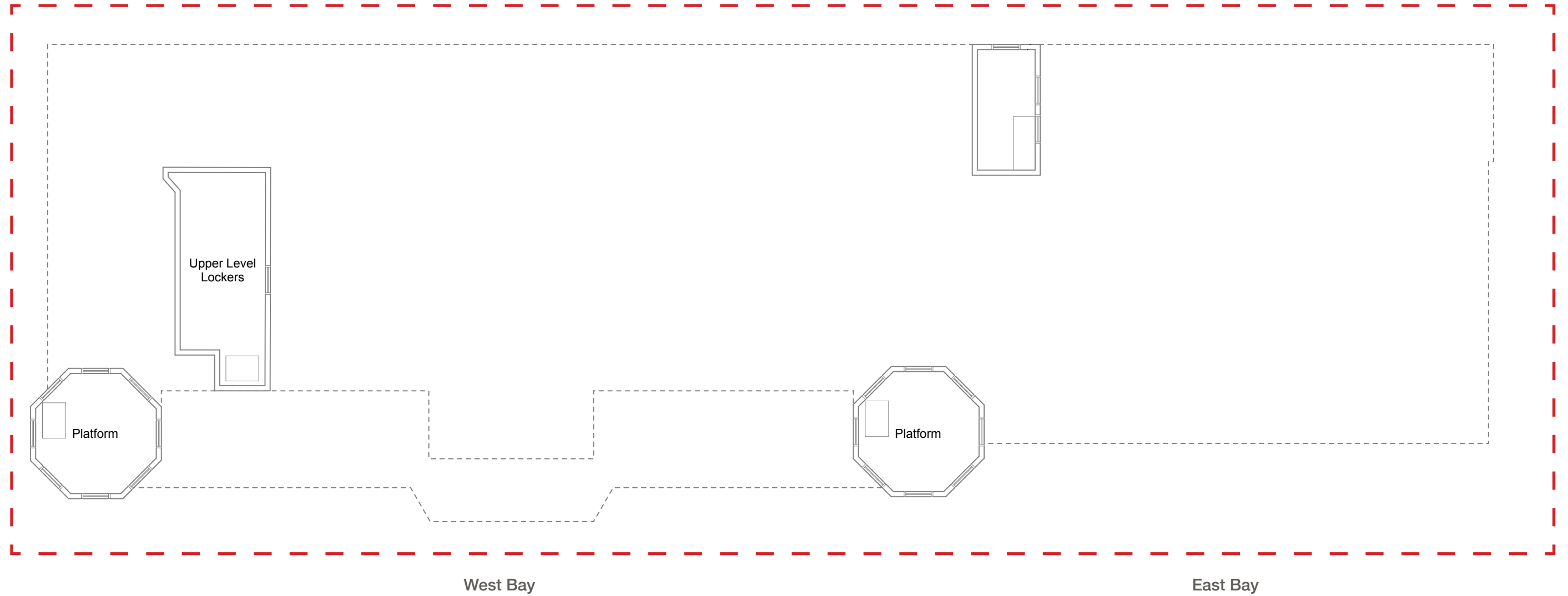
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No access this level due to structural deficiencies



Note: Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed preferred at critical locations. Drawings rectified to be square, plumb and level for clarity

### Existing Attic Floor Plan



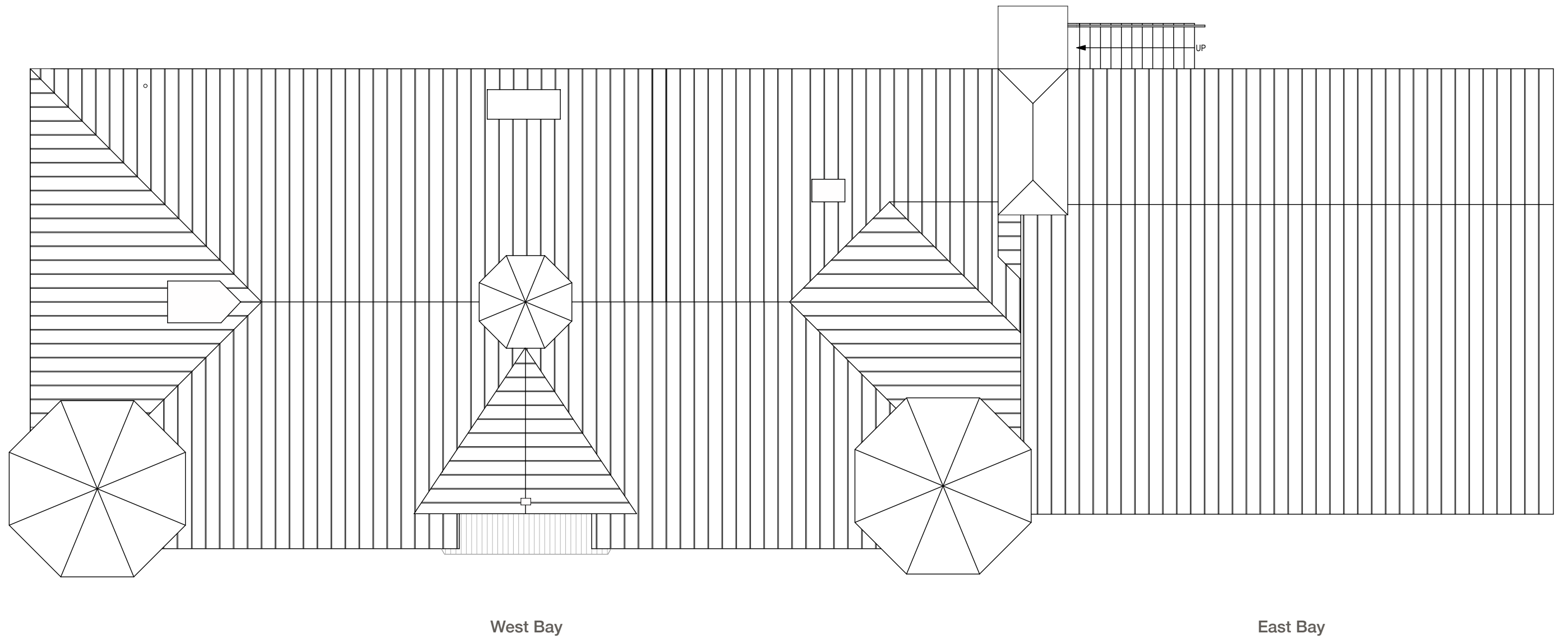
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Old Georgetown Board US Commission of Fine Arts • Concept Design Submission

October 17, 2024







Note: Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed preferred at critical locations. Drawings rectified to be square, plumb and level for clarity

**Existing Roof Floor Plan**



**THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs**

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West Bay

East Bay

Note: Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed preferred at critical locations. Drawings rectified to be square, plumb and level for clarity

Existing South Elevation



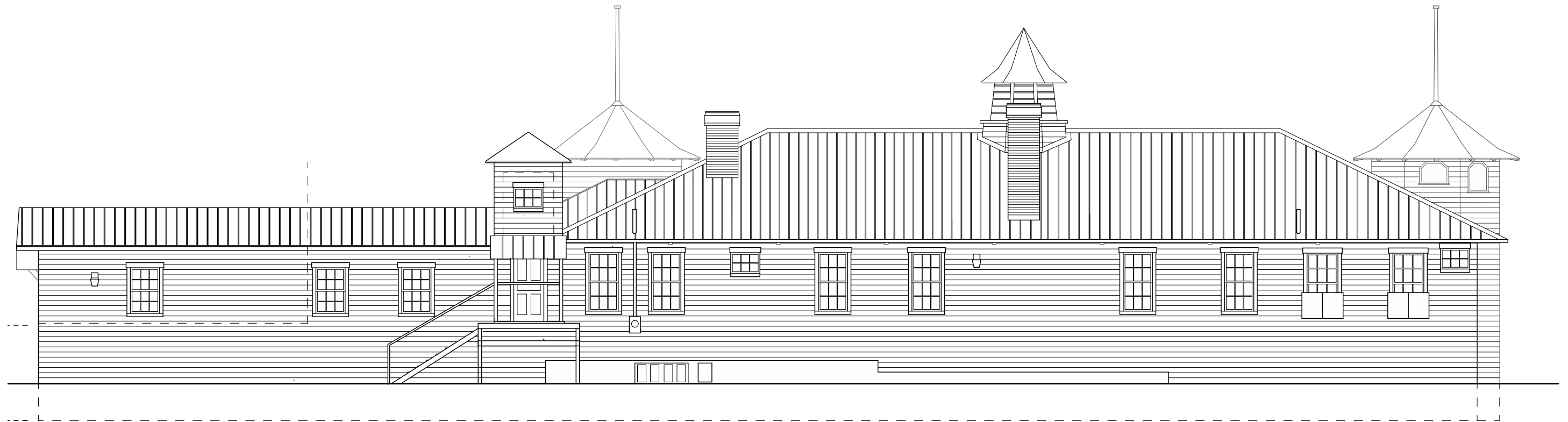
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West Bay

East Bay

Note: Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed preferred at critical locations. Drawings rectified to be square, plumb and level for clarity

Existing North Elevation

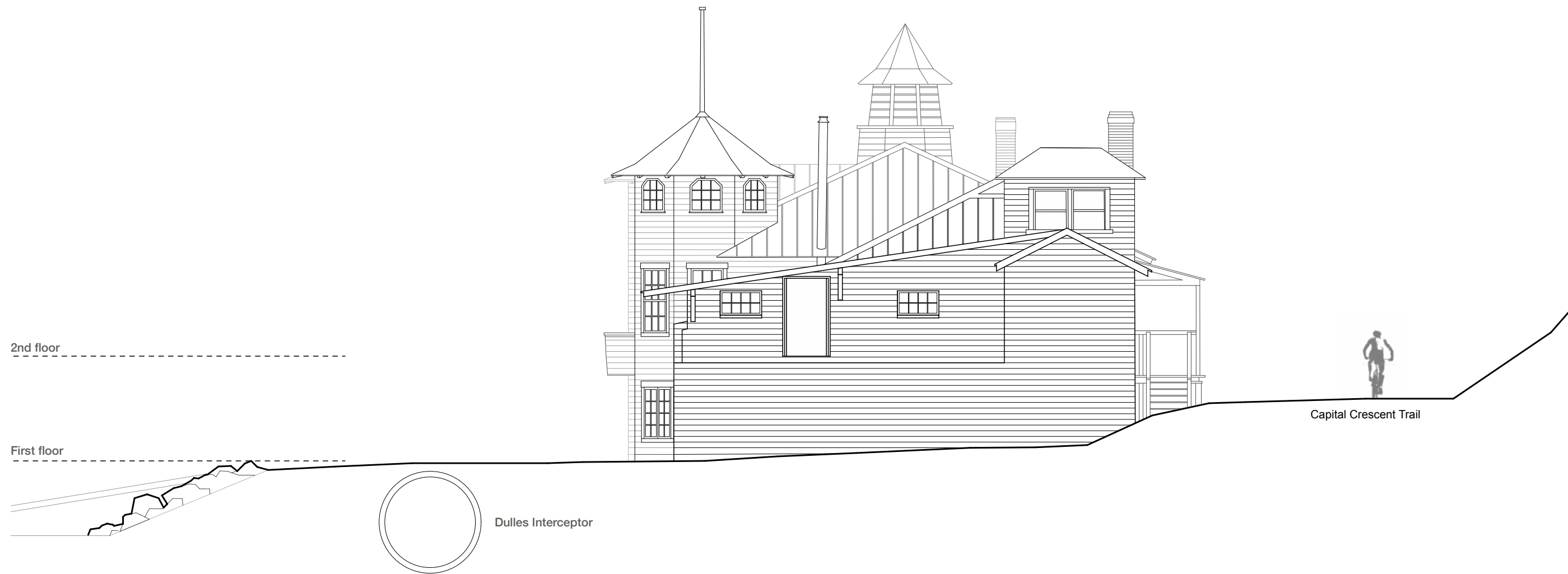


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Note: Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed preferred at critical locations. Drawings rectified to be square, plumb and level for clarity

**Existing East Elevation**



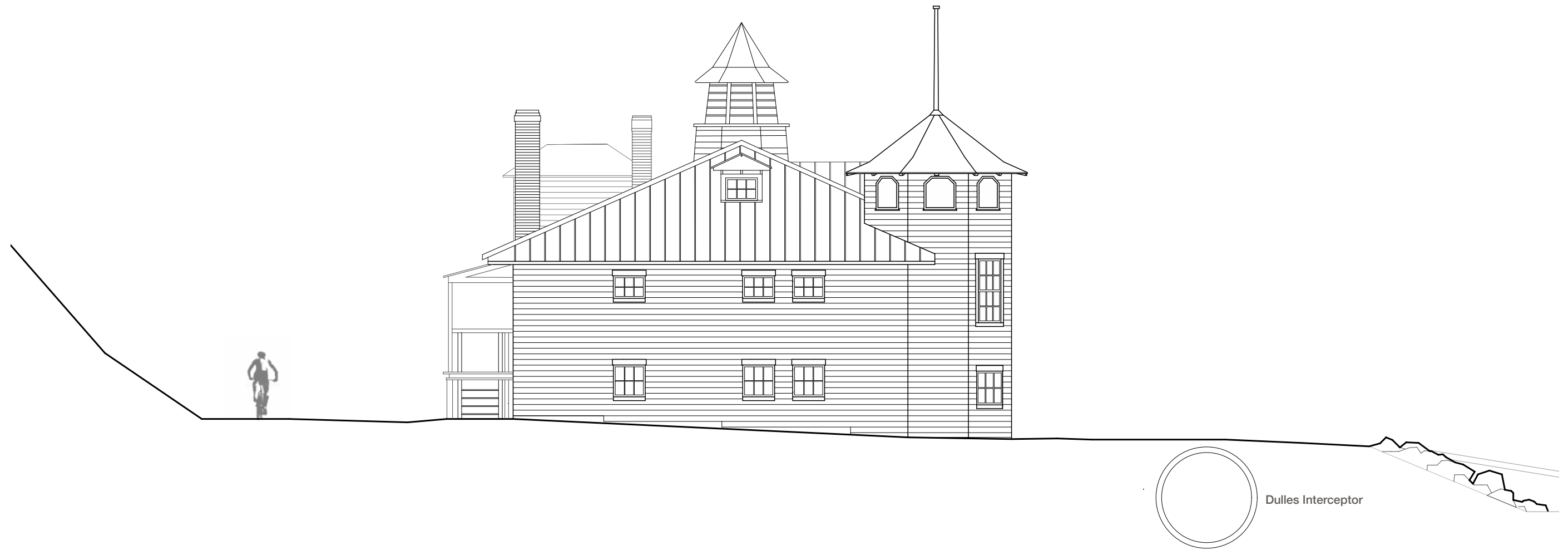
**THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs**

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Note: Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed preferred at critical locations. Drawings rectified to be square, plumb and level for clarity

**Existing West Elevation**

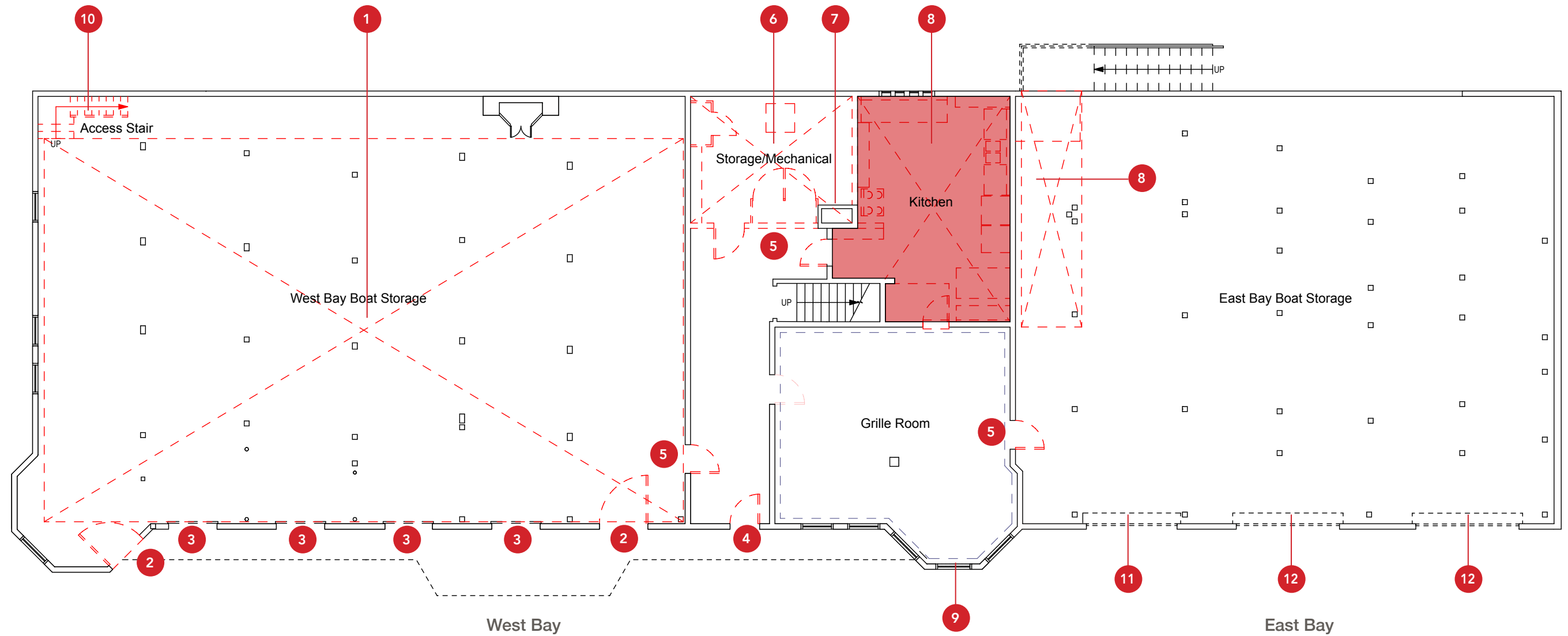


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**General Notes:**

1. Refer to structural drawings for repair and replacement scope of work for interior framing members and exterior walls.
2. Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed at critical locations. Drawings rectified to be square, plumb and level for clarity. Demolition scope indicated is approximate.

**Drawing Key:**

1. Refer to structural drawings for repair and replacement scope of work for deteriorated wood columns and supports.
2. Remove deteriorated exterior wood swing door. Salvage door to be used as pattern for new door to match. Salvage existing hardware for reuse.
3. Remove deteriorated exterior wood sliding door, typical of (4). Salvage door to be used as pattern for new door to match. Salvage existing hardware for reuse.
4. Remove non original entry door.
5. Remove deteriorated interior wood doors, typical of (6). Salvage doors to be used as pattern for new doors to match. Salvage existing hardware for reuse.
6. Remove interior wood partition walls and equipment.
7. Existing masonry chimney to remain
8. Remove interior wood partition walls, equipment, wood shelving and ceilings. Remove raised concrete floor slab as required to allow for new work.
9. Remove protective wood screen over all windows and doors 1st and 2nd floors.
10. Remove existing deteriorated wood stair
11. remove existing infill wall and door
12. Remove existing metal roll up garage door and infill wall

**Existing First Floor Plan - Demolition**



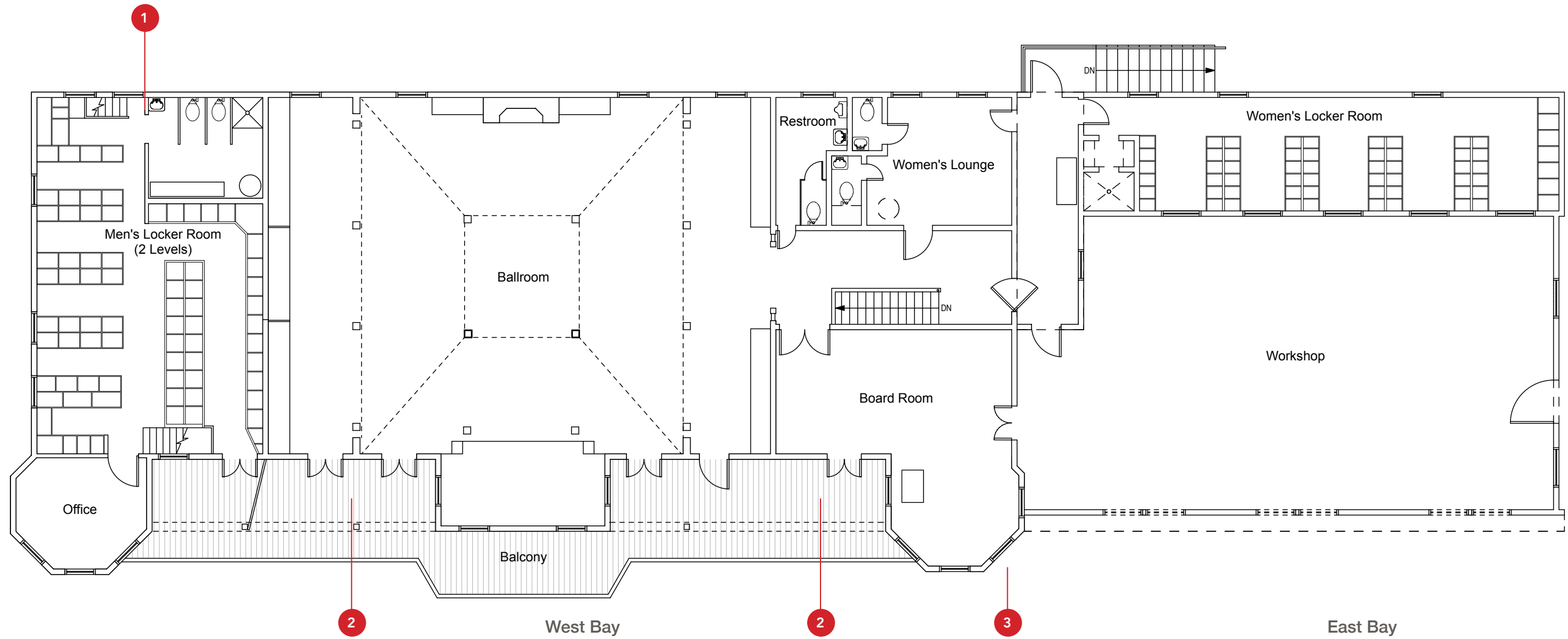
**THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs**

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**General Notes:**

1. Refer to structural drawings for repair and replacement scope of work for interior framing members and exterior walls.
2. Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed at critical locations. Drawings rectified to be square, plumb and level for clarity. Demolition scope indicated is approximate.

**Drawing Key:**

1. Infill floor in area of removed interior wood stair.
2. Repair and or replace damaged wood flooring and paint.
3. Remove protective wood screen over all windows and doors 1st and 2nd floors.

**Existing Second Floor Plan - Demolition**



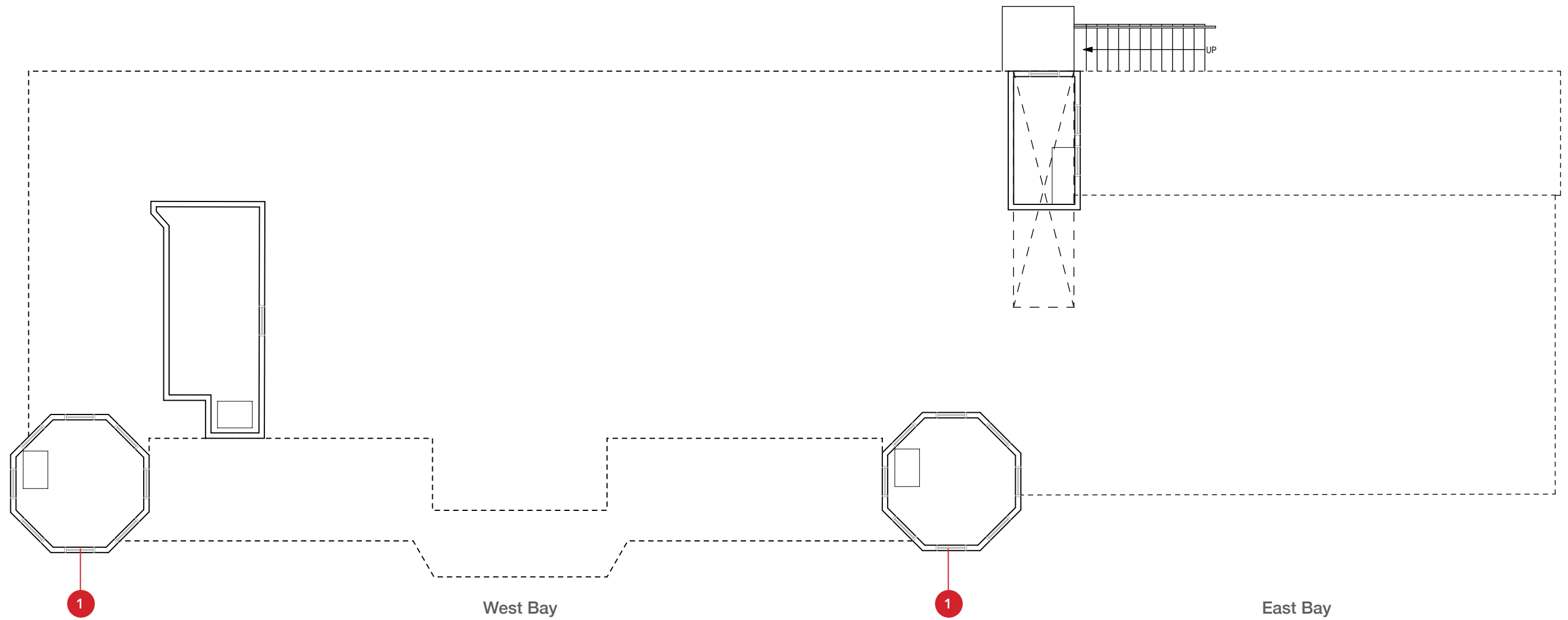
**THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs**

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**General Notes:**

1. Refer to structural drawings for repair and replacement scope of work for interior framing members and exterior walls.
2. Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed at critical locations. Drawings rectified to be square, plumb and level for clarity. Demolition scope indicated is approximate.

**Drawing Key:**

1. Remove protective wood screen over all openings at existing east and west turrets

**Existing Attic Floor Plan - Demolition**



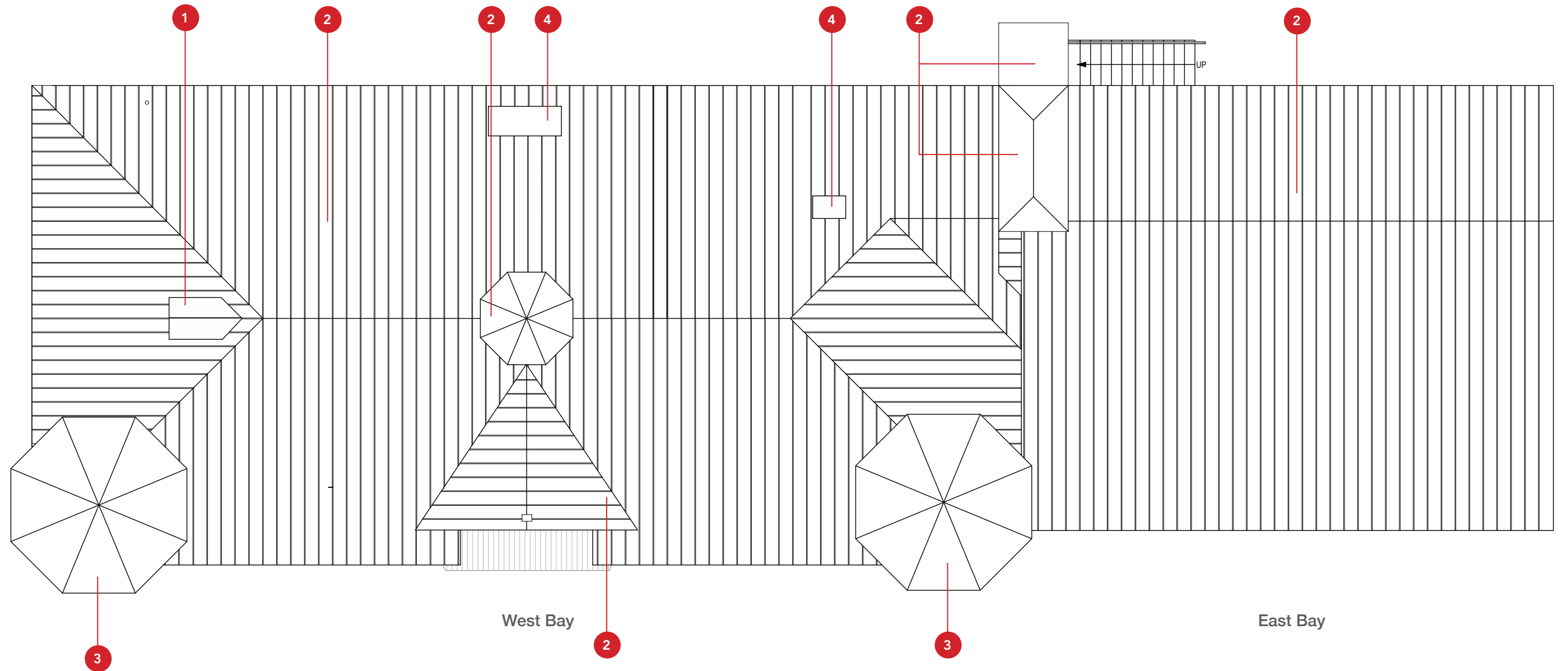
**THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs**

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**General Notes:**

1. Refer to structural drawings for repair and replacement scope of work for interior framing members and exterior walls.
2. Drawings based on Historic American Building Survey drawings - HABS DC-876 dated 2013. Limited field verification performed at critical locations. Drawings rectified to be square, plumb and level for clarity. Demolition scope indicated is approximate.

**Drawing Key:**

1. Remove existing deteriorated metal roofing and trims to allow for new roofing.
2. Remove existing deteriorated corrugated metal roofing and trims to allow for new roofing.
3. Remove existing deteriorated bituminous roll roofing.
4. Existing brick chimney to remain.

**Existing Roof Floor Plan - Demolition**



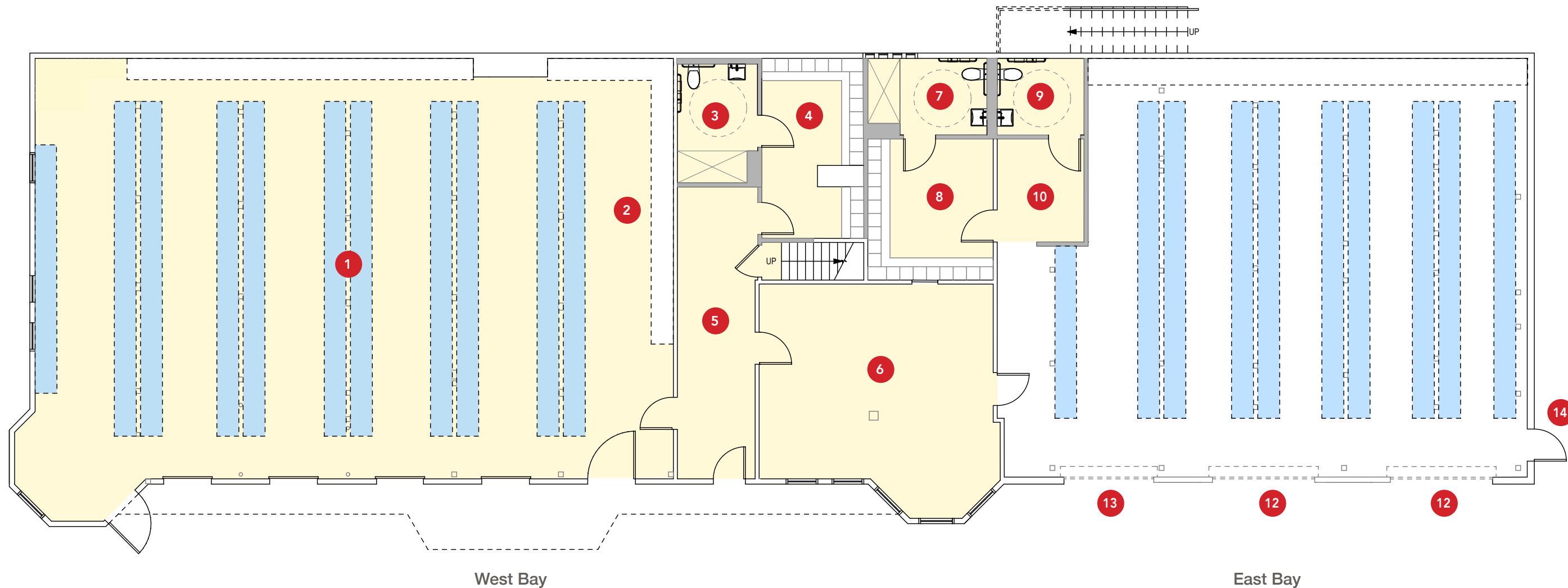
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**Drawing Key:**

- |  |   |
|--|---|
| 1. New wood boat storage racks at West Bay   | 12. New wood bay doors to replace infill and metal garage doors |
| 2. New work bench..                          | 13. New wood door to replace wood infill and door               |
| 3. Temorary accessible restroom with shower. | 14. New wood exit door  |
| 4. Temporary Mens's Locker Room              |   |
| 5. Restored hall                             |   |
| 6. Restored Grille Room                      |   |
| 7. Temorary accessible restroom with shower. |   |
| 8. Temporary Women's Locker Room             |   |
| 9. Single use accessible restroom            |   |
| 10. Vestibule                                |   |
| 11. Exist wood boat stogae racks at East Bay |   |

**Existing First Floor Plan - Proposed Work**



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## Observed Conditions and Repair Scope

The south elevation of the boat house is generally in poor and some cases unstable condition requiring major repair, replacement and refinish. The roofing which is not historic to the 1903 condition is in need of complete replacement. The exterior wood shingles and wood soffits and trims are deteriorated in places needing repair and or replacement. The exterior windows and some doors have been boarded over to protect historic fabric and appear to be in restorable condition. The first floor boat bay doors at the west bay are deteriorated with select replacement recommended. The historic east bay boat bay doors have been replaced with one entirely closed.

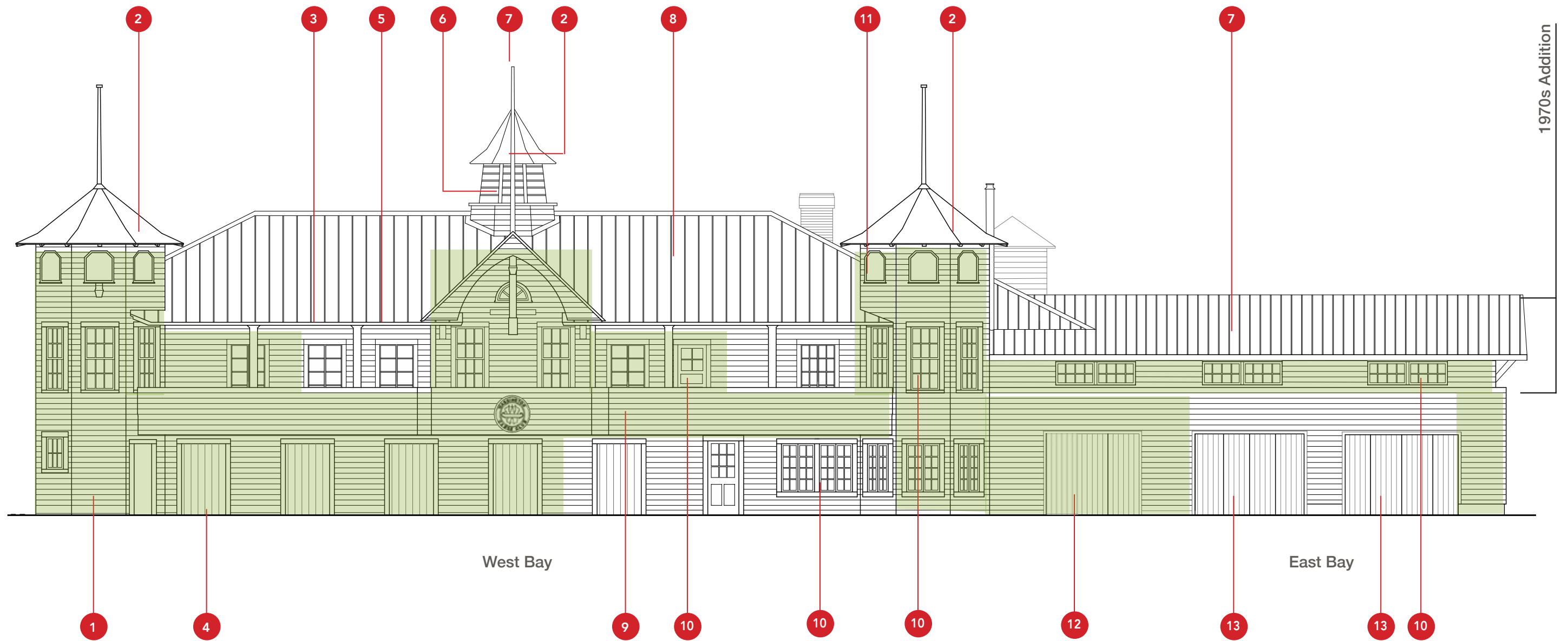
## Key Notes

1. Severely deteriorated wood shingles to be replaced
2. Replace sheet bituminous roofing and repair flagpole
3. Install period correct gutters and downspouts as viewed in historic photos
4. Repair and or replace deteriorated wood West boat bay doors
5. Broken roof framing member
6. Restore deteriorated venting cupola
7. Repair wood flagpole
8. Replace deteriorated corrugated metal roofing and flashings
9. Repair balcony framing
10. Remove overlay door and window guards and restore historic doors and windows
11. Reopen close openings at turrets
12. Reestablished closed boat bay door
13. Replace modern metal roll up garage door with period wood

South Elevation - Observed Conditions and Repair Scope







West Bay

East Bay

Approximate area of deteriorated shingles to be removed and replaced

Photo or Note Key - see preceding pages

South Elevation - Observed Conditions and Repair Scope



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South Elevation - Observed Conditions and Repair Scope







4 Repair and or replace deteriorated wood West boat bay doors



4 Repair and or replace deteriorated wood West boat bay doors

### Existing West Bay Boat Bay Door Repair



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Historic photo East Bay first floor boat bay doors



Historic photo East Bay first floor boat bay doors



**12** Remove wood wall infill and door to reestablish original opening.

**13** Remove metal roll up garage door and wood wall infill to reestablish original opening at two doors.

Existing East Bay Boat Bay Door Replacement



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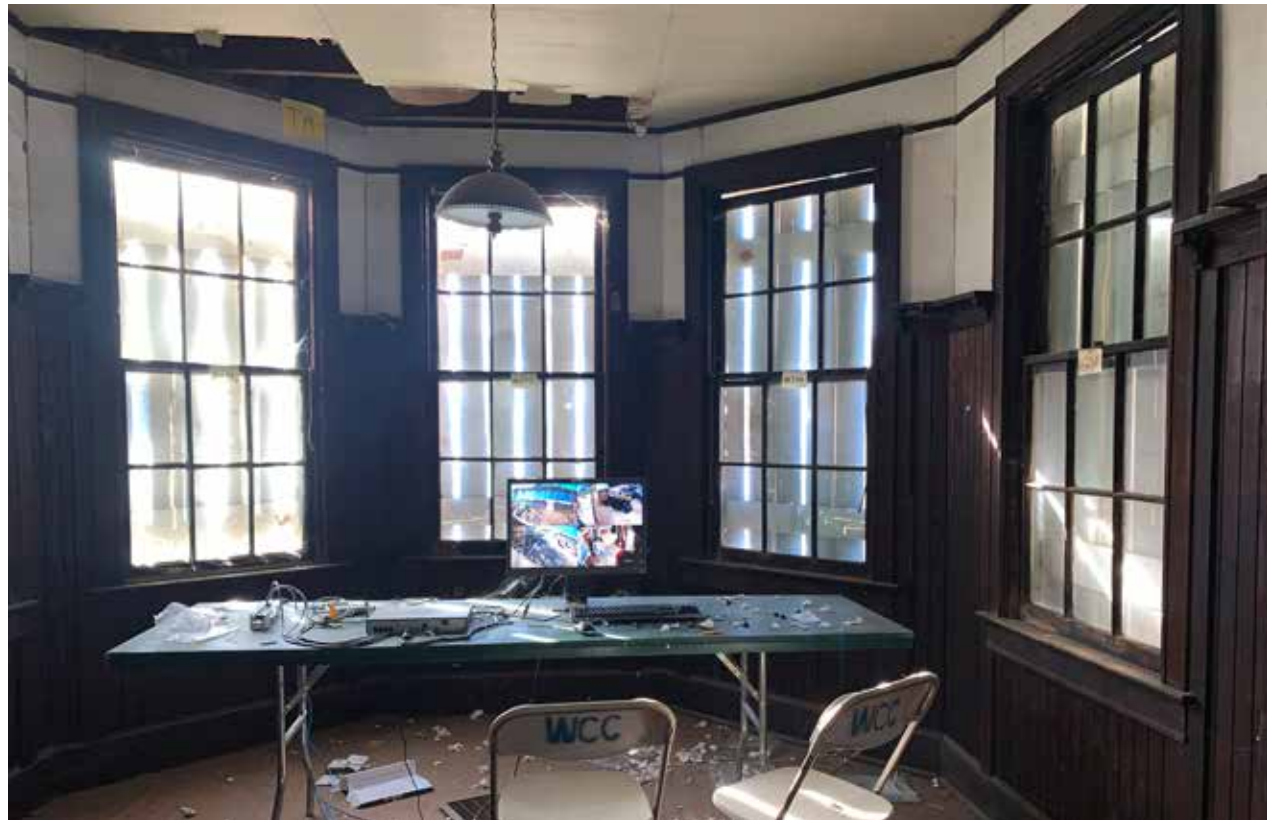
Existing East Bay Boat Bay Door Replacement

### Proposed Scope

WCC and consultant team have not been able to source images that show the original bay doors if they existing. The project proposes to replace two existing roll up metal garage doors and enlarge the opening to its original extents and replace the garage doors. The replacement doors are envisioned as painted wood out swing paired bi-fold doors. Wood board patterning is to be similar or match the West Bay doors. The furthest west door will be the same except that the existing infill wood framed wall would be removed to reestablish the original opening. The wood trim around the opening including the jamb and heads are proposed to be painted a color which will contrast with the adjacent shingled wall.







Second Floor Board Room



First Floor West Boat Bay

### Proposed Scope

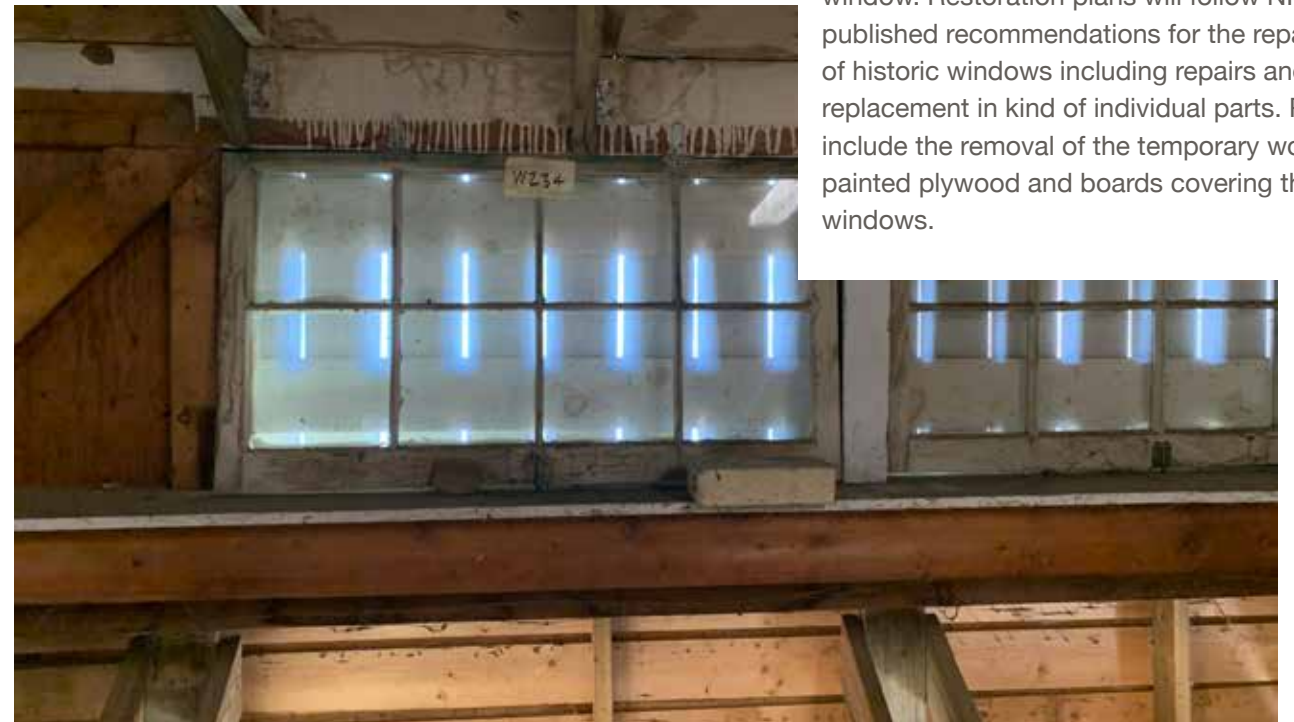
The project proposes to conduct a detailed survey and conditions assessment of the existing exterior wood windows on both levels. Based on the observed conditions a restoration plan will be developed for each window. Restoration plans will follow NPS published recommendations for the repair of historic windows including repairs and replacement in kind of individual parts. Plans include the removal of the temporary wood painted plywood and boards covering the windows.



First Floor Grille Room



First Floor West Boat Bay



Second Floor East Bay

### Existing Window Conditions



## THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs

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### Observed Conditions and Repair Scope

The east elevation of the boat house is generally in poor and some cases unstable condition requiring major repair, replacement and refinish at the 1920's single story and 1970s second floor addition. The roofing which is not is in need of complete replacement. The exterior wood shingles and wood soffits and trims are deteriorated in places needing repair and or replacement. The exterior windows at the second floor have been boarded over to protect historic fabric and appear to be in restorable condition.

### Key Notes

1. Deteriorated wood trim to be repaired, replaced and refinished
2. Remove overlay door and window guards and restore historic doors and windows
3. Severely deteriorated wood shingles to be replaced.

North Elevation - Observed Conditions and Repair Scope



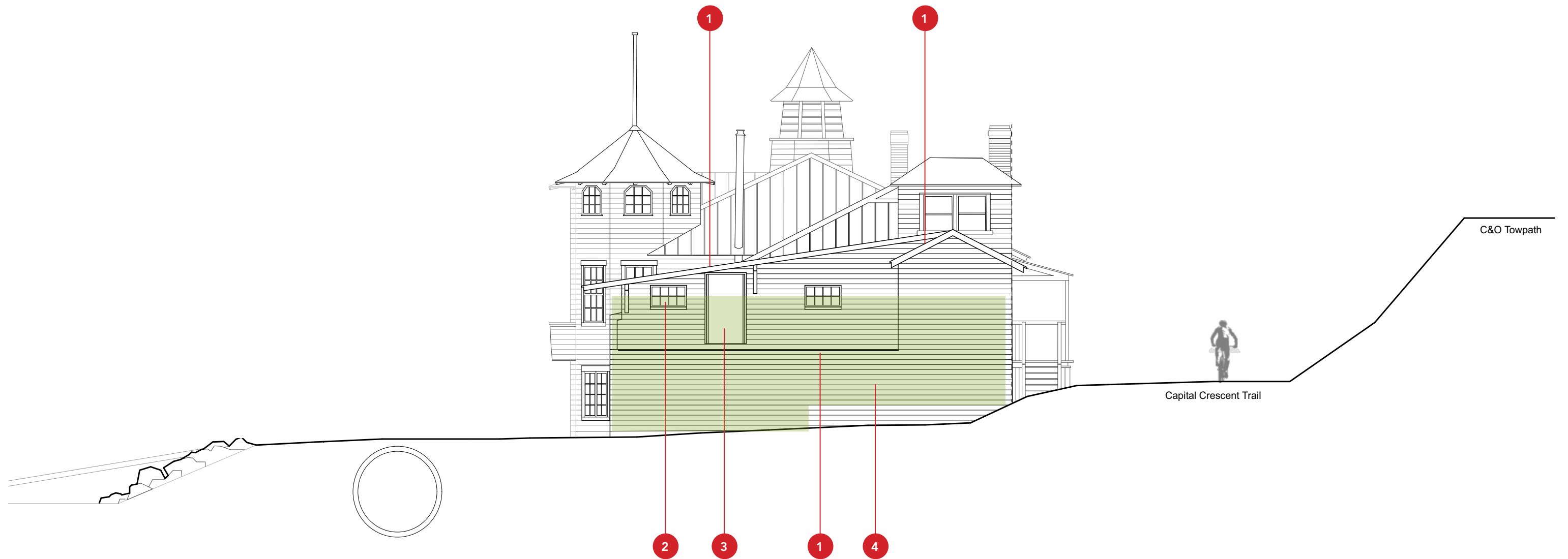
## THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs

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- Approximate area of deteriorated shingles to be removed and replaced
- Photo or Note Key - see preceding pages

East Elevation - Observed Conditions and Repair Scope



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East Elevation - Observed Conditions and Repair Scope

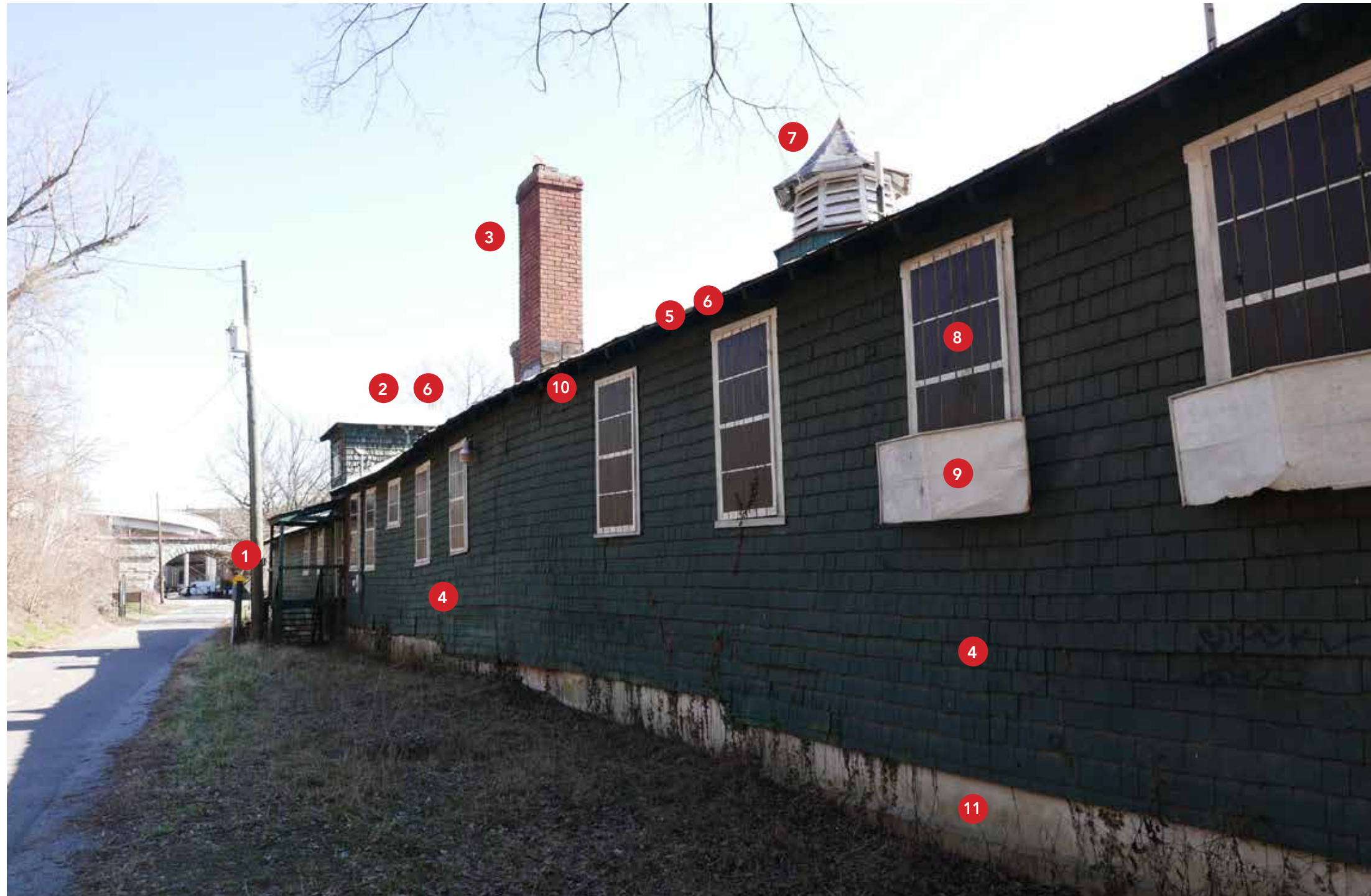


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### Observed Conditions and Repair Scope

The north elevation of the boat house is generally in poor condition. Unstable condition requiring major repair, replacement and refinish were observed. The roofing which is not historic to the 1903 condition is in need of complete replacement. The exterior wood shingles and wood soffits and trims are deteriorated in places needing repair and or replacement. The exterior windows have been boarded over to protect historic fabric and appear to be in restorable condition.

### Key Notes

1. Deteriorated wood stair and porch structure to be repaired
2. Repair deteriorated wood framed light original upper level entry
3. Repair and repoint original brick chimney
4. Severely deteriorated wood shingles to be replaced
5. Install period correct gutters and downspouts
6. Replace deteriorated corrugated metal roofing and flashings
7. Restore deteriorated venting cupola
8. Remove overlay door and window guards and restore historic doors and windows
9. Remove metal window guards
10. Repair hole in exterior wall around chimney
11. Repair and waterproof existing masonry and concrete foundation wall

North Elevation - Observed Conditions and Repair Scope



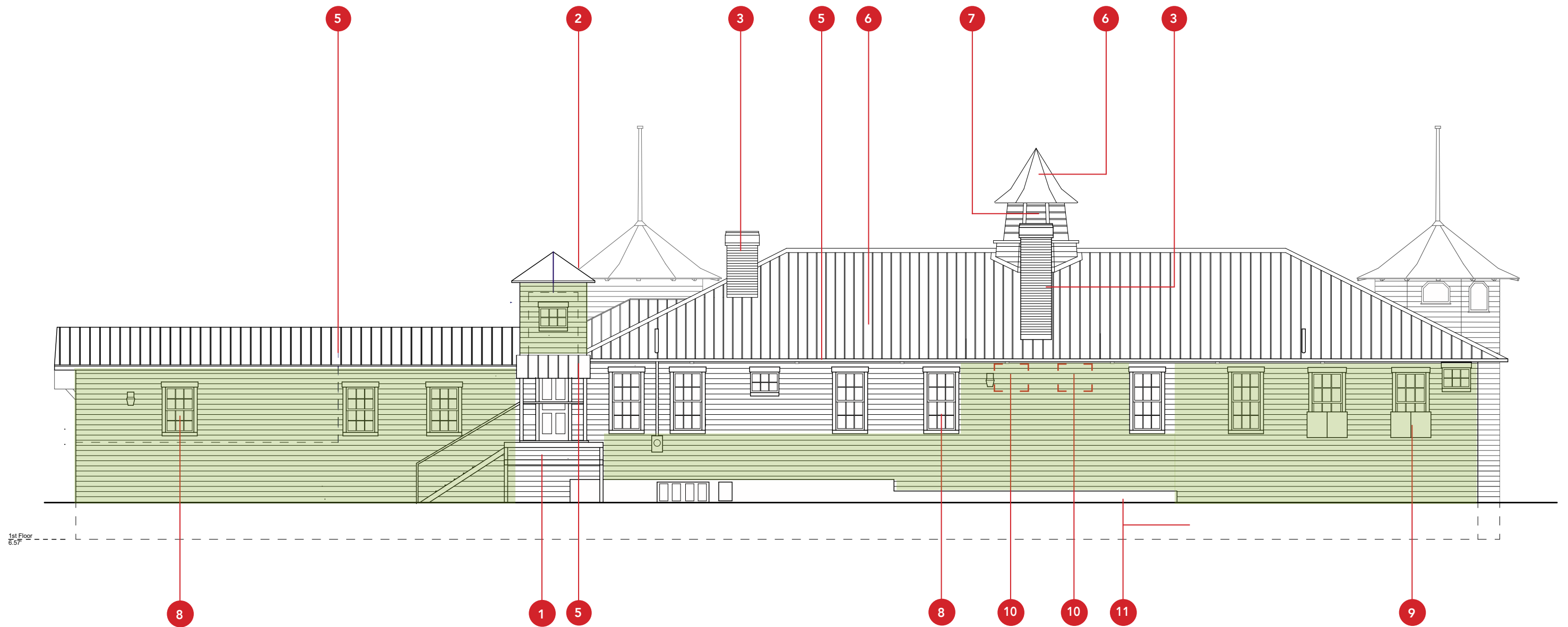
## THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs

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 Approximate area of deteriorated shingles to be removed and replaced

 Photo or Note Key - see preceding pages

South Elevation - Observed Conditions and Repair Scope



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North Elevation - Observed Conditions and Repair Scope



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### Observed Conditions and Repair Scope

The north elevation of the boat house is generally in poor condition. Unstable conditions requiring major repair, replacement and refinish were observed. The roofing which is not historic to the 1903 condition is in need of complete replacement. The exterior wood shingles and wood soffits and trims are deteriorated in places needing repair and or replacement. The exterior windows have been boarded over to protect historic fabric and appear to be in restorable condition. There are openings in the exterior wall at the bottom of the wall in several locations

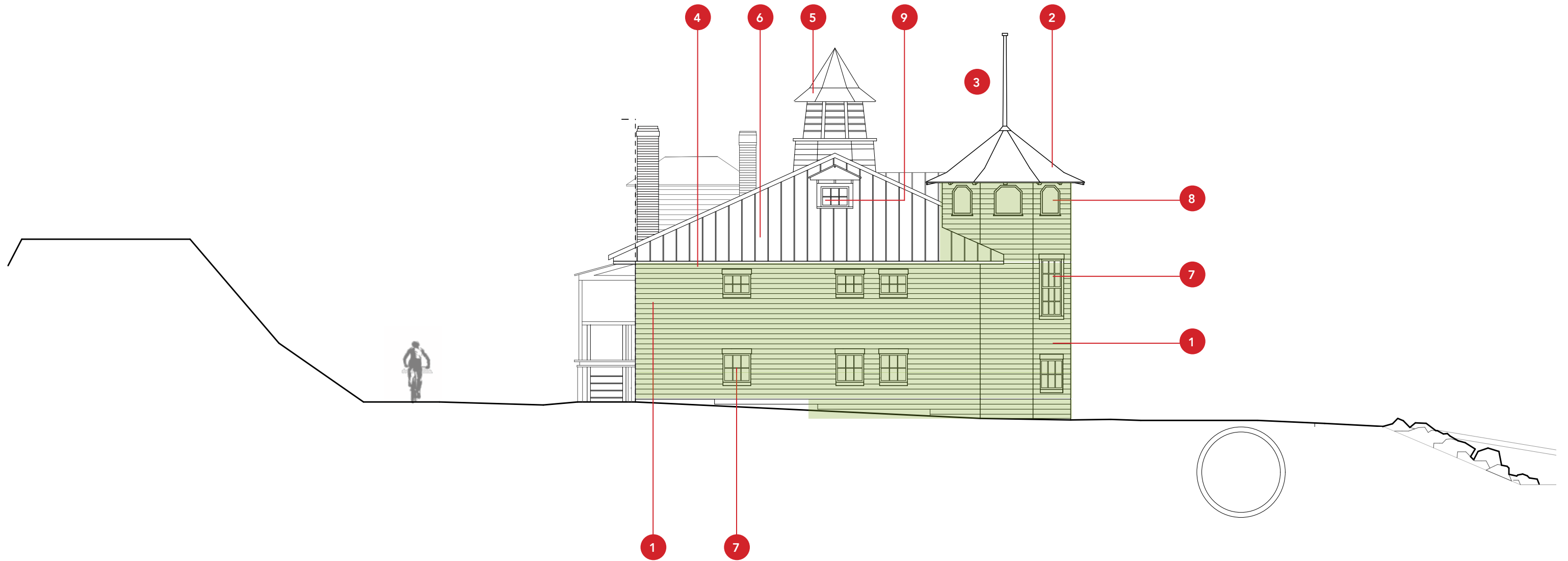
### Key Notes

1. Severely deteriorated wood shingles to be replaced
2. Replace sheet bituminous roofing and repair flagpole
3. Install period correct gutters and downspouts as viewed in historic photos
4. Restore deteriorated venting cupola
5. Replace deteriorated corrugated metal roofing and flashings
6. Remove overlay door and window guards and restore historic doors and windows
7. Reopen close openings at turrets
8. Repair wood dormer and window. Replace roofing and flashings

West Elevation - Observed Conditions and Repair Scope








 Approximate area of deteriorated shingles to be removed and replaced

 Photo or Note Key - see preceding pages

West Elevation - Observed Conditions and Repair Scope



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West Elevation - Observed Conditions and Repair Scope



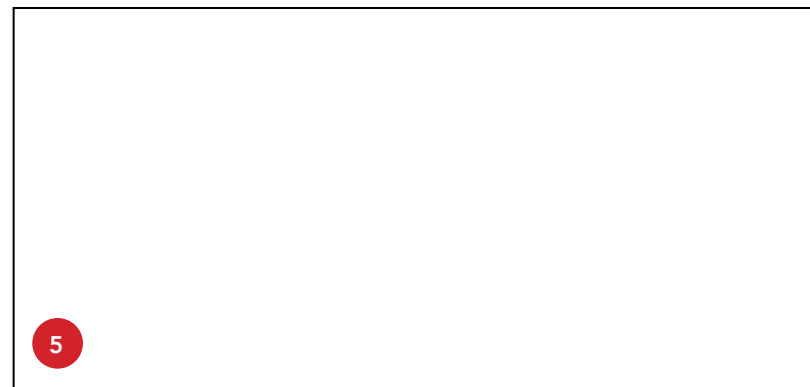
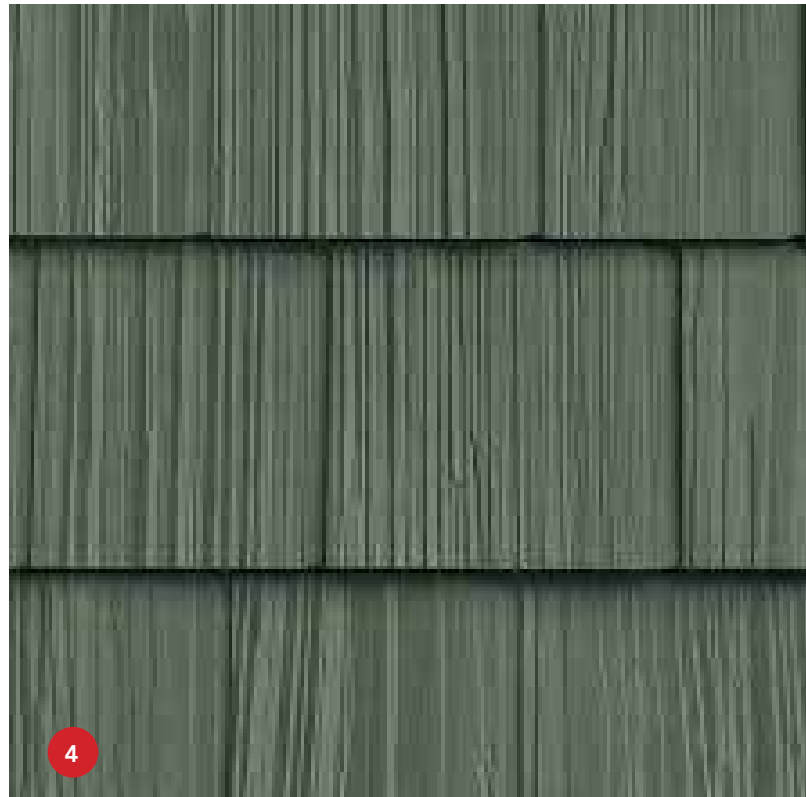
# THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs

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### Exterior Design and Material Precedents

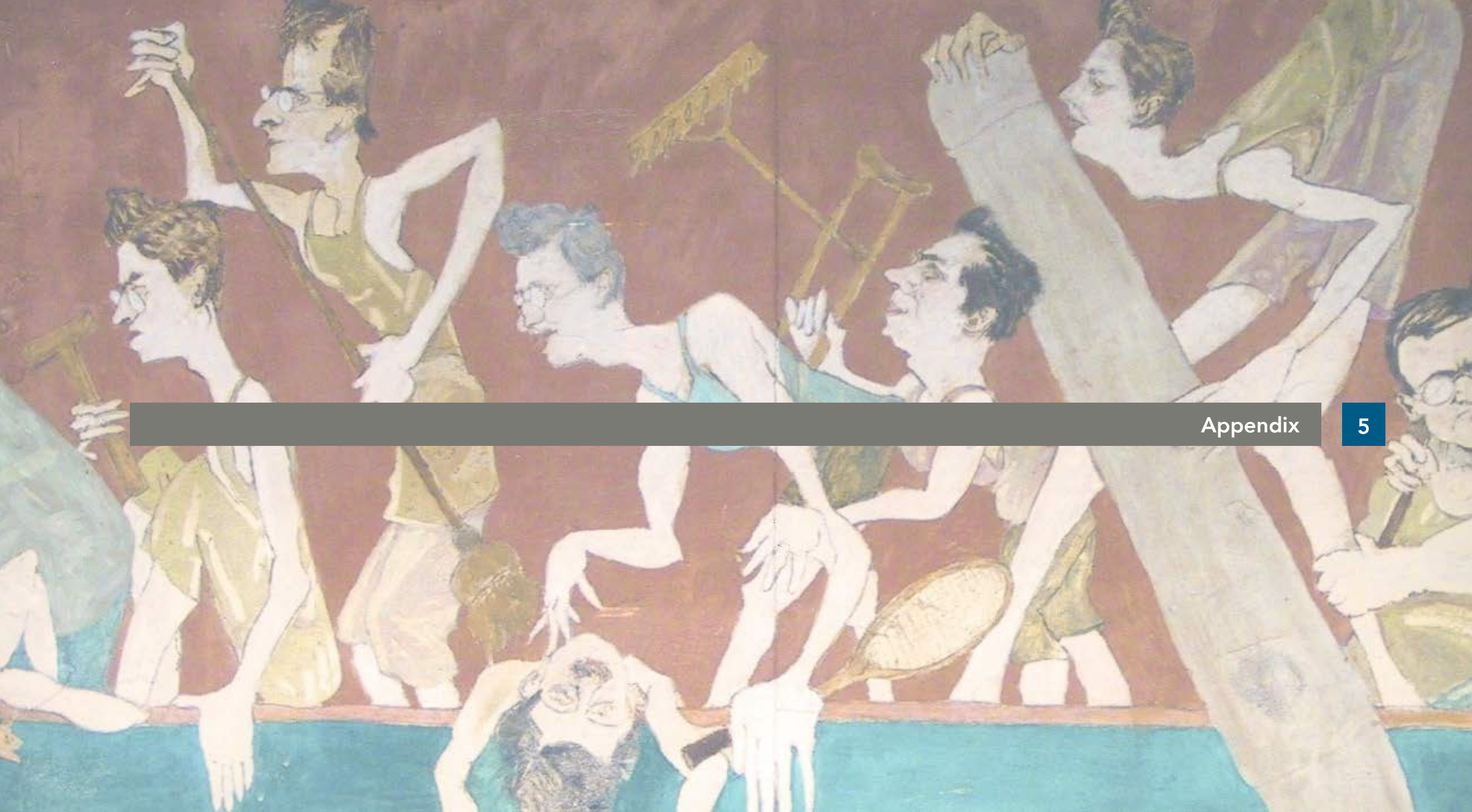
The existing building envelope will be faithfully restored utilizing published National Park Service Guidelines. Similarly when replacing severely deteriorated or damaged existing materials or elements NPS guidance will be followed.

1. Standing seam metal roof at East and West Bays
2. Period correct metal gutters and downspouts
3. Discrete building and security lighting
4. Wood wall shakes to match existing in size, pattern and texture
5. Paint color palette recommendations will be informed by paint analysis conducted by EHT Traceries in 2021 which is included in Volume 2

### Exterior Design Precedents









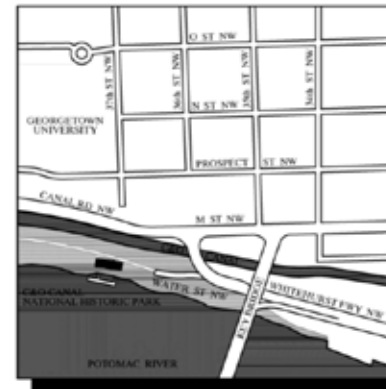
# WASHINGTON CANOE CLUB

The Washington Canoe Club, built in 1904 in the Shingle style, sits between the Potomac River and the tow path of the Chesapeake & Ohio Canal in the Georgetown neighborhood of Washington, D.C. It is one of only two remaining historic boathouses in Washington and an important component of the waterfront landscape. Its presence also speaks to the rise of athletic clubs and an interest in outdoor recreation that occurred during the late nineteenth and early twentieth centuries. The outdoor movement gained momentum as industrialization provided Americans with more leisure time, which coincided with a growing awareness of the value of physical activity. Likewise, the recreational use of canoes and kayaks in particular became increasingly popular in America and in Europe during this period. According to its charter, the Washington Canoe Club was established for "mutual improvement, the promotion of physical culture, and the art of canoeing." The club is also important for its role in pioneering the development of flat-water racing as an Olympic sport and for helping to set competition standards. And in fact, after winning the national competition, Washington Canoe Club members represented the United States in the first Olympic canoeing competition, held in Paris in 1924. The club thus claims numerous Olympic athletes among its past members.

As with most country and athletic clubs of the turn of the century, the Washington Canoe Club sponsored other activities in addition to canoeing. Summer activities included boating excursions, regattas, lantern parades, and swimming matches. The ground floor of the boat house includes a kitchen and a "grill room" to host dining events. A painted frieze in the grill room depicts the club's original members engaging in paddling, beer drinking, and other leisurely pursuits. During the winter months, the "ballroom" on the main floor was host to ladies nights, dances, receptions, minstrel shows, and theater parties.



DISTRICT OF COLUMBIA  
NOT TO SCALE



While the club was originally intended for men only, membership was later opened to women. By 1930, an addition was made to accommodate more boat storage with an open roof deck above; behind that was constructed a ladies locker room. The deck area was subsequently enclosed to create a workshop for boat repair.

Architecturally the Washington Canoe Club is among the best examples of the Shingle Style in the city. It is two-and-a-half stories in height with a closed balcony across the principle riverfront elevation, flanking octagonal towers, and a central pavilion. The pavilion culminates in a broken pediment that includes a half-round fanlight and is bisected by a flagpole. To the center of the balcony is the Washington Canoe Club insignia. A hipped roof covers the building, in the center of which is a ventilator. On the interior, the ground level includes, in addition to the grill room and kitchen, a canoe storage area. On the principal level, in addition to the ballroom, are a stair hall, "board room," and restrooms, with flanking men's and women's locker rooms.

The documentation of the Washington Canoe Club was sponsored by the National Capital Region of the National Park Service, with assistance from the Chesapeake and Ohio Canal National Historical Park. The staff of the Historic American Buildings Survey undertook the recording; Dana Lockett, Mark Schara, Robert Arzola, Daniel De Sousa, Paul Davidson, and Jason McNatt performed the fieldwork. The drawings were produced by Daniel De Sousa, Jason W. McNatt, Paul Davidson, Mark Schara, and Robert Arzola. Virginia Price wrote the historical report with assistance from Catherine Lavoie and Renee Bieretz took the large-format photographs.

HISTORIC AMERICAN BUILDINGS SURVEY DC - 178  
 SHEET 1 OF 5  
 WASHINGTON CANOE CLUB DISTRICT OF COLUMBIA  
 3700 WATER STREET NORTHWEST WASHINGTON  
 DRAWN BY: DANIEL DE SOUSA  
 WASHINGTON CANOE CLUB PROJECT 2013  
 NATIONAL PARK SERVICE  
 UNITED STATES DEPARTMENT OF THE INTERIOR



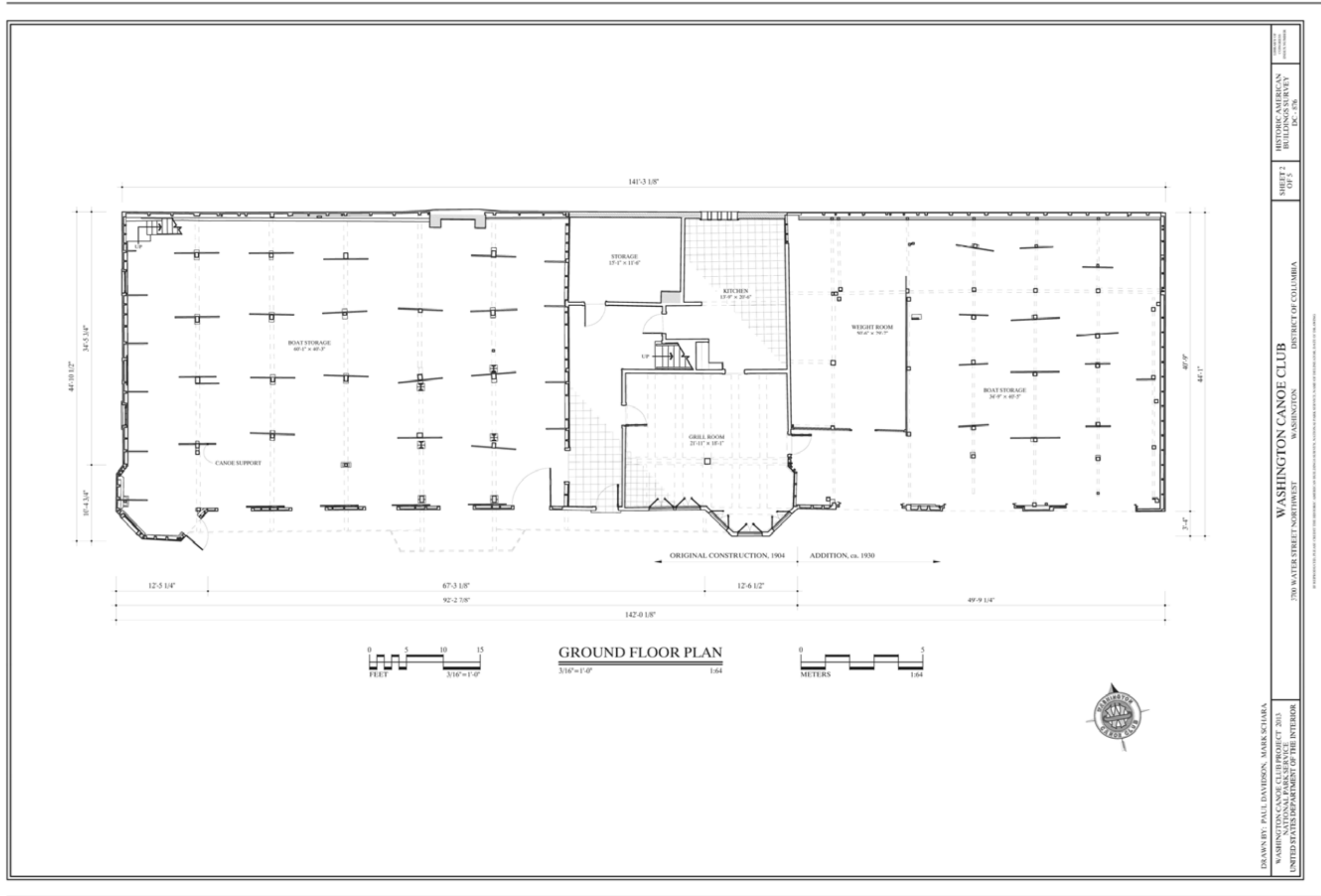
## THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs

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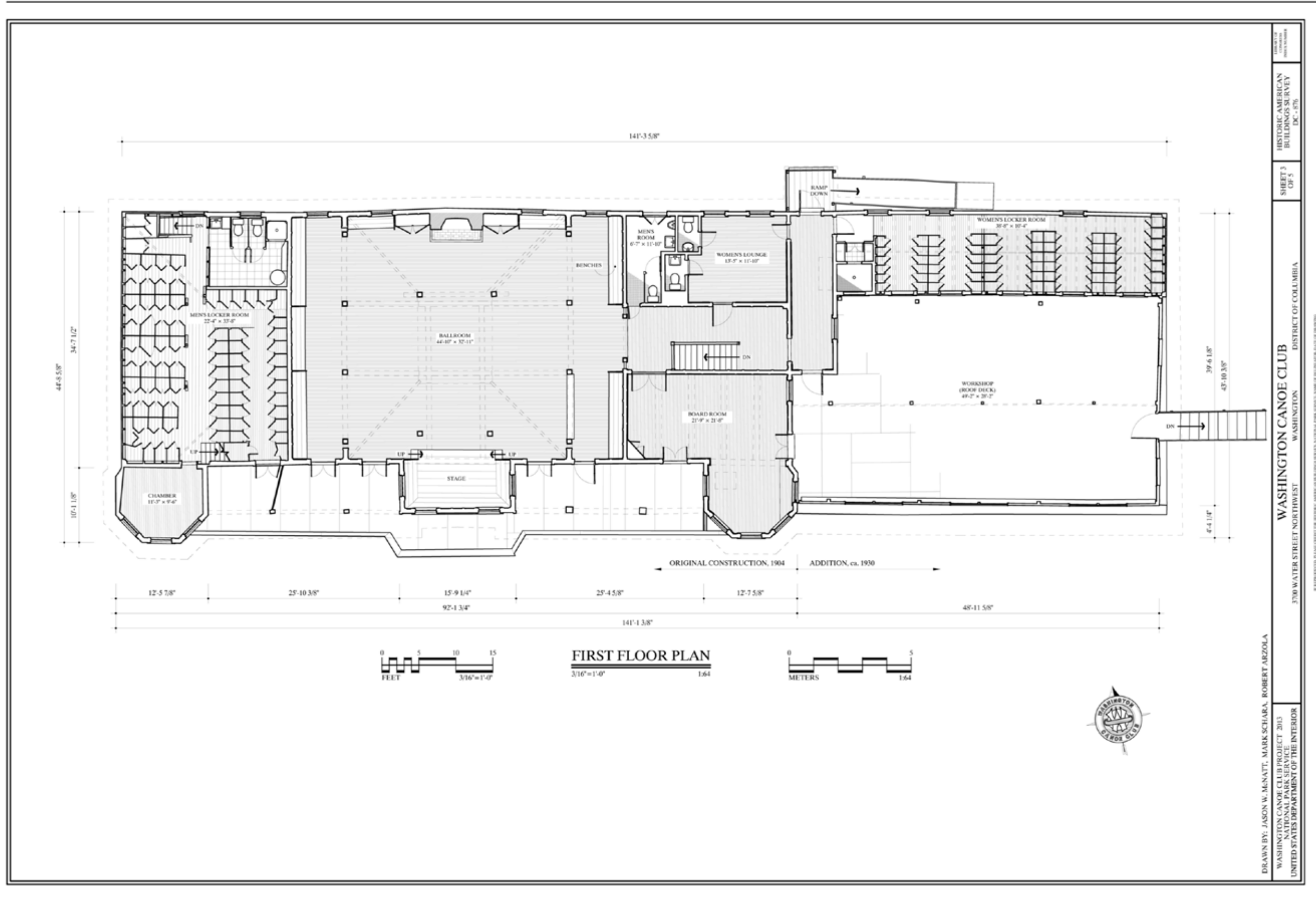


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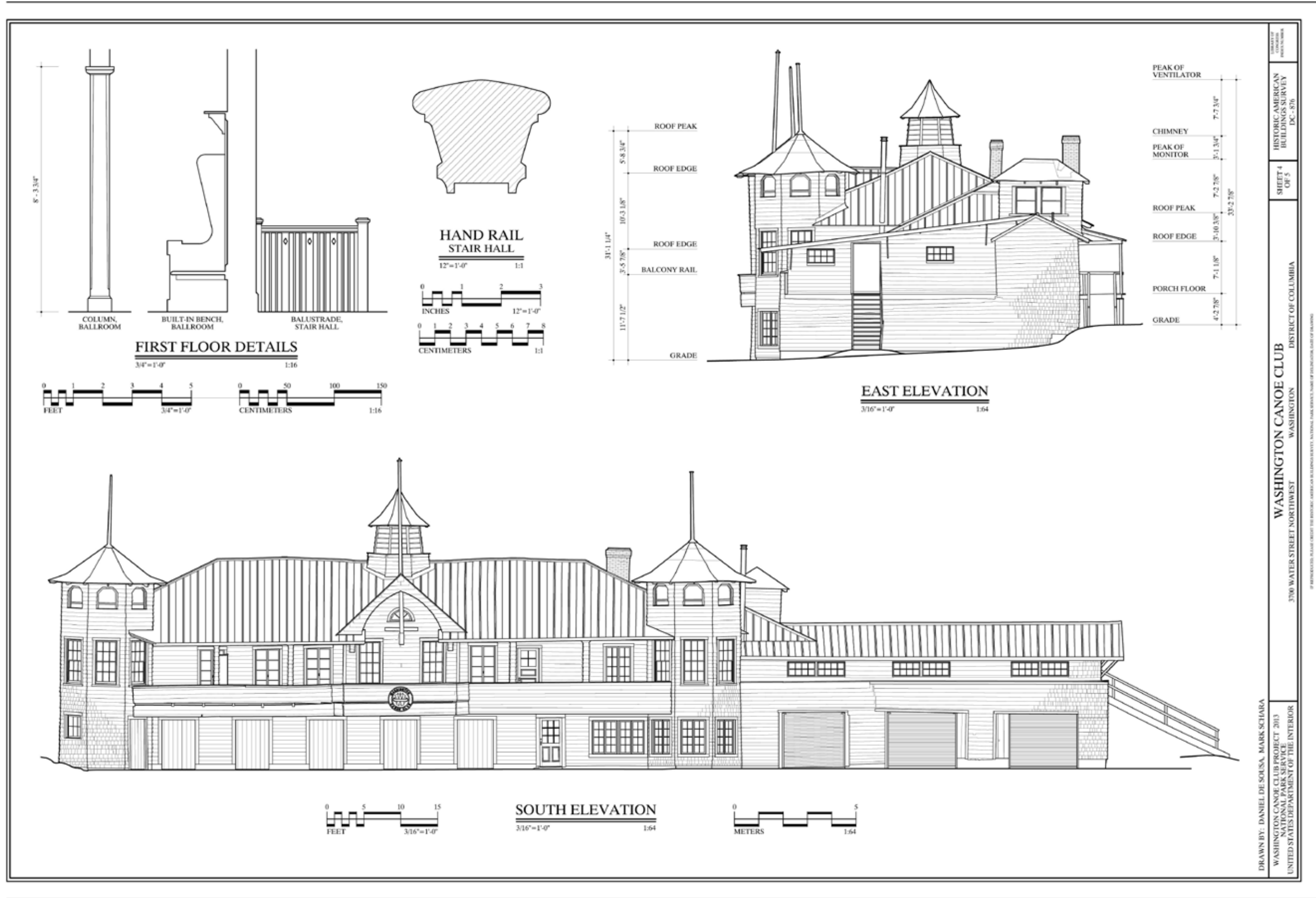


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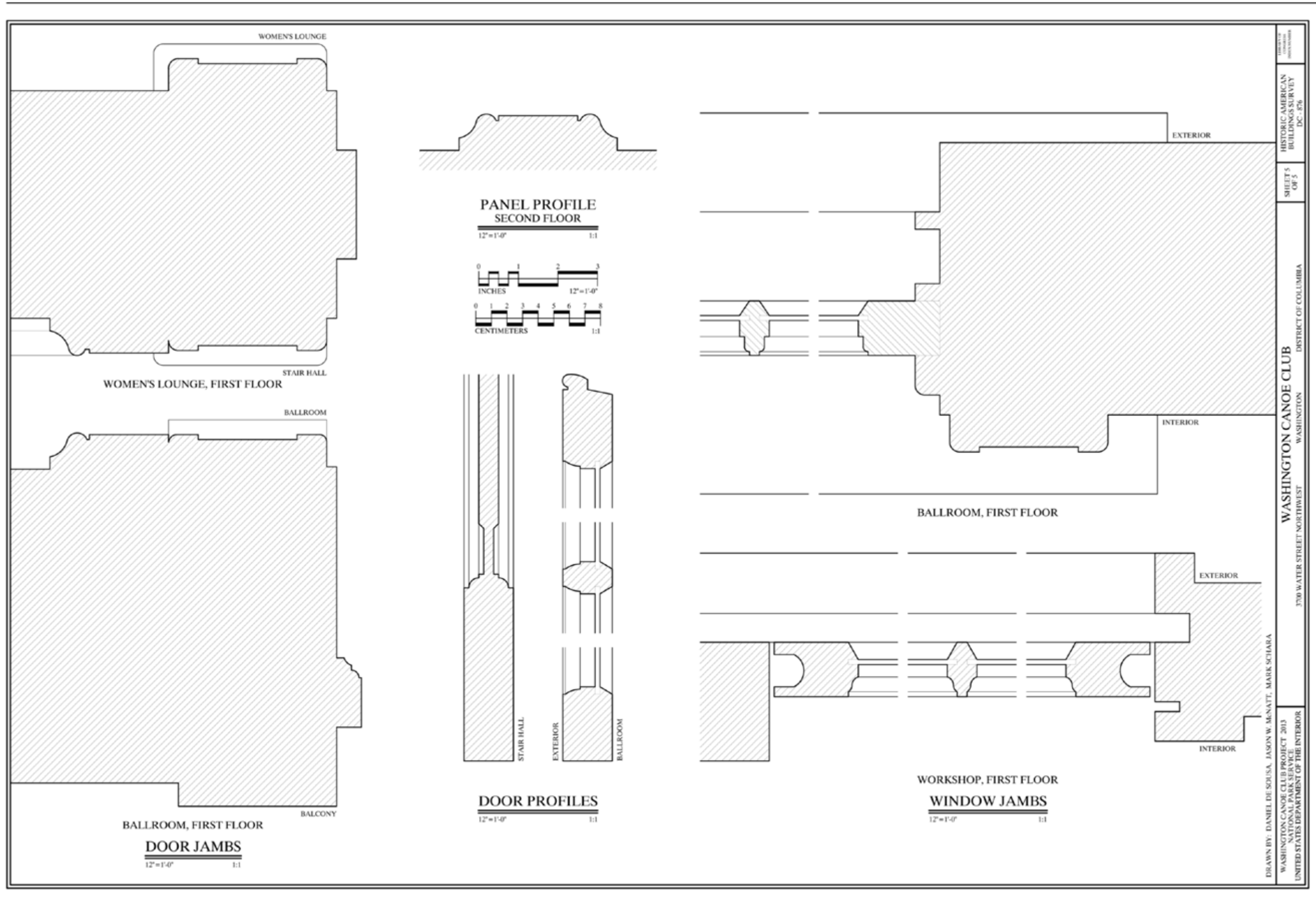
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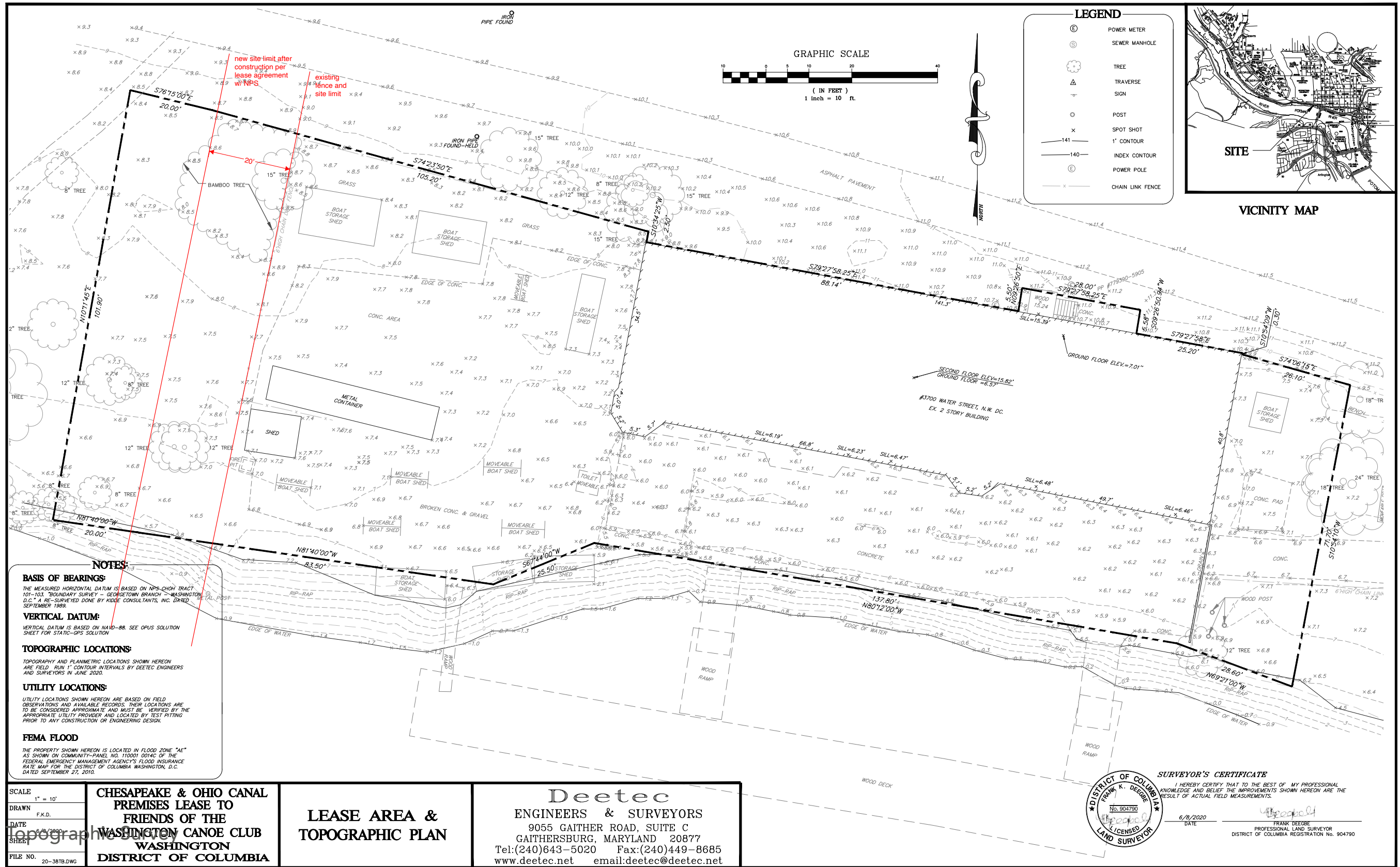
# THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs

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**NOTES:**

**BASIS OF BEARINGS:**  
THE MEASURED HORIZONTAL DATUM IS BASED ON NPS-CHOW TRACT 101-103 "BOUNDARY SURVEY" - GEORGETOWN BRANCH - WASHINGTON, D.C. A RE-SURVEYED DONE BY KODIE CONSULTANTS, INC. DATED SEPTEMBER 1989.

**VERTICAL DATUM:**  
VERTICAL DATUM IS BASED ON NAVD-88. SEE OPUS SOLUTION SHEET FOR STATIC-GPS SOLUTION

**TOPOGRAPHIC LOCATIONS:**  
TOPOGRAPHY AND PLANIMETRIC LOCATIONS SHOWN HEREON ARE FIELD "RUN 1" CONTOUR INTERVALS BY DEETEC ENGINEERS AND SURVEYORS IN JUNE 2020.

**UTILITY LOCATIONS:**  
UTILITY LOCATIONS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND AVAILABLE RECORDS. THEIR LOCATIONS ARE TO BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE APPROPRIATE UTILITY PROVIDER AND LOCATED BY TEST PITTING PRIOR TO ANY CONSTRUCTION OR ENGINEERING DESIGN.

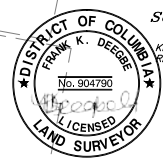
**FEMA FLOOD**  
THE PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE "AE" AS SHOWN ON COMMUNITY-PANEL NO. 110001 0014C OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE DISTRICT OF COLUMBIA WASHINGTON, D.C. DATED SEPTEMBER 27, 2010.

SCALE: 1" = 10'  
DRAWN: F.K.D.  
DATE: 6/8/2020  
SHEET: 1  
FILE NO. 20-38TR.DWG

**CHESAPEAKE & OHIO CANAL PREMISES LEASE TO FRIENDS OF THE WASHINGTON CANOE CLUB WASHINGTON DISTRICT OF COLUMBIA**

**LEASE AREA & TOPOGRAPHIC PLAN**

**Deetec ENGINEERS & SURVEYORS**  
9055 GAITHER ROAD, SUITE C  
GAITHERSBURG, MARYLAND 20877  
Tel: (240)643-5020 Fax: (240)449-8685  
www.deetec.net email: deetec@deetec.net



**SURVEYOR'S CERTIFICATE**  
I HEREBY CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THE IMPROVEMENTS SHOWN HEREON ARE THE RESULT OF ACTUAL FIELD MEASUREMENTS.  
DATE: 6/8/2020  
FRANK DEETEC  
PROFESSIONAL LAND SURVEYOR  
DISTRICT OF COLUMBIA REGISTRATION NO. 904790



**THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs**  
Old Georgetown Board US Commission of Fine Arts • Concept Design Submission

October 17, 2024





**NOTES**

**BASIS OF BEARING**  
 BEARING INFORMATION IS BASED ON THE FACT THAT THE 1851 PHOTOGRAPHY WAS TAKEN IN A SOUTHWEST TO NORTHEAST DIRECTION AND THE 1900 PHOTOGRAPHY WAS TAKEN IN A NORTHEAST TO SOUTHWEST DIRECTION.

**VERTICAL DATUM**  
 VERTICAL DATUM IS BASED ON M.S.L. SEE PLAN SHEET FOR THE 1900 PHOTOGRAPHY.

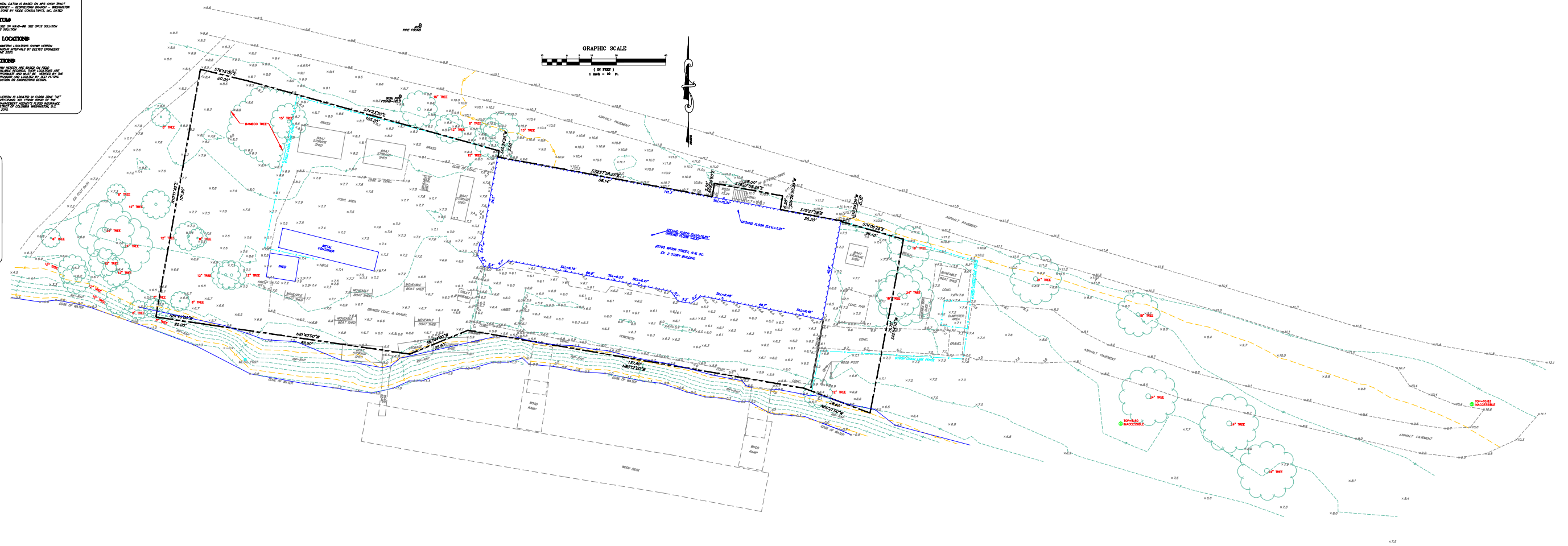
**TOPOGRAPHIC LOCATIONS**  
 TOPOGRAPHY AND PLANNING LOCATIONS SHOWN HEREON ARE BASED ON THE 1900 PHOTOGRAPHY AND THE 1900 PHOTOGRAPHY AND THE 1900 PHOTOGRAPHY AND THE 1900 PHOTOGRAPHY.

**UTILITY LOCATIONS**  
 UTILITY LOCATIONS SHOWN HEREON ARE BASED ON THE 1900 PHOTOGRAPHY AND THE 1900 PHOTOGRAPHY AND THE 1900 PHOTOGRAPHY AND THE 1900 PHOTOGRAPHY.

**FEMA FLOOD**  
 THE FLOODING INFORMATION IS LOCATED IN CASE 2014-1017. ALL AREAS OF FLOODING ARE SHOWN IN RED ON THIS PLAN SHEET. THE FLOODING INFORMATION IS LOCATED IN CASE 2014-1017. ALL AREAS OF FLOODING ARE SHOWN IN RED ON THIS PLAN SHEET.

**LEGEND**

- POWER METER
- SENECA BANKS
- TREE
- △ BANKSIDE
- ▽ SPA
- POST
- SPOT SHOT
- 1" CONTOUR
- INDEX CONTOUR
- POWER POLE
- CHAIN LINK FENCE



Expanded Topographic Survey



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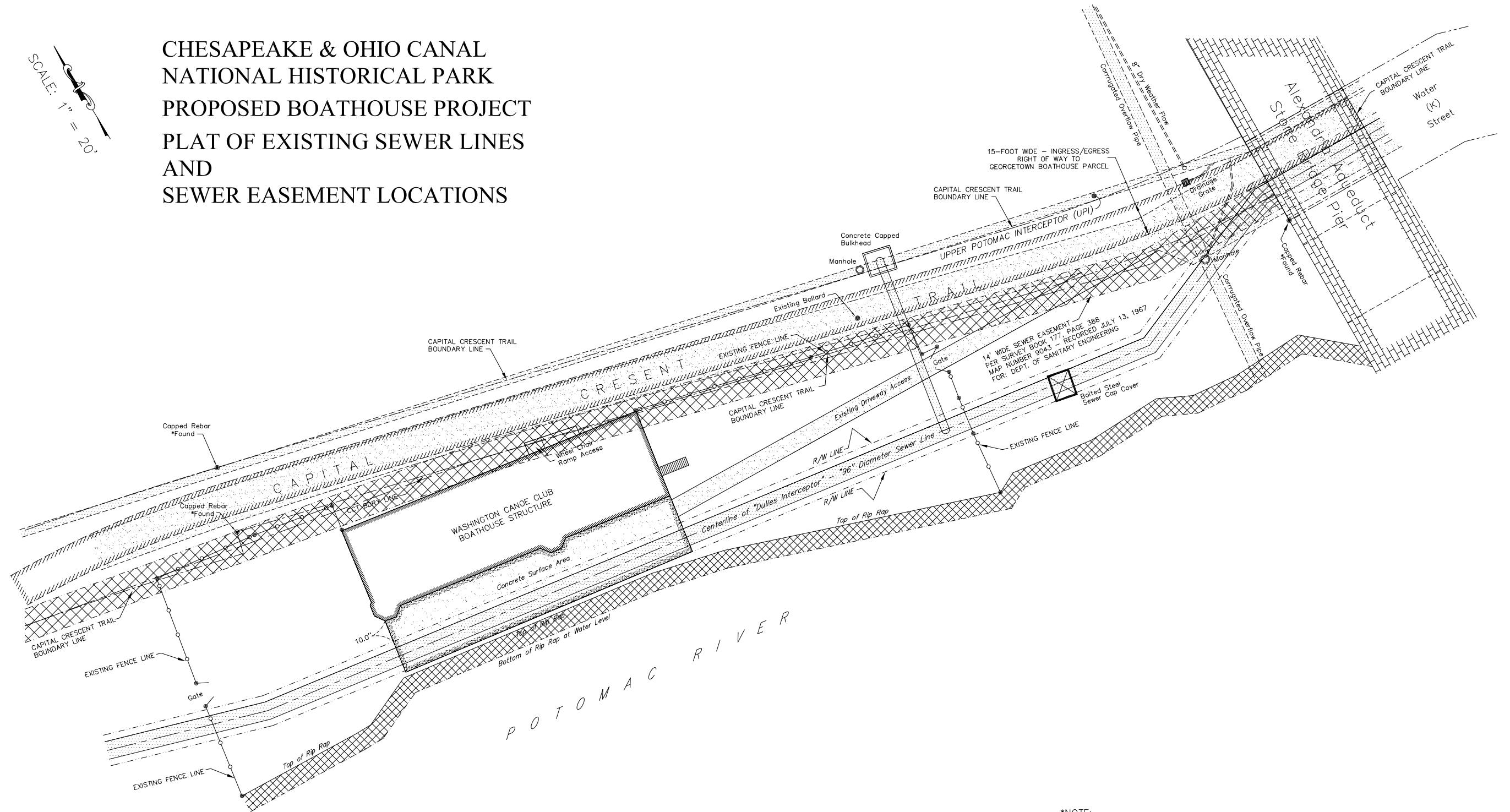
October 17, 2024





SCALE: 1" = 20'

# CHESAPEAKE & OHIO CANAL NATIONAL HISTORICAL PARK PROPOSED BOATHOUSE PROJECT PLAT OF EXISTING SEWER LINES AND SEWER EASEMENT LOCATIONS



**\*NOTE:**  
THE LOCATION OF THE CAPITAL CRESCENT TRAIL BOUNDARY LINE ALONG WITH THE 15-FOOT WIDE, INGRESS/EGRESS RIGHT OF WAY WAS ESTABLISHED BY FIELD TIEING INTO CAPPED REBAR FOUND IN REFERENCE TO A SURVEY CONDUCTED WITH PLAT ENTITLED: "BOUNDARY SURVEY - GEORGETOWN BRANCH, WASHINGTON, DC" PREPARED BY: KIDDE CONSULTANTS, INC. ROCKVILLE MARYLAND DATED: SEPTEMBER 1989, SCALE: 1"= 100', JOB NO. 11/88.035 SHEET: 1 OF 5.

PREPARED BY: J M CYHANICK  
DATE: JUNE 26, 2008



**THE WASHINGTON CANOE CLUB - Interior and Exterior Modifications and Repairs**  
Old Georgetown Board US Commission of Fine Arts • Concept Design Submission

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1200 Architectural Engineers PLLC



EHT Traceries Historic Preservation



# THE WASHINGTON CANOE CLUB

3700 Water Street NW Washington, DC

October 17, 2024