

OLD GEORGETOWN BOARD HEARING COMMENT RESPONSES

TO: The Old Georgetown Board
DATE: April 27, 2020
SUBJECT: Comment Responses and Revisions to Initial Concept & Hearing from April 2, 2020
ADDRESS: 1061 Thomas Jefferson Street NW, Washington, DC 20007

Comments were provided by Mary Catherine Bogard, Historic Preservation Specialist, on April 3, 2020. Comment responses are written in **red** directly below the Board's comments.

1. The proposed plan should retain the side yard or horse alley on the north, so that it is open from Thomas Jefferson Street through to the rear yard, as this is an important feature of the site. This means that the north angled piece of the addition should be removed from the proposal.
The side yard to the north does not belong to 1061 Thomas Jefferson St. NW. It is located on the property of 1063 Thomas Jefferson St. NW. The side yard is not a feature of this site and the Owners of this property do not have access to it. The proposed one-story rear addition would not alter the public view or character of the side yard from the street. Reference the photographs and diagrams on page 8 and the site survey by others on page 9. Additionally, per zoning regulations for MU-12, the side yard requirement is (0) feet or (8) feet. The current proposal includes (0) feet side yard setbacks. Given the (~16) feet width of the lot, an (8) feet wide setback at the north, would only leave (~8) feet for the width of the addition. This size is not feasible. Reference the diagrams on page 11.
2. The OGB had no objection to the rear bay addition, but found that in elevation, the basement has no relationship to the design above and could be more like an ell to better relate to the site.
Reference revised elevations on sheets 32 and 33.
The design of the bay and addition have been revised to unify the whole rear yard elevation:
 1. All three new glass elements (2 story bay, skylight and oriel bay) are the same width and vertical glazing proportions.
 2. The rear yard entry door in the addition is offset from the ground level window bay to allow the primary glass elements to align with each other.
3. Include some different fenestration options for the rear elevation design. This rear elevation is highly visible and if a glassy addition is desired, it should be a true modern design. Consider spandrel glass and better proportions, or; consider reducing the glazing and using a material palette that is more sympathetic to the adjacent C&O Canal. The OGB would also like to see studies of the proposed design as viewed from the mule yard, behind the property.
Per the response to comment #2, the two fenestration options provided are a more contemporary approach to the rear elevation. Each of the glass openings are surrounded by solid metal frames constructed to project from their surrounding surfaces. This will create some shadow and relief on the rear facade and unify the all of the newly constructed elements. Reference page 34 for views from the mule yard.
4. Please show that any vent stacks proposed for the basement level bathrooms are not visible from Thomas Jefferson Street, or if minimally visible that they will be painted or clad as opposed to bright white.

MEMORANDUM – CONT.

1061 Thomas Jefferson Street NW, Washington, DC 20007

April 20, 2020

Page 2 of 2

An 8" stack has been included in the section. This stack will not be visible from public view. Reference page 37 for the proposed section.

5. The areas and amount of demolition proposed is not clear in the drawings. Please document the proposed demolition. The OGB would like to see as much of the floor framing and chimneys/fireplaces retained.
*The first floor **front** fireplace and hearth at the existing living room will be retained. The surrounding finishes will be removed and replaced. The first floor **rear** fireplace and finishes are non-historic and will be removed. The chimney for the front fireplace will be retained and the chimney for the rear fireplace at the rear will be removed. References pages 16 through 20 for removal notes and drawings.*
6. If any trees of significance will be impacted by demolition, it would be good to indicate that on the plans.
Please see the attached arborist report for 1061 Thomas Jefferson St. NW. The proposed addition and terracing will not impact the rear magnolia trees currently on site.

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PROJECT NARRATIVE

This proposal is for the renovation, alteration and addition to a two story structure in the “Old Georgetown” Historic District. The proposed work includes exterior structural repair, interior renovation, and a one story basement level addition.

LIST OF DRAWINGS

- | | |
|---|---|
| 1. Cover | 19. First Floor Plan - Removals |
| 2. Aerial View of Site and Context Photos | 20. Second Floor Plan - Removals |
| 3. Existing Exterior Conditions and Photos | 21. Site Plan - Proposed |
| 4. Existing Exterior Conditions and Photos | 22. Cellar/Basement Floor Plan - Proposed |
| 5. Existing Exterior Conditions and Photos | 23. First Floor Plan - Proposed |
| 6. Existing Interior Conditions and Photos | 24. Second Floor Plan - Proposed |
| 7. Photos For Neighboring
1059 Thomas Jefferson Street NW | 25. West Elevation - Existing |
| 8. Photos & Diagram of Northern Neighbor's
South Side Yard | 26. South Elevation - Existing |
| 9. Site Survey by Others | 27. East Elevation - Existing |
| 10. Tree Plan - Proposed | 28. North Elevation - Existing |
| 11. Zoning Diagrams | 29. West Elevation - Proposed |
| 12. Site Plan - Existing | 30. South Elevation - Proposed |
| 13. Cellar/Basement Floor Plan - Existing | 31. East Elevation - Proposed Initial Concept |
| 14. First Floor Plan - Existing | 32. East Elevation - Proposed Option 1 |
| 15. Second Floor Plan - Existing | 33. East Elevation - Proposed Option 2 |
| 16. Removals Key | 34. Views from the Mule Yard |
| 17. Site Plan - Removals | 35. North Elevation - Proposed |
| 18. Basement Floor Plan - Removals | 36. Section East/West - Existing |
| | 37. Section East/West - Proposed |



THOMAS JEFFERSON STREET VIEW



REARYARD VIEW

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1061 THOMAS JEFFERSON



VIEW OF PROPERTY FROM CANAL



THOMAS JEFFERSON STREET CONTEXT
NORTH EAST VIEW



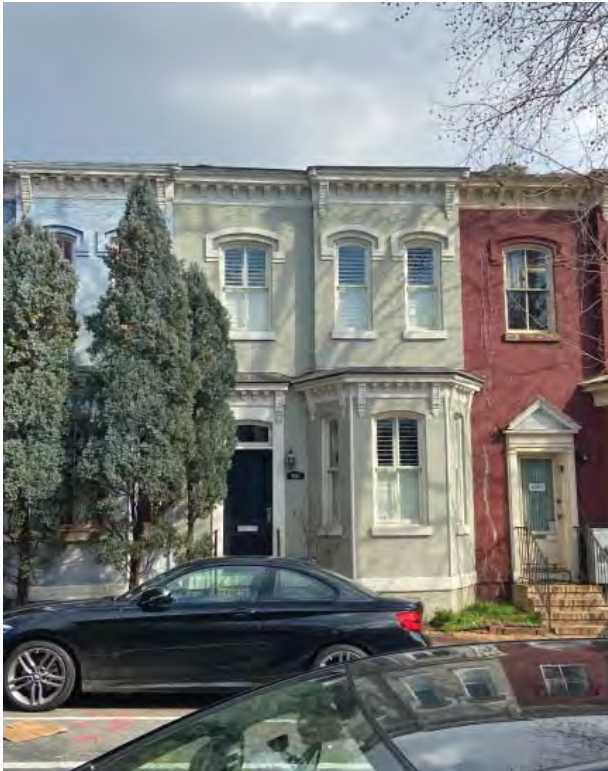
THOMAS JEFFERSON STREET CONTEXT
NORTH WEST VIEW

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THOMAS JEFFERSON STREET- ADJACENT PROPERTIES



REAR YARD VIEW OF 1061 THOMAS JEFFERSON



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FRONT FACADE EXISTING CONDITIONS

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REAR ELEVATION EXISTING CONDITIONS



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VIEW OF LIVING RM



VIEW OF LIVING RM TO KITCHEN AREA



VIEW OF KITCHEN AREA



VIEW OF FIRST FLR TO SECOND FLR STAIR



VIEW OF FIRST FLR FAMILY RM FIREPLACE



VIEW OF FIRST FLR TO SECOND FLR STAIR



VIEW OF SECOND FLR STAIR HALL



VIEW OF SECOND FLR REAR BEDROOM FIREPLACE

PLEASE REFERENCE THE FOLLOWING PAGE 7 FOR ADDITIONAL CONTEXTUAL INFORMATION FOR THE INTERIOR LAYOUT AND STAIR.

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EXTERIOR AND INTERIOR OF 1059 THOMAS JEFFERSON ST. NW (SOUTH NEIGHBOR OF IDENTICAL TO PROPOSED PROPERTY). THE INTERIOR STAIR CONFIGURATION APPEARS TO HAVE TO BE THE ORIGINAL LAYOUT AND PRESUMABLY WAS THE ORIGINAL STAIR LOCATION OF 1061 THOMAS JEFFERSON. **THEREFORE, IT IS PRESUMED THAT THE STAIR IN 1061 IS NOT ORIGINAL HISTORIC FABRIC.**



① 1059 THOMAS JEFFERSON ST. NW
CURRENT EXTERIOR WEST ELEVATION



② 1059 THOMAS JEFFERSON ST. NW
INTERIOR VIEW AT LIVING RM STAIR

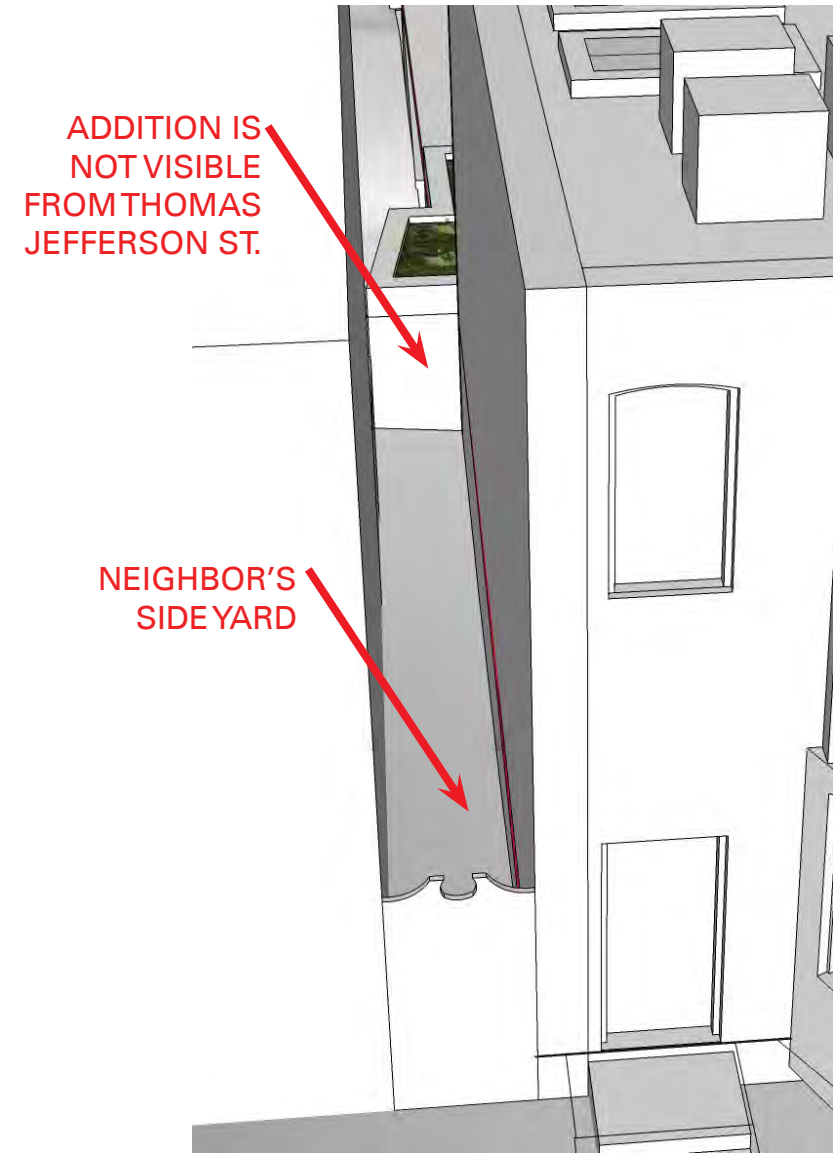


④ 1059 THOMAS JEFFERSON ST. NW
PREVIOUS EXTERIOR WEST ENTRY



③ 1059 THOMAS JEFFERSON ST. NW
INTERIOR VIEW AT LIVING RM STAIR

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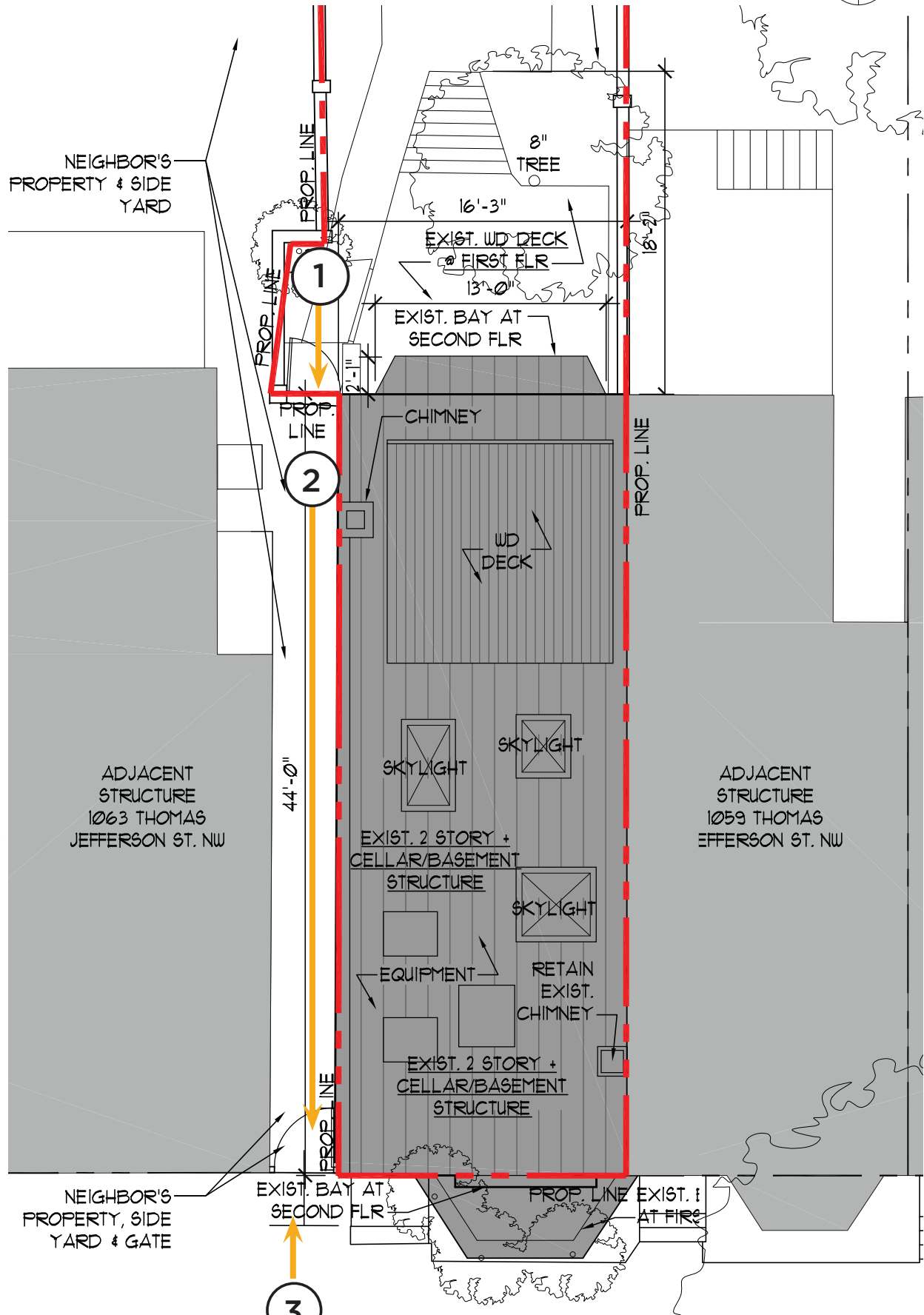
3 AERIAL MODEL VIEW AT THE NORTHERN NEIGHBOR'S SOUTHERN GATE AT THE THOMAS JEFFERSON ST. SIDEWALK AND SOUTH SIDE YARD



1 VIEW TO WESTERN GATE AT PROPERTY LINE

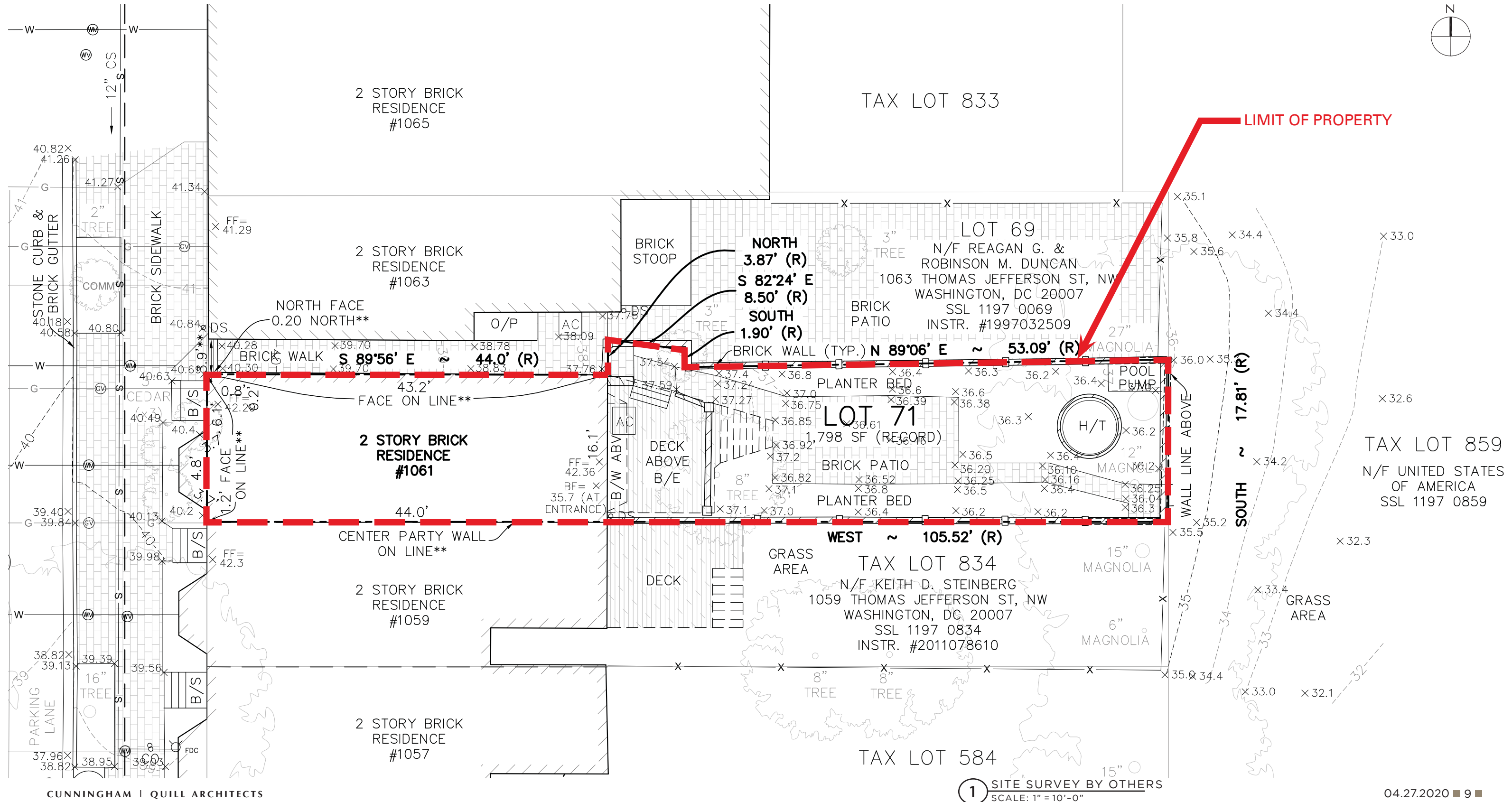


2 VIEW TO THE NORTHERN NEIGHBOR'S SOUTHERN GATE AT THE THOMAS JEFFERSON ST. SIDEWALK

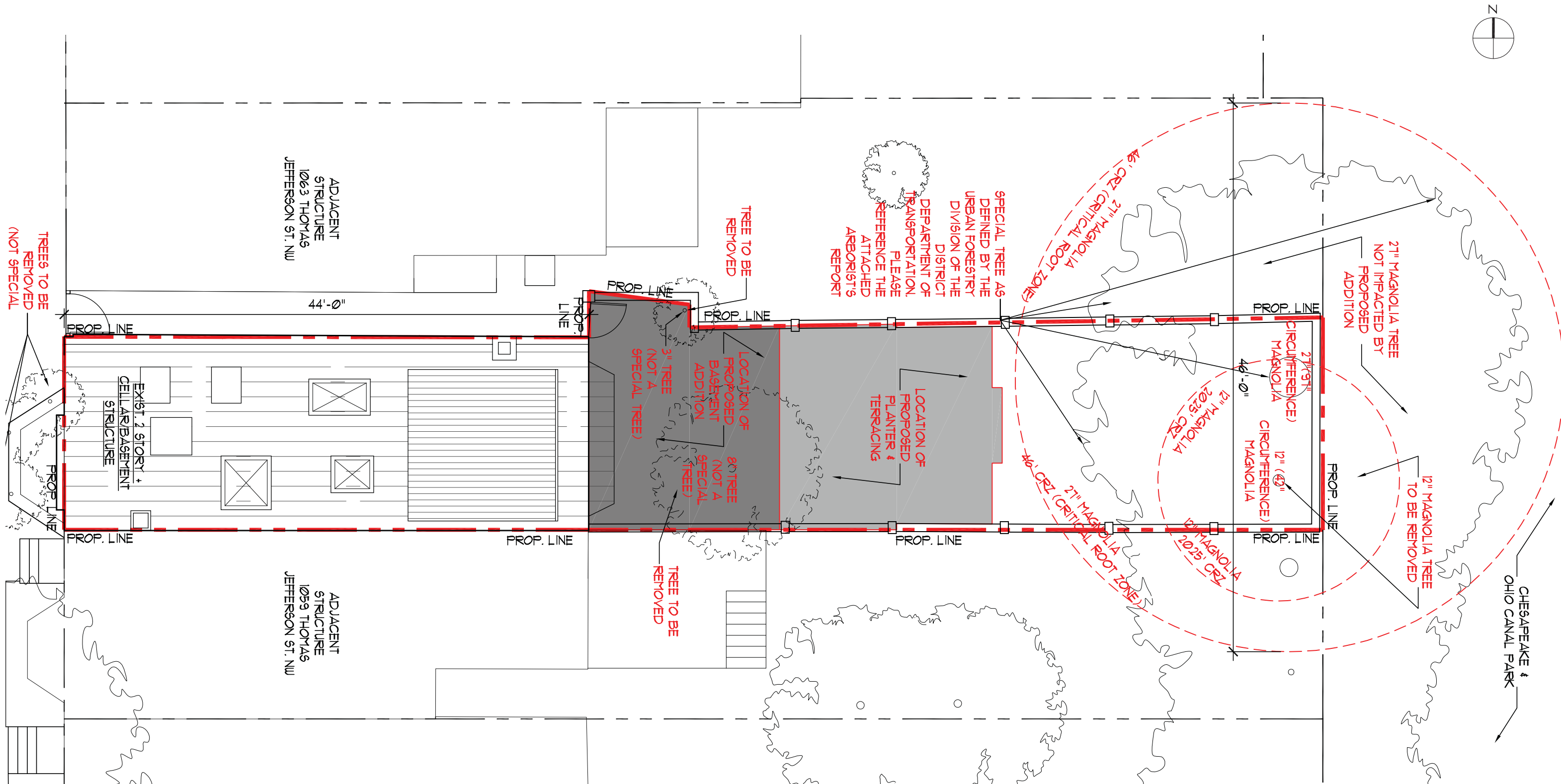


ENLARGED EXISTING PARTIAL SITE PLAN

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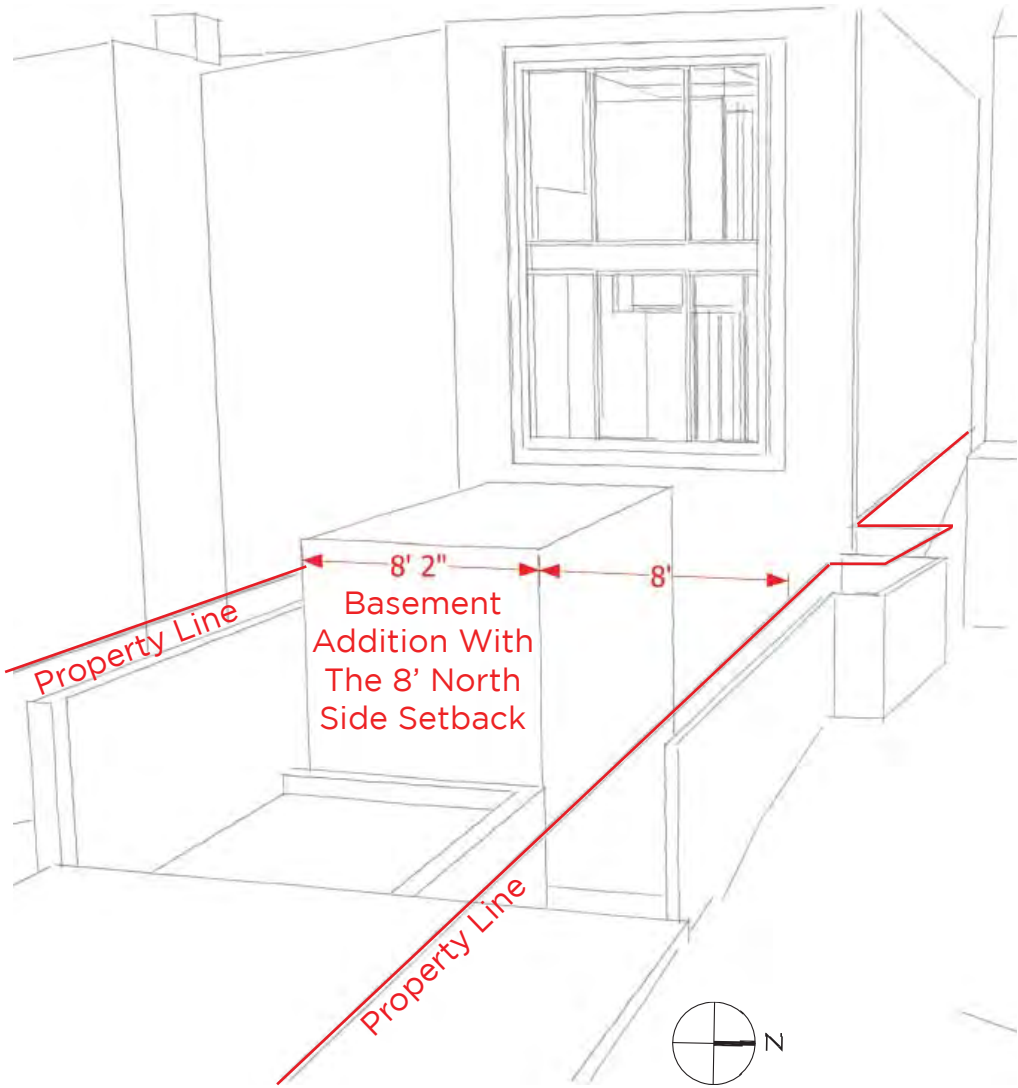


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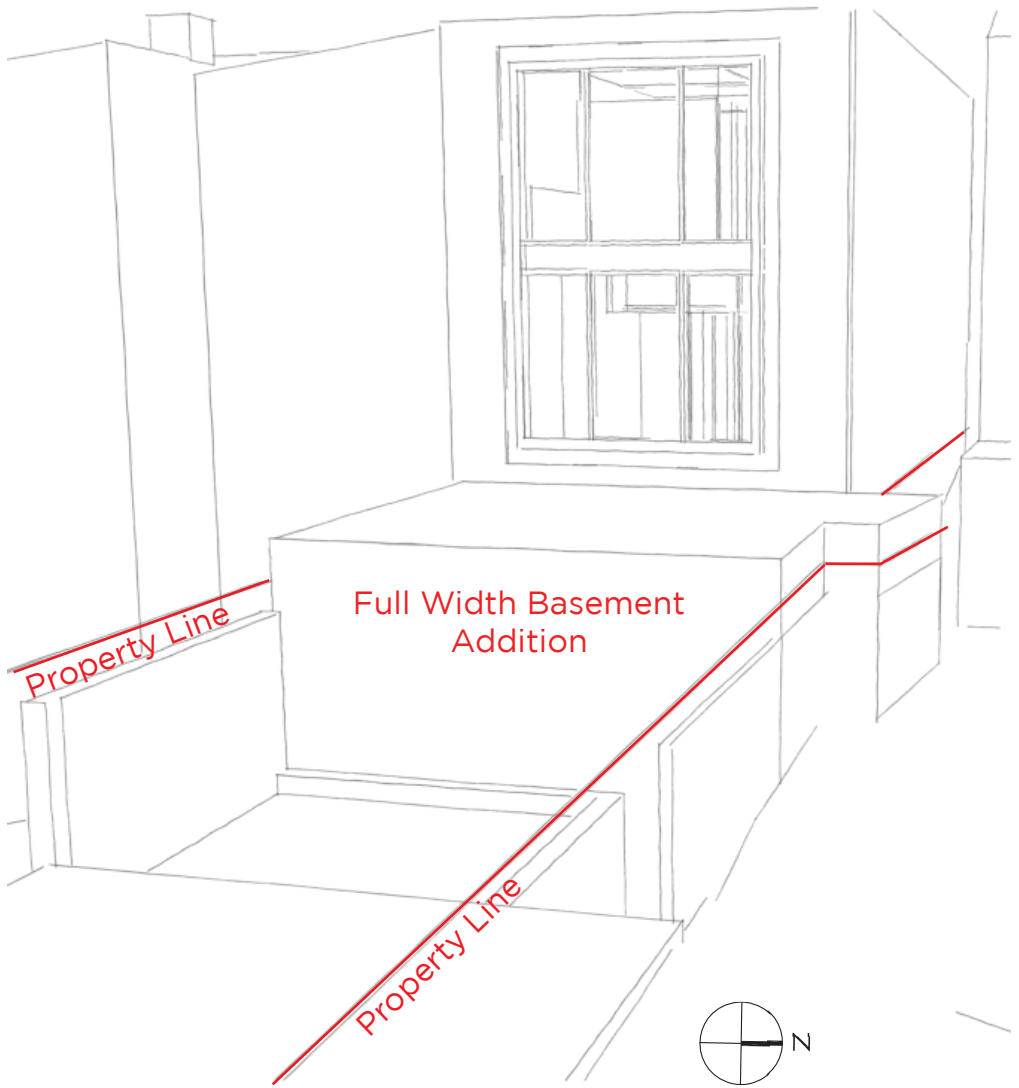
SIDE YARD SETBACK FOR MU-12 PER DC ZONING REGULATIONS OF 2016

“506.2 NO SIDE YARD SHALL BE REQUIRED IN THE MU-12, MU-13, AND MU-14 ZONES. IF A SIDE YARD IS PROVIDED, ITS MINIMUM WIDTH SHALL BE AT LEAST EIGHT (8) FEET.”

GIVEN THE ~16 FEET WIDTH OF THE LOT, TO ABIDE BY THE ZONING REGULATIONS, AN 8 FEET SIDE YARD AT THE NORTHERN SIDE WOULD DICTATE AN ~8’ WIDE ADDITION WHICH IS NOT FEASIBLE.

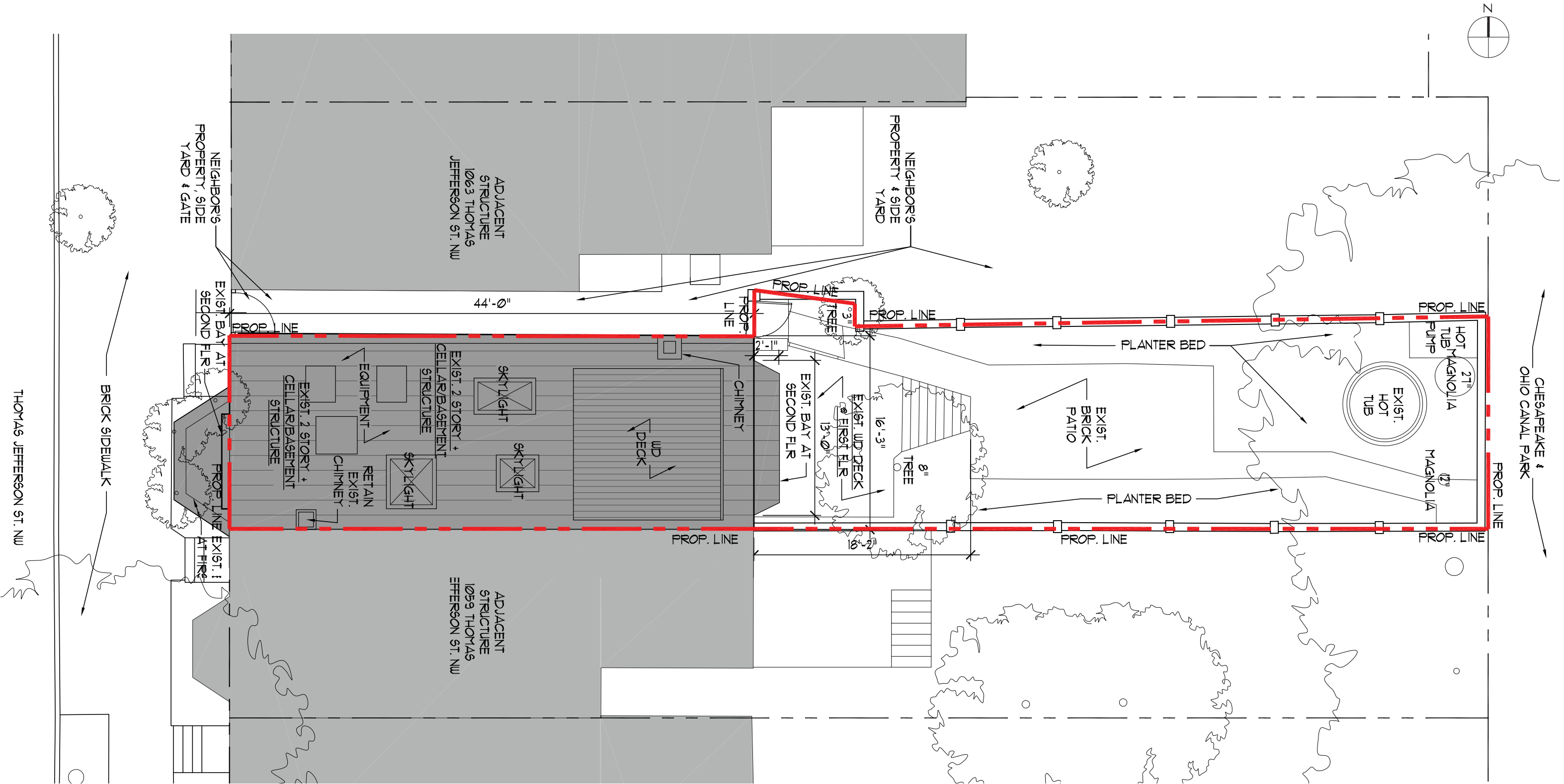


1 DIAGRAM OF BASEMENT ADDITION ABIDING BY 8' SIDE YARD REQUIREMENT - NOT FEASIBLE
SCALE: 1/8" = 1'-0"

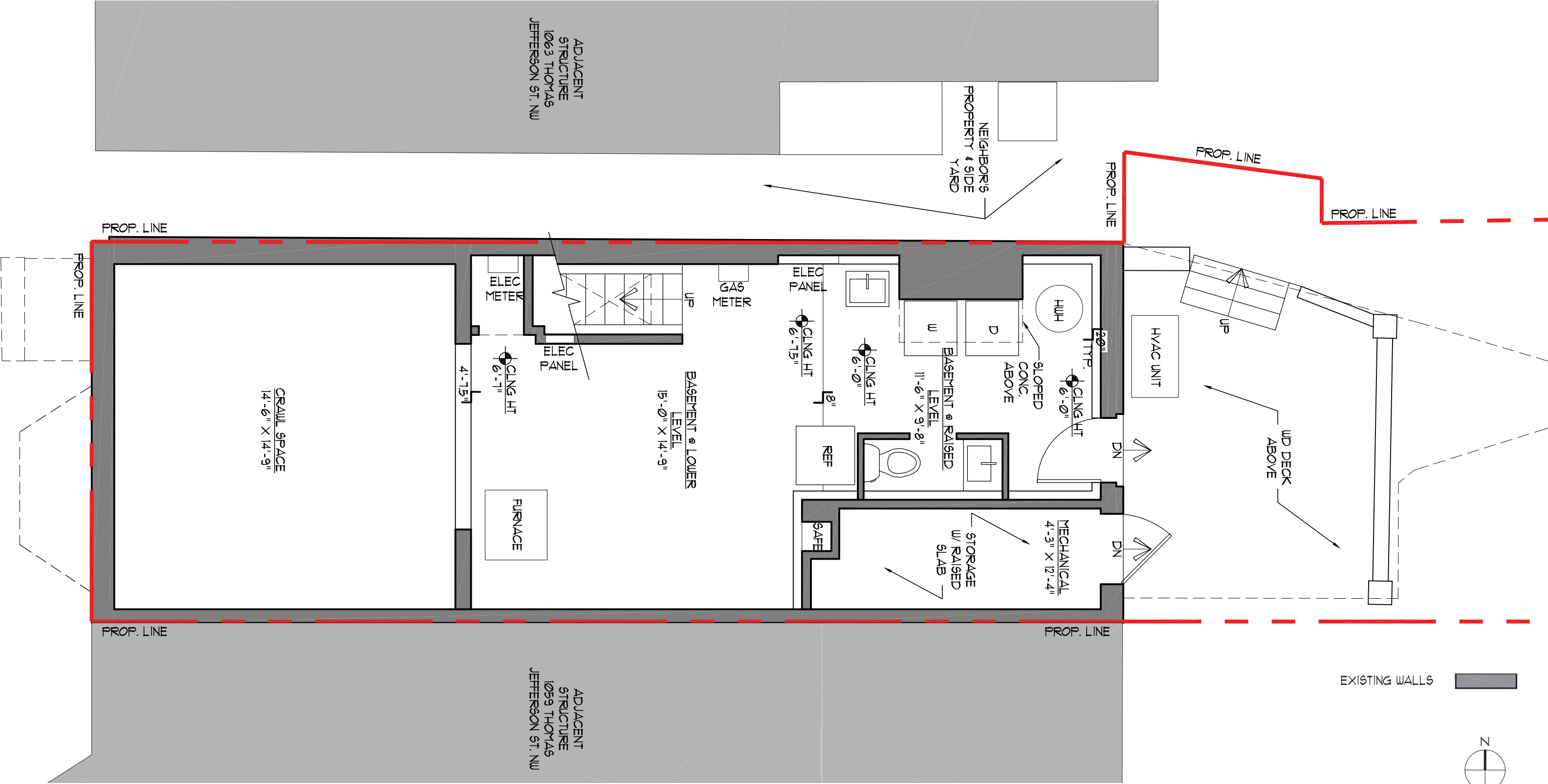


2 DIAGRAM OF FULL WIDTH BASEMENT ADDITION - CURRENT PROPOSAL
SCALE: 1/8" = 1'-0"

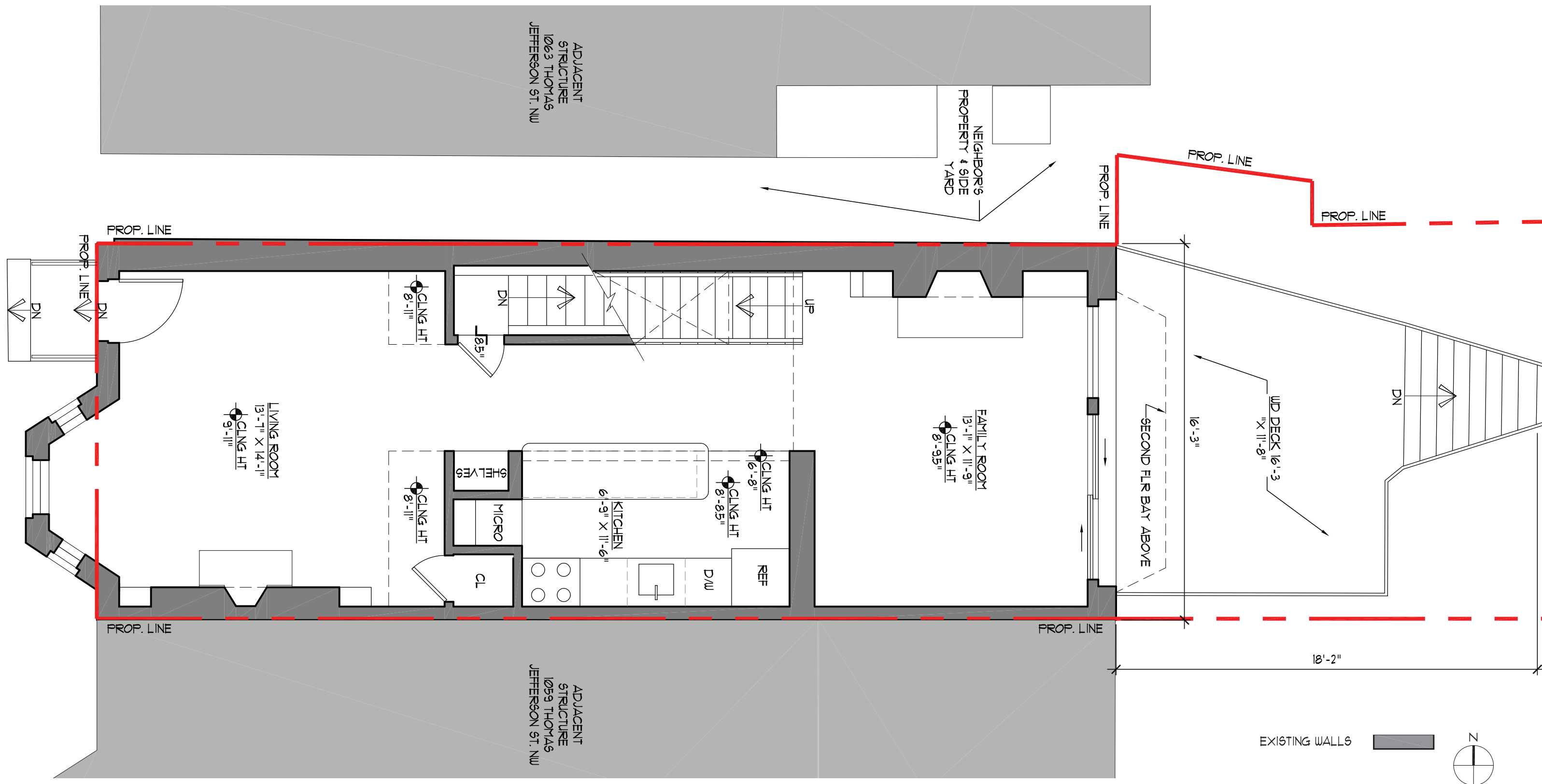
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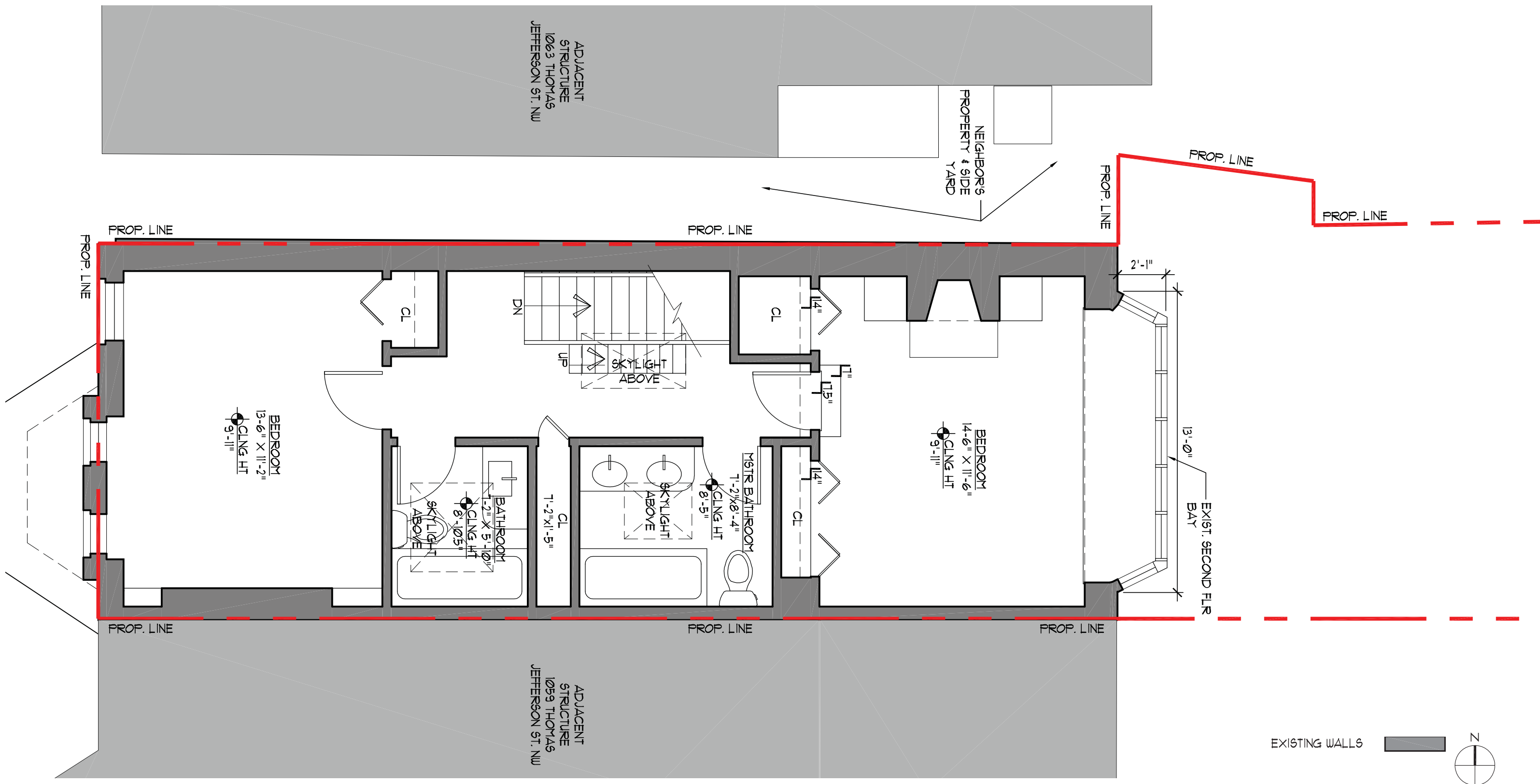
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REMOVALS KEY

EXISTING WALL TO REMAIN 

MATERIAL TO BE REMOVED 

- ① REMOVE EXIST. PARTIAL EXTERIOR WALL

② REMOVE EXIST. WINDOWS AND DOORS

③ REMOVE EXISTING INTERIOR WALLS TO EXTENTS SHOWN

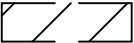
④ REMOVE EXIST. KITCHEN CABINETS, APPLIANCES, PLUMBING FIXTURES, & FINISHES

⑤ REMOVE EXIST. BATH PLUMBING FIXTURES & FINISHES

⑥ REMOVE EXIST. LAUNDRY APPLIANCES & PLUMBING

⑦ REMOVE EXIST. STAIR & GUARD/LADDER

⑧ REMOVE EXIST. REAR NON-HISTORIC FIREPLACE, MASONRY, FINISHES, HEARTH CHIMNEY

⑨ REMOVE EXIST. FLOOR STRUCTURE TO EXTENTS SHOWN 

⑩ REMOVE EXIST. BASEMENT SLAB & UNDERPIN AS REQ'D

⑪ REMOVE CEILING AS REQ'D
- ⑫ REMOVE EXIST. PARTIAL ROOFING, GUTTER & DS AS REQ'D

⑬ REMOVE & RELOCATE EXIST. HVAC/ELEC EQUIP.

⑭ EXCAVATE EXIST. CRAWLSPACE/SLAB AS REQ'D FOR PROPOSED WORK. REF TO PROPOSED DWGS.

⑮ REMOVE EXIST. EXTERIOR DECKING, GUARDS, TERRACING, LOW RET WALLS, TREE

⑯ REMOVE EXIST. SAFE

⑰ REMOVE EXIST. BUILT INS, BENCH & CLOSET ACCESSORIES

⑱ REMOVE EXIST. SKYLIGHT

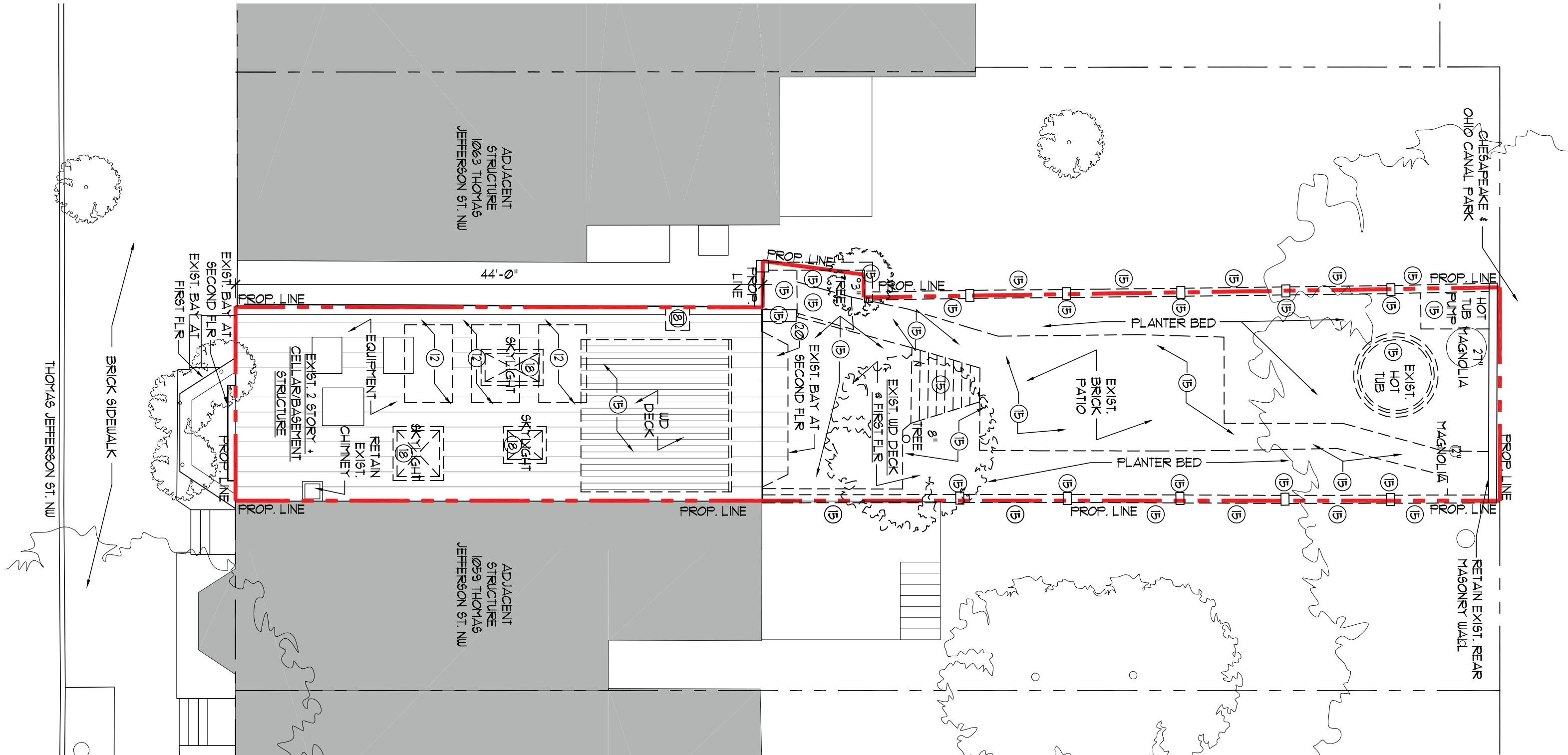
⑲ REMOVE EXIST. FLOORING FINISH

⑳ REMOVE BAY STRUCTURE

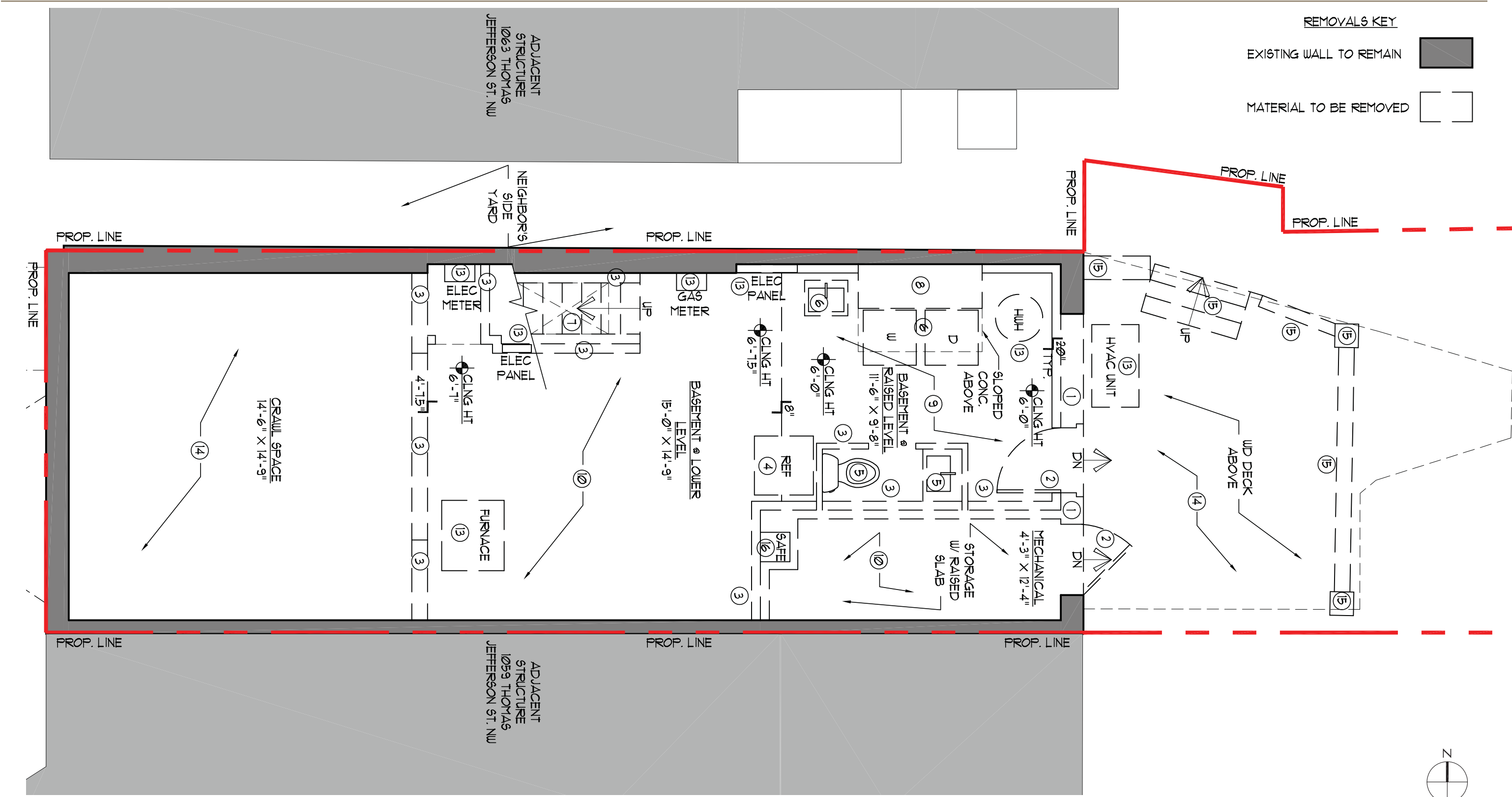
㉑ REMOVE EXIST. BRICK AS REQ'D FOR STRUCTURAL STABILIZATION

㉒ RETAIN EXIST. FRONT FIREPLACE & HEARTH. REMOVE EXIST. FRONT FIREPLACE SURROUND FINISHES ONLY.

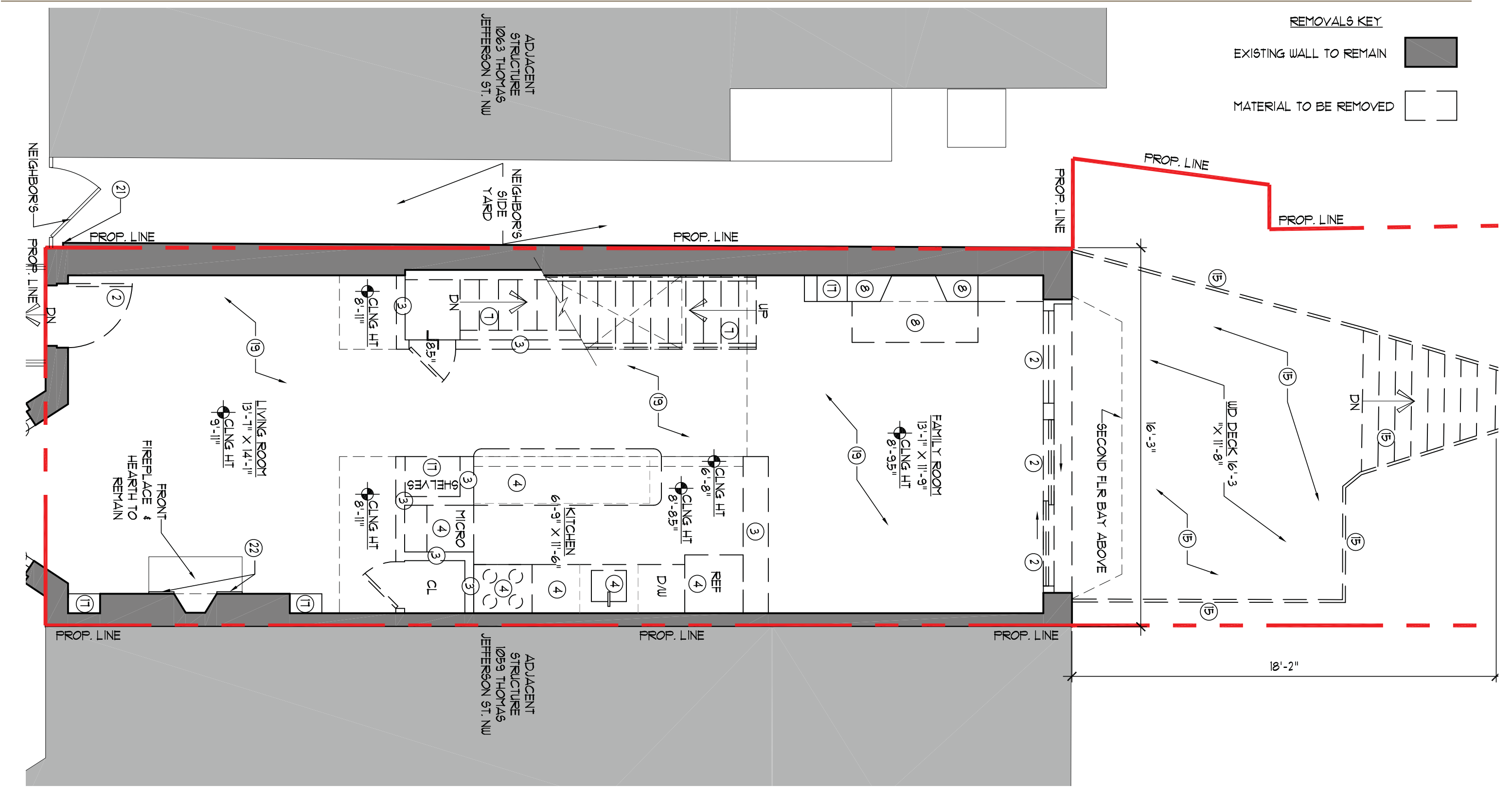
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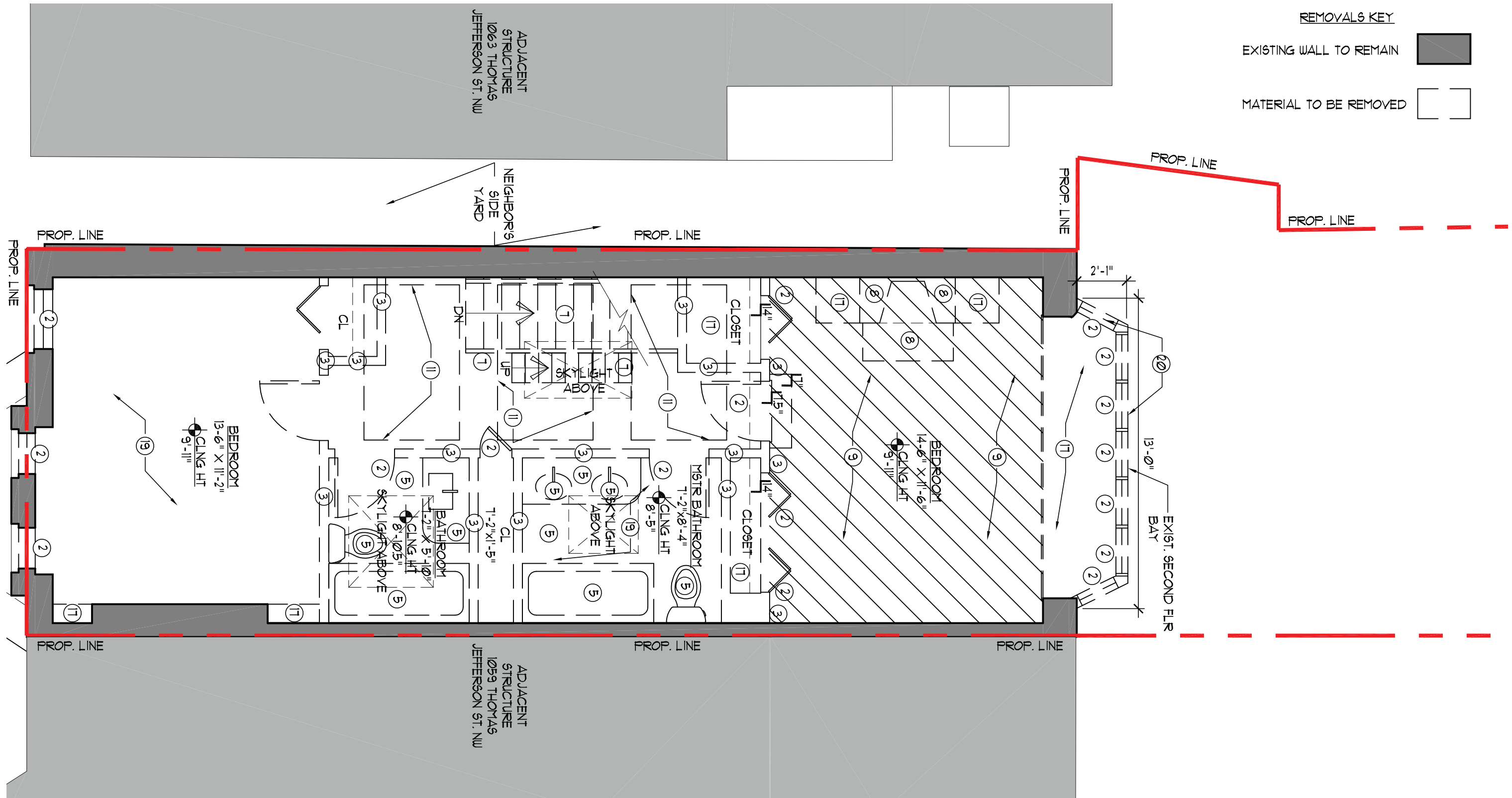
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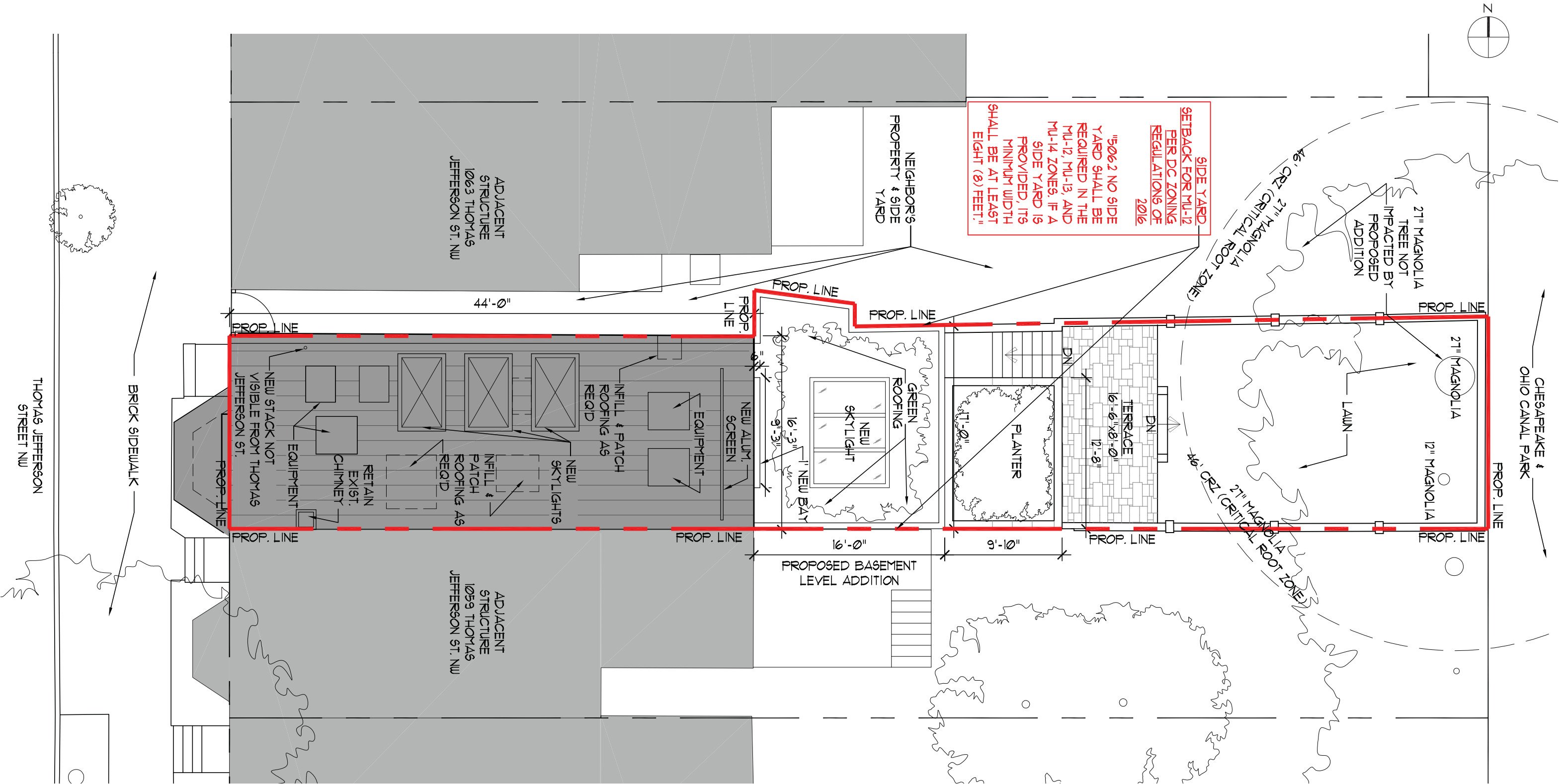
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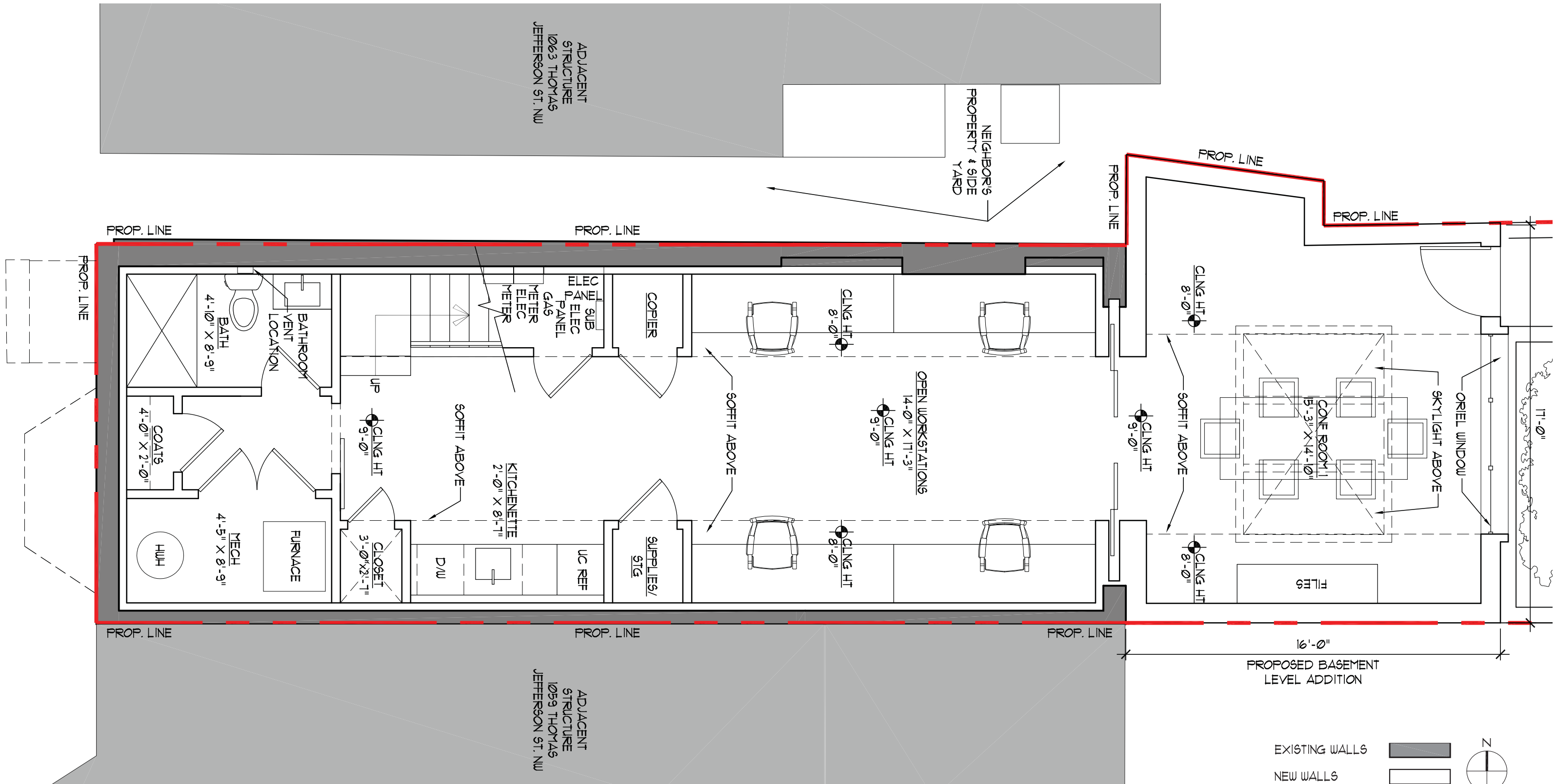
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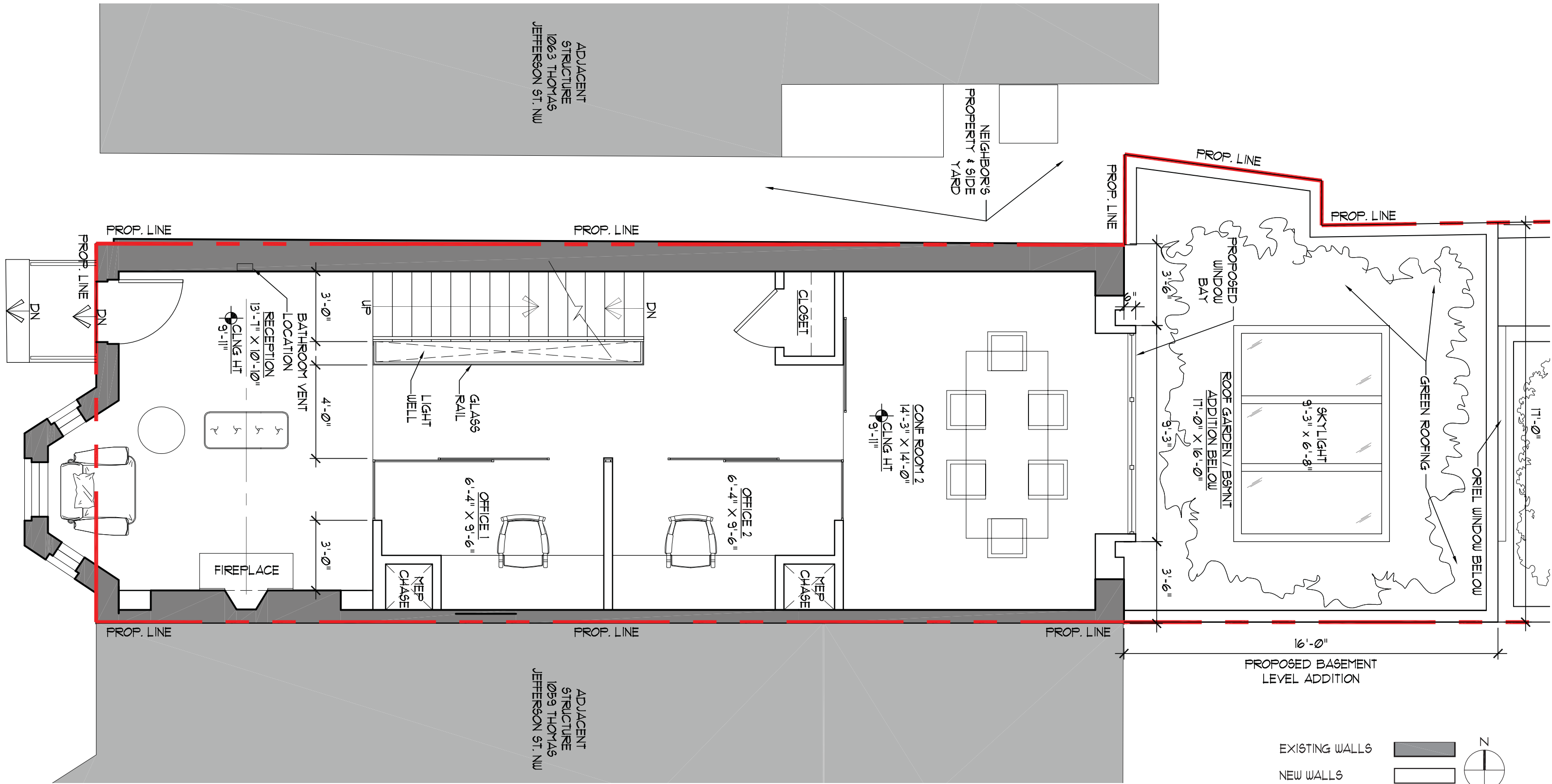
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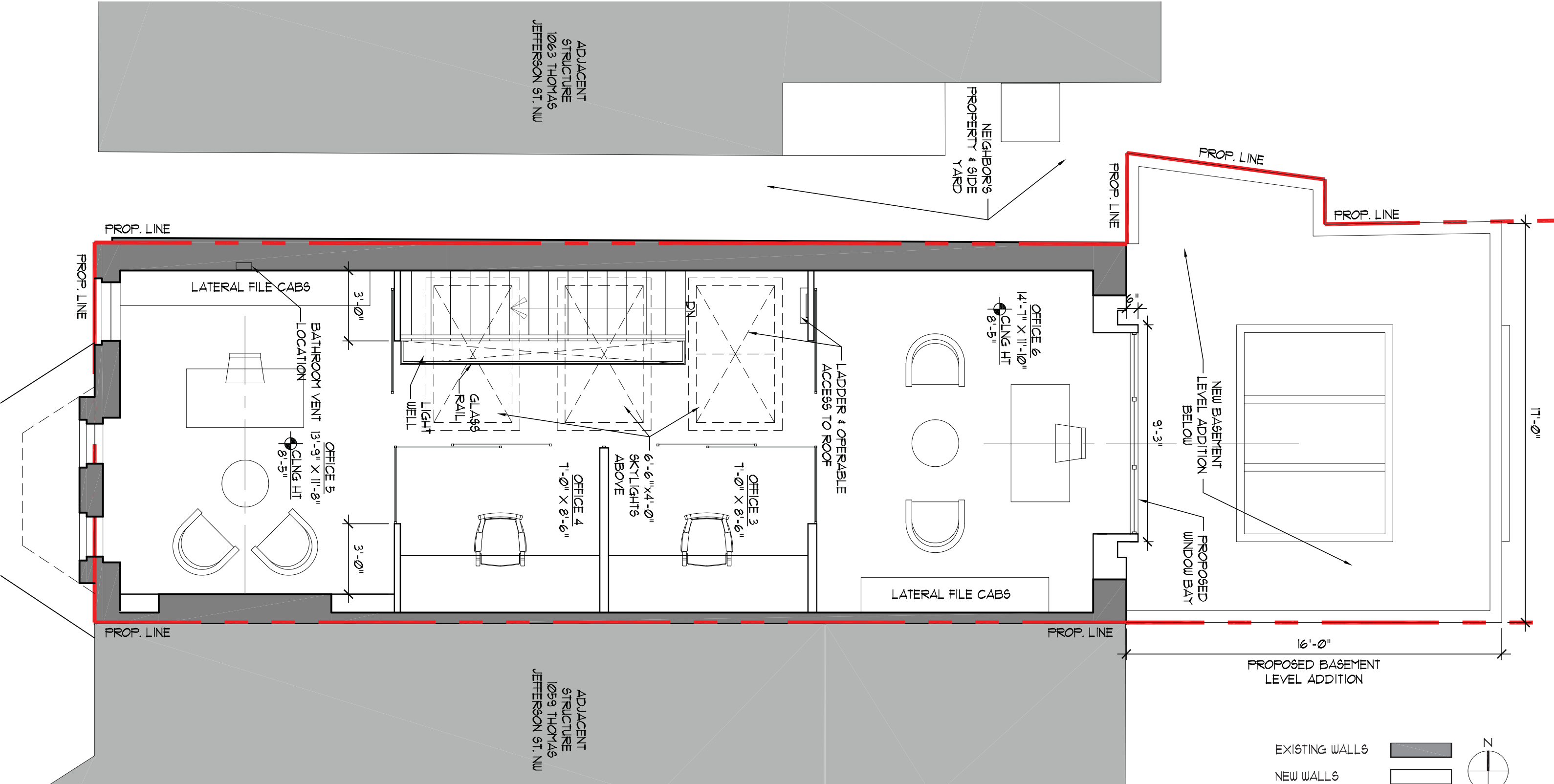
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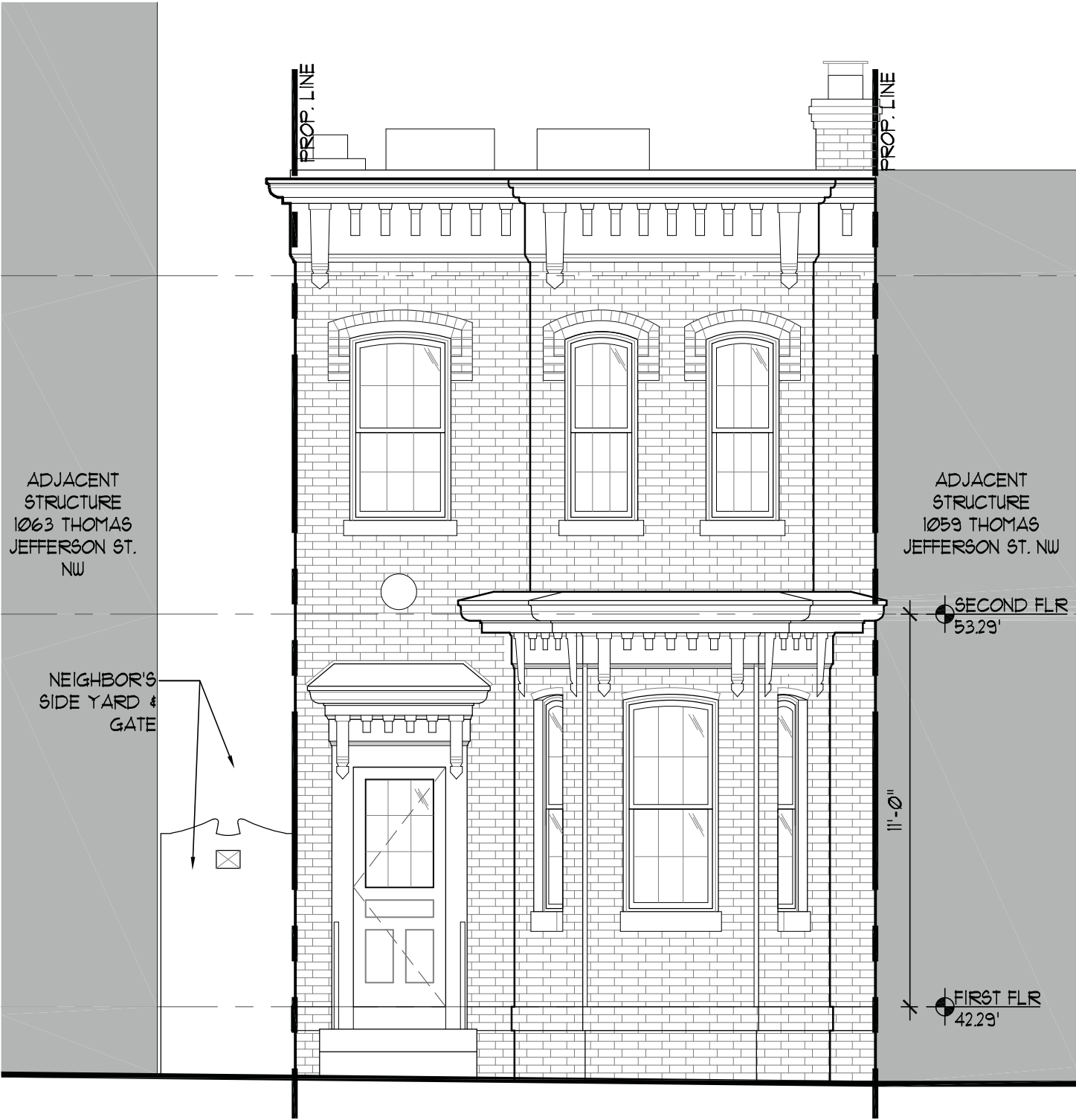
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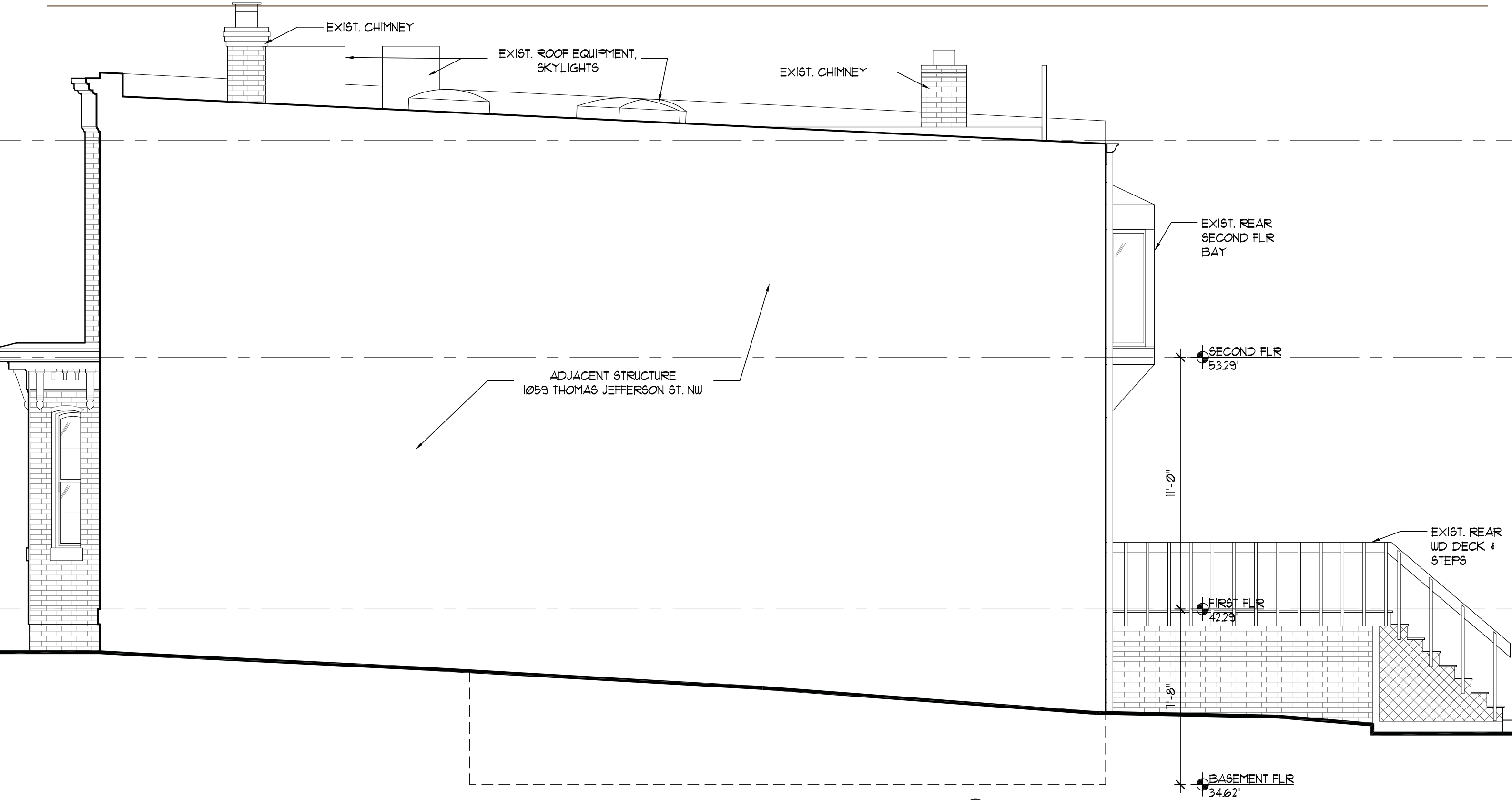


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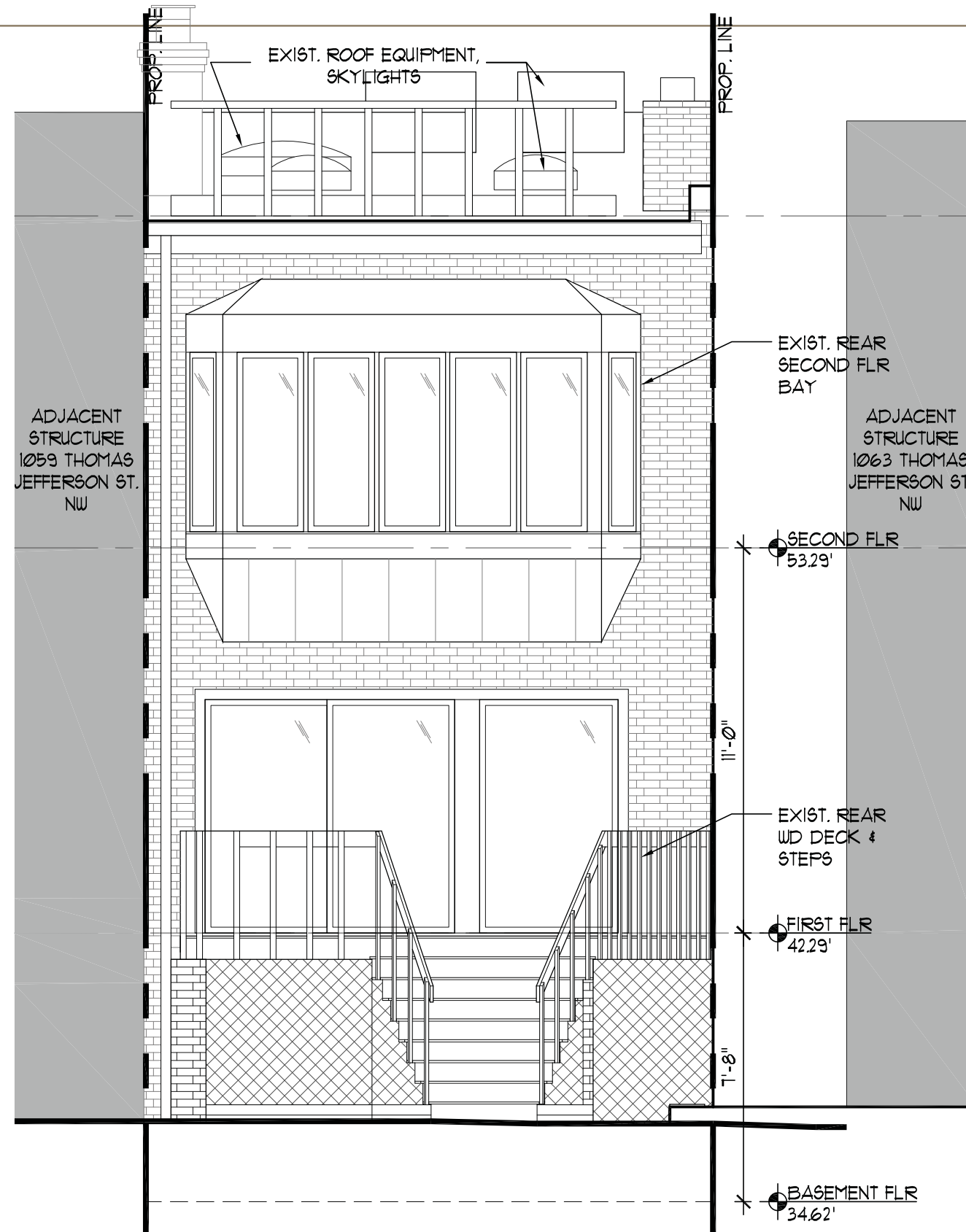


1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

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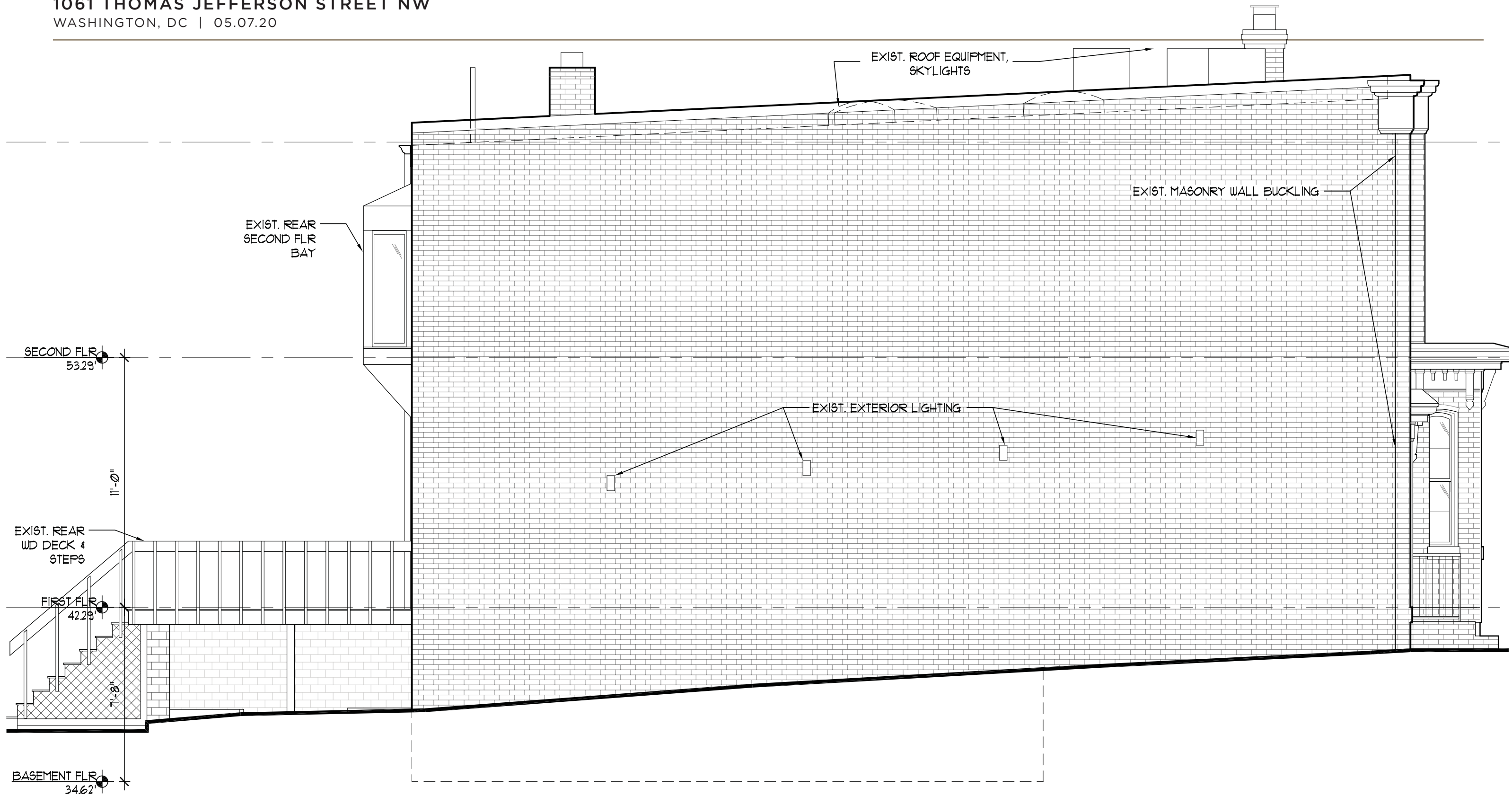


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1 EXISTING EAST ELEVATION
 SCALE: 1/4" = 1'-0"

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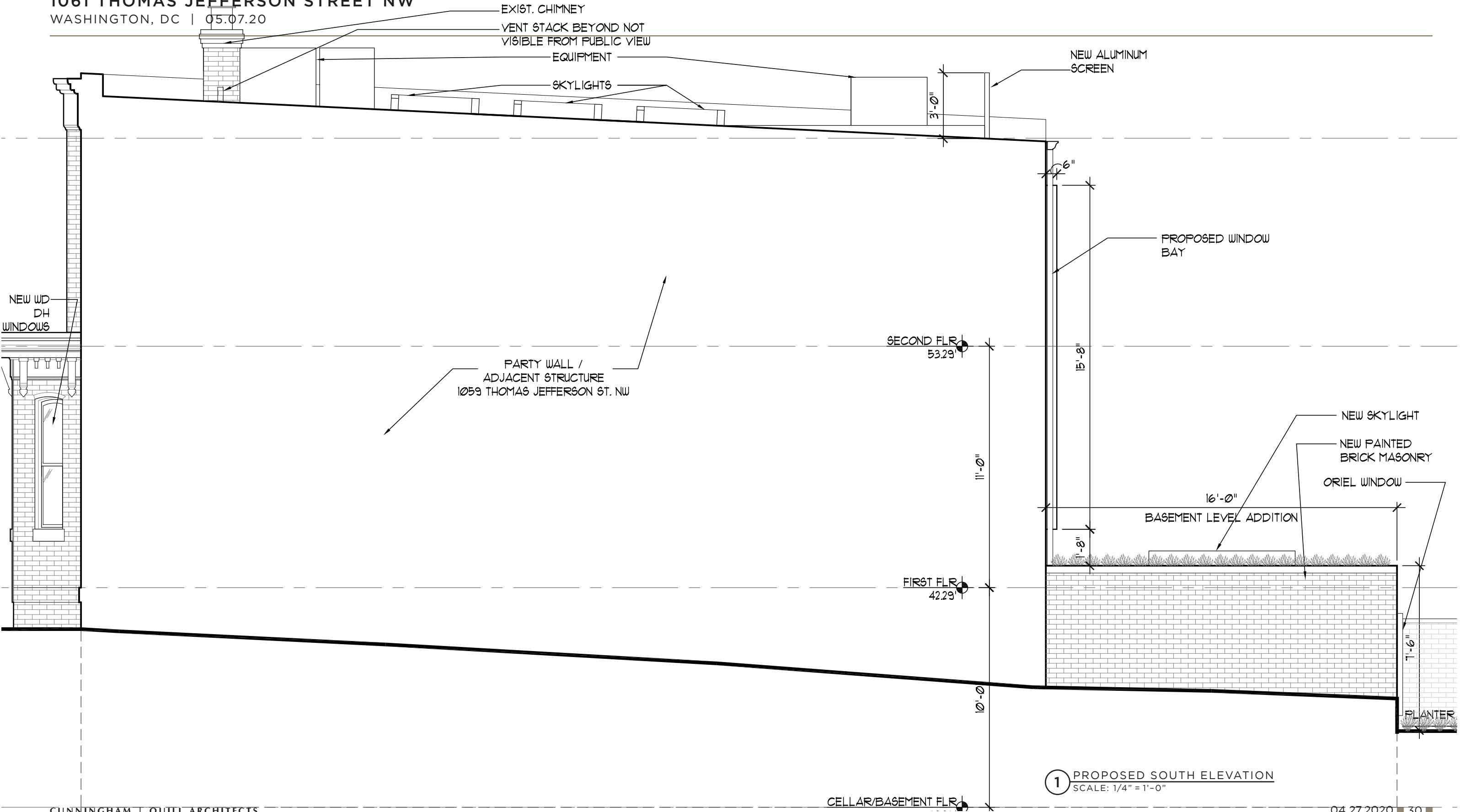
1 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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1 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

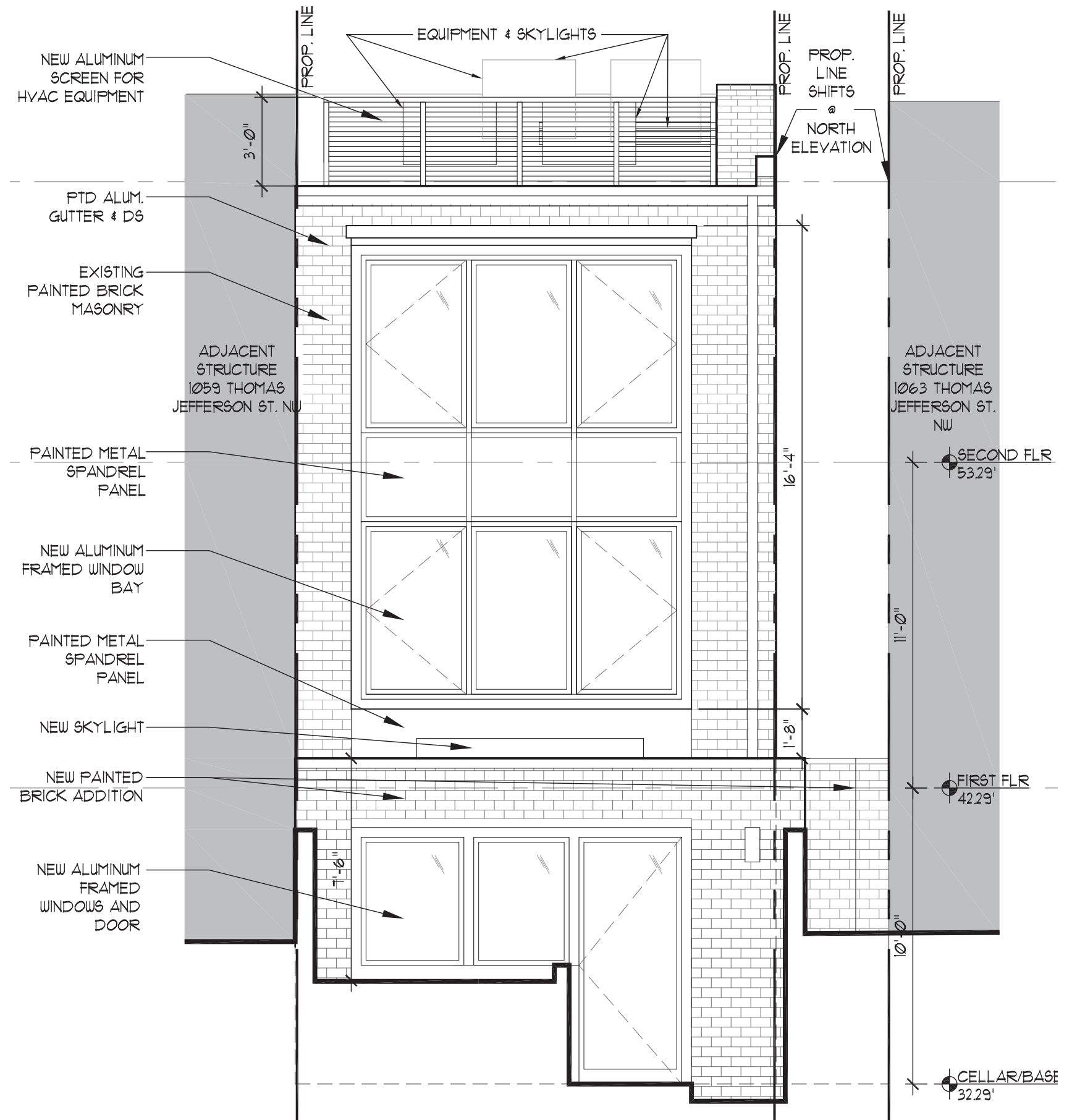
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1 REAR PERSPECTIVE SKETCH
 SCALE: NTS

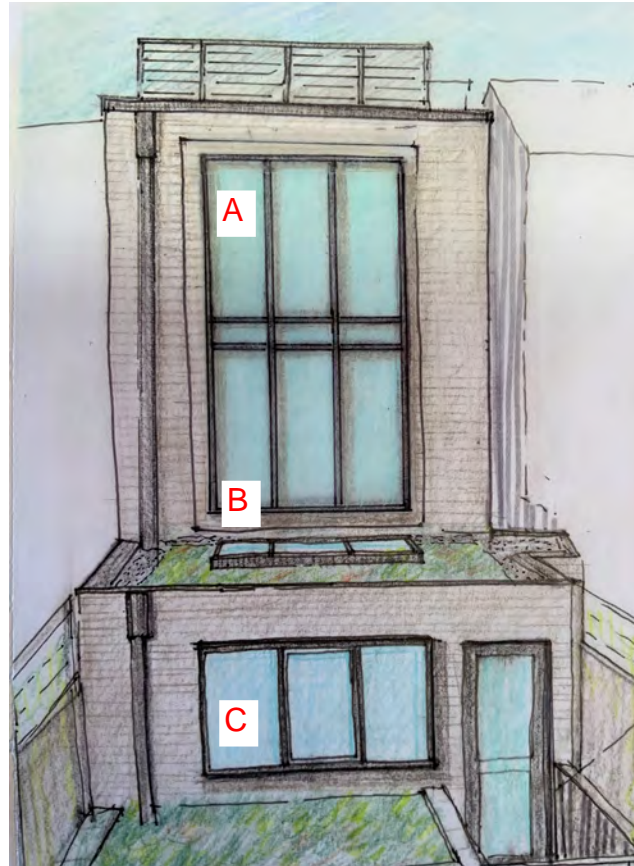


2 PROPOSED EAST ELEVATION - PREVIOUS CONCEPT 4/2/2020 HEARING
 SCALE: 1/4" = 1'-0"

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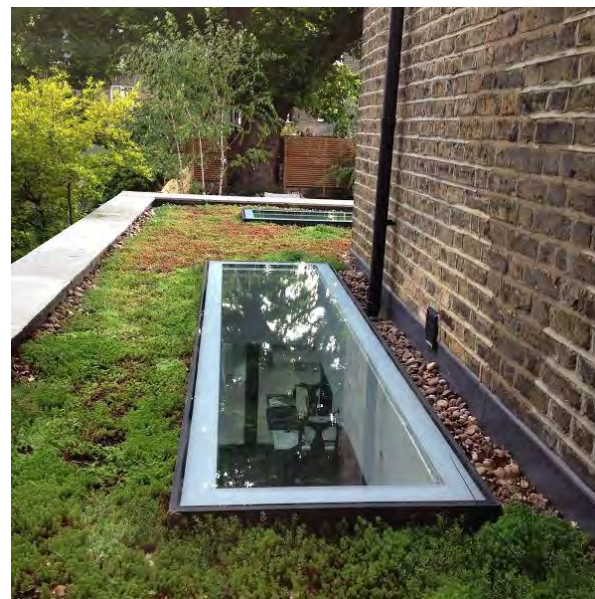
1 CONCEPT SKETCH



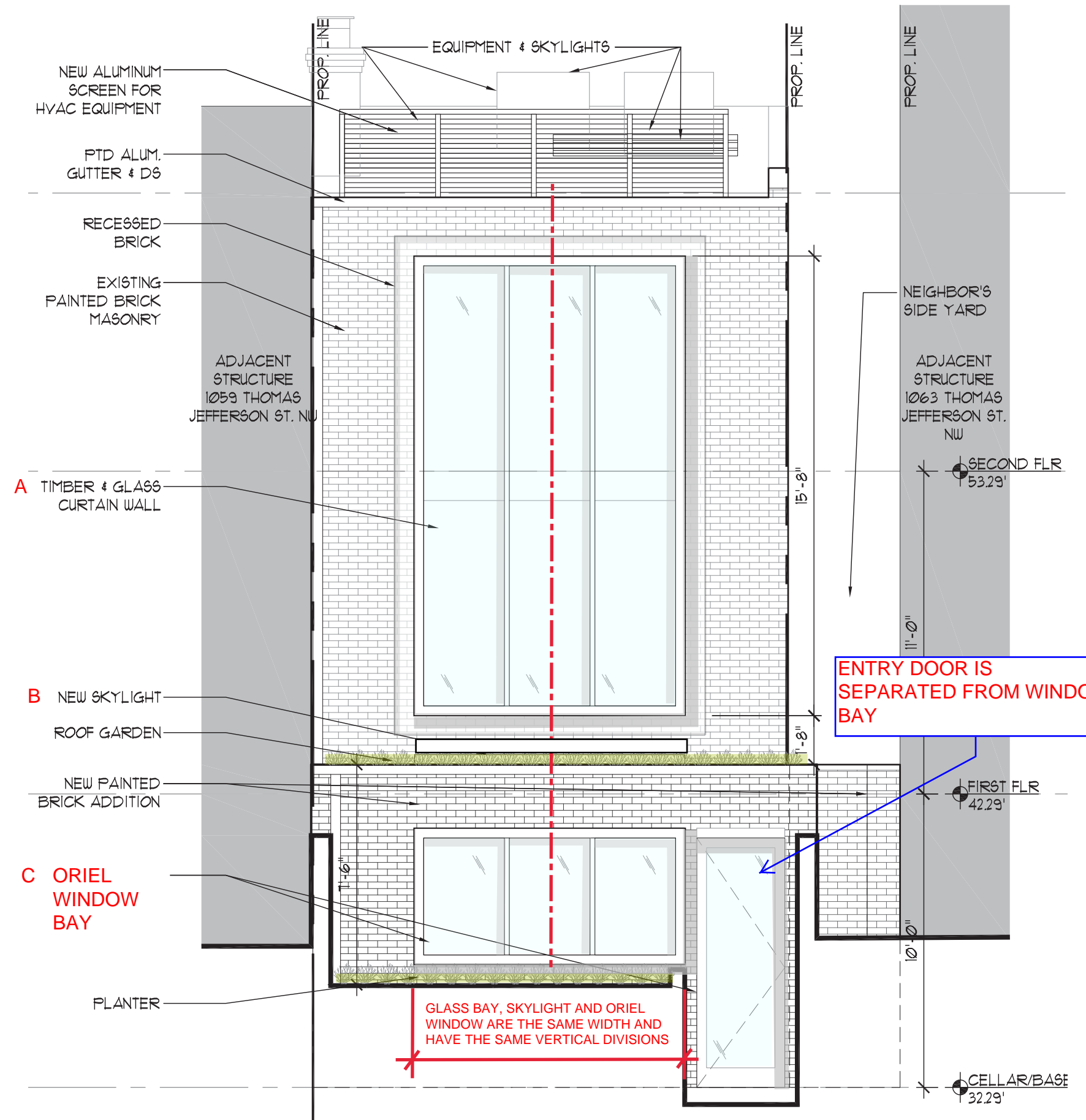
C. ORIEL WINDOW BAY



A. TIMBER CURTAIN WALL



B. SKYLIGHT IN GREEN ROOF

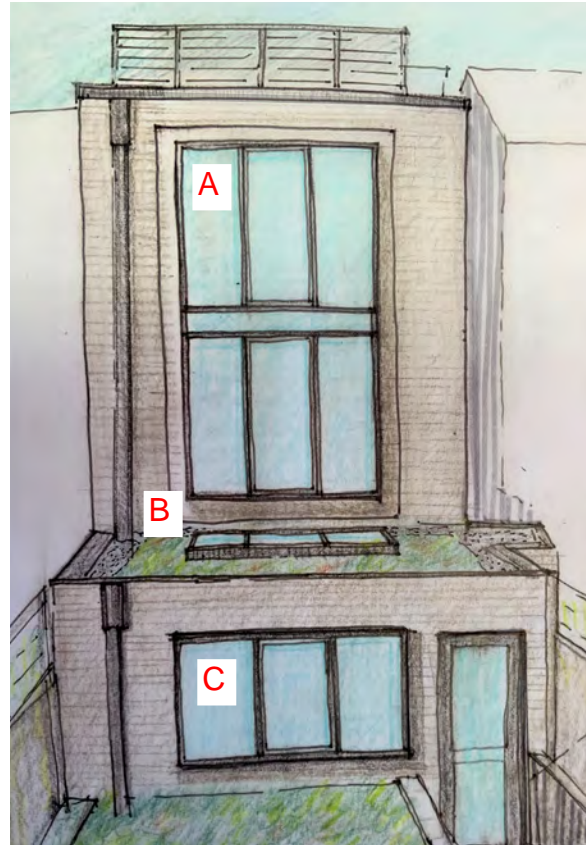


2 PROPOSED EAST ELEVATION - OPTION 1-TIMBER CURTAIN WALL
SCALE: 1/4" = 1'-0"

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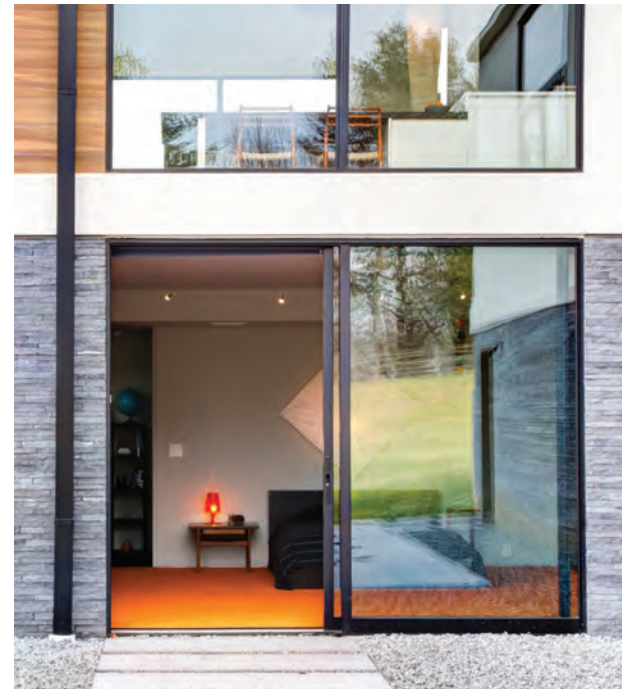
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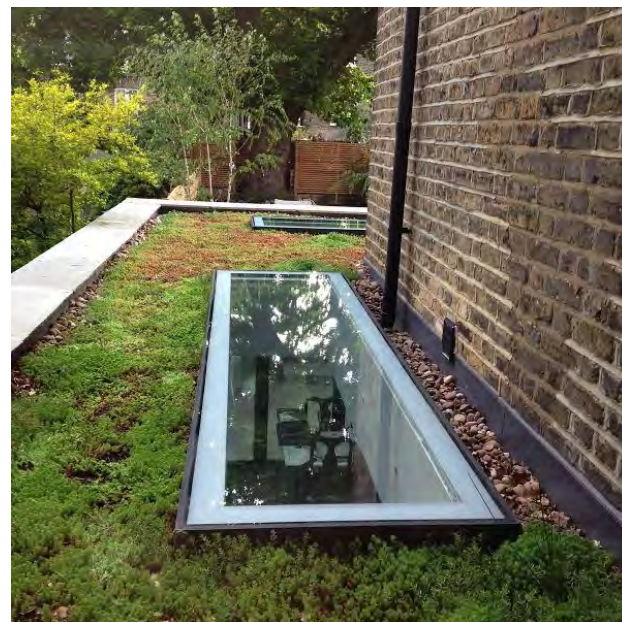
1 CONCEPT SKETCH



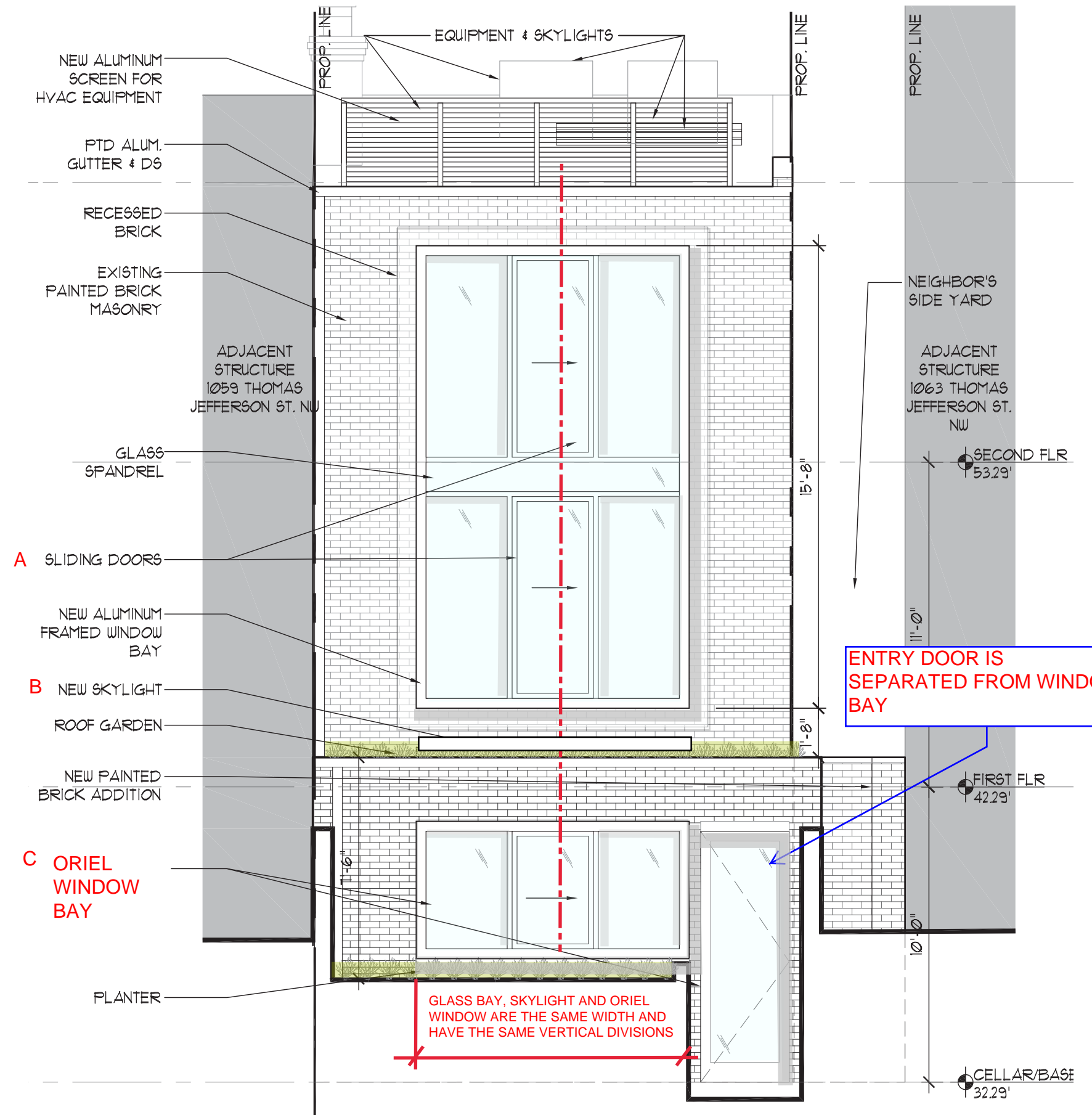
C. ORIEL WINDOW BAY



A. SLIDING GLASS DOORS



B. SKYLIGHT IN GREEN ROOF



2 PROPOSED EAST ELEVATION - OPTION 2-SLIDING DOORS
SCALE: 1/4" = 1'-0"

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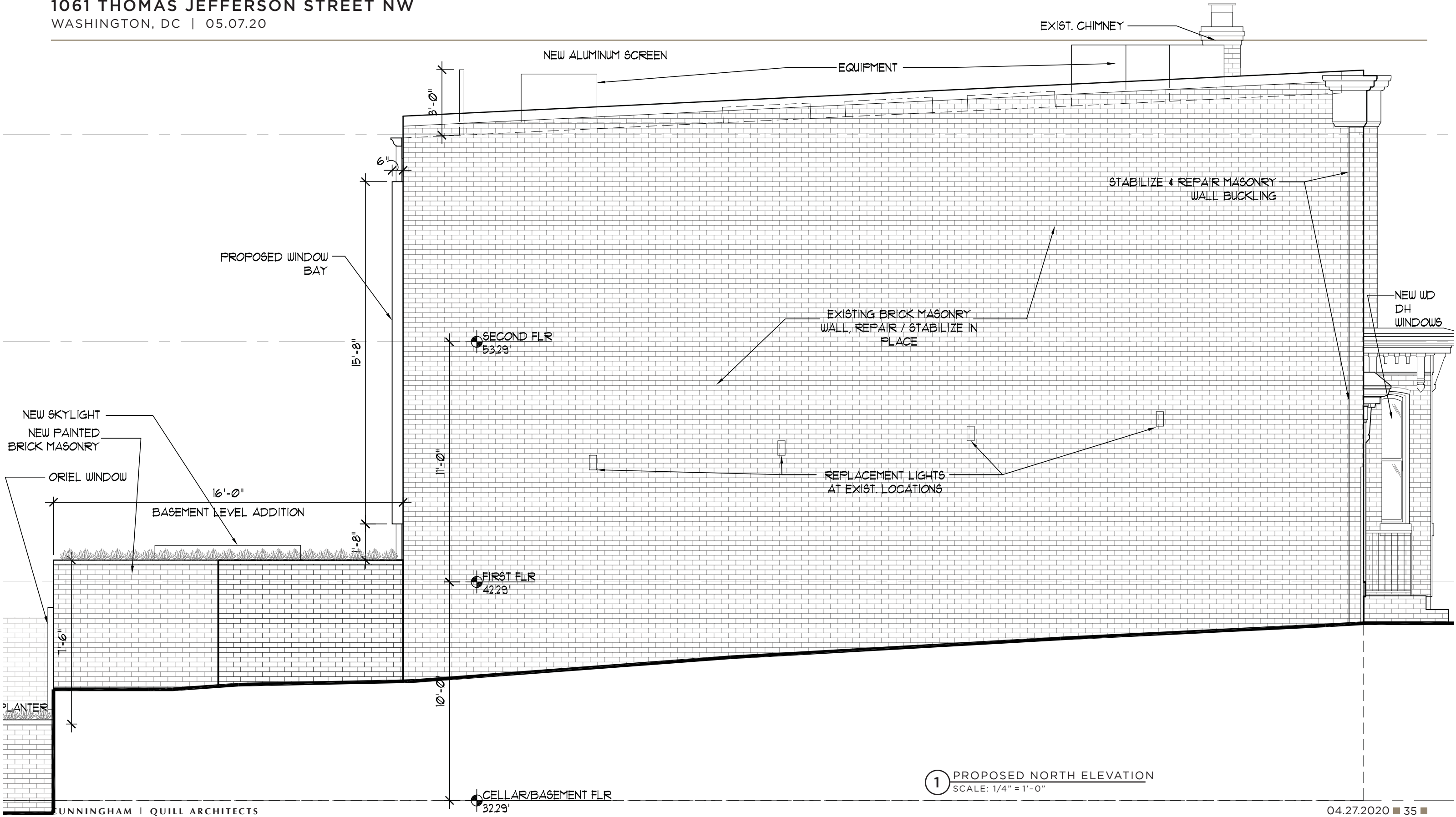


VIEW OF PROPOSED ELEVATIONS FROM MULE YARD

1061 THOMAS JEFFERSON

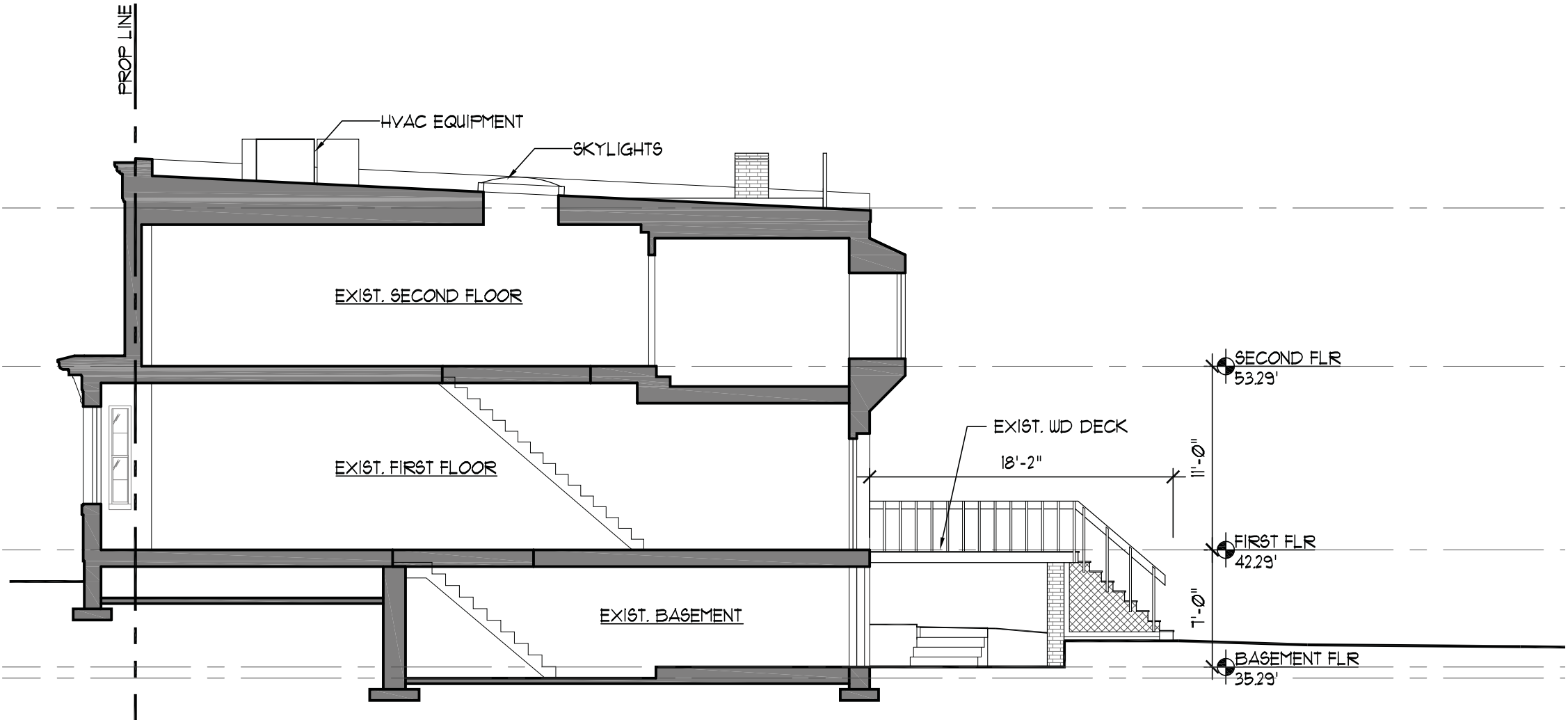


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1 PROPOSED NORTH ELEVATION
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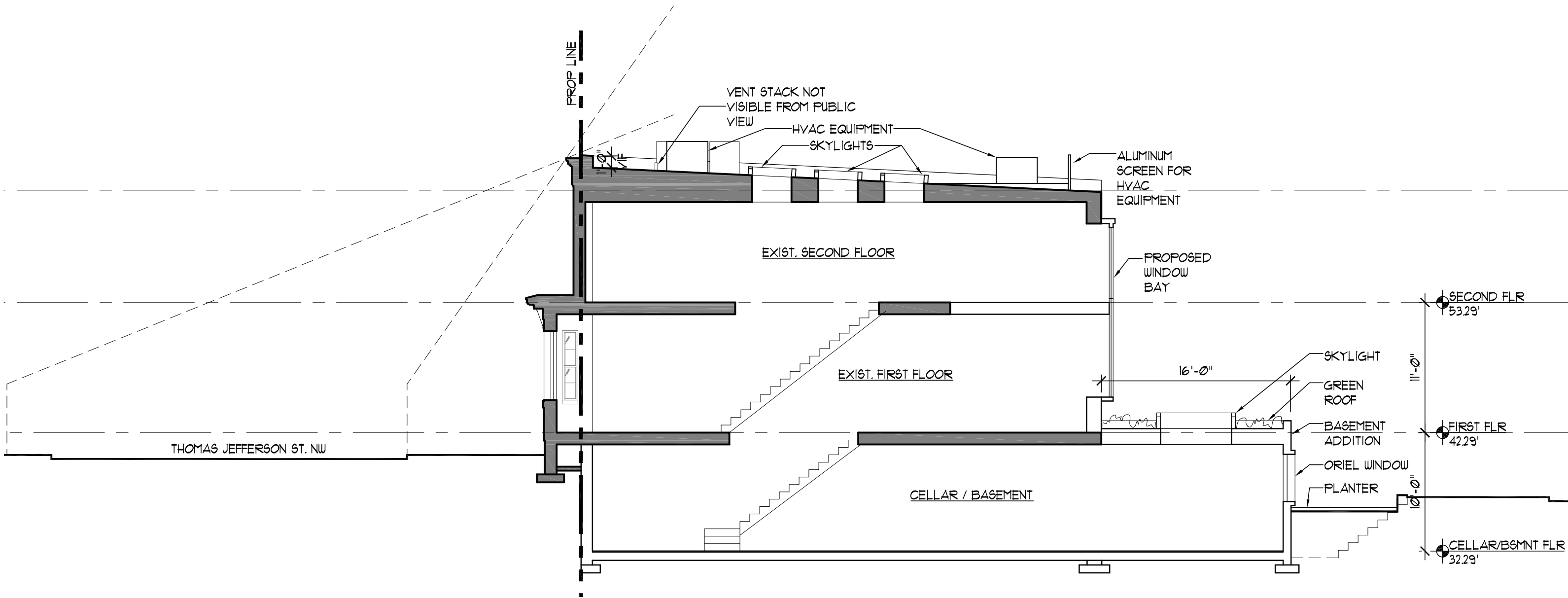


EXISTING WALLS



1 EXISTING SECTION E-W
SCALE: 1/8" = 1'-0"

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EXISTING WALLS
NEW WALLS

1 PROPOSED SECTION E-W
SCALE: 1/8" = 1'-0"

14320 Poplar Hill Road
Germantown, MD 20874
April 11, 2020

Oksana Ramos, AIA
Cunningham/Quill Architects PLLC
1054 31st Street, NW
Suite 315
Washington, D.C. 20007

Re: 1061 Thomas Jefferson St., NW, Washington D.C.

Dear Mr. Ramos:

I performed a tree survey at the above property on April 6, 2020. At the front of the building there are three mature false cypress, *Chamaecyparis lawsoniana* varieties that are known for their "blue" color. They are of insignificant diameter.

What are of significance are the two Southern magnolias (*Magnolia grandiflora*) found in the rear yard. The larger of the two trees and the one situated in the north backcorner is a special tree by the definition of the Urban Forestry division of the District Department of Transportation. A special tree has a circumference of between 44 - 99.9" and a permit is required for its removal. This particular tree has a diameter at breast height (DBH) of 30.9" and a circumference of 97". Its crown density is good at about 80% of normal. The critical root zone (CRZ) is 46'. This zone includes all of the rear yard and well into the adjacent neighbors' yards.

There are a couple other details to mention. It does have a co-dominant trunk. This is a weak formation as the two trunks grow in near parallel creating a narrow crotch angle with inclusion wood. This narrow angle is mechanically weak and can be a point of breakage in the future.

There is also a rotted area at the root flare. This could be an indication of heart rot. Heart rot is usually accompanied by major limb die back, which is not evident in this tree. This is an area to watch in the future.



The second Southern magnolia is on the south backcorner of the rear yard. This tree has a DBH of 13.5", circumference of 42" and a CRZ of 20.25'. The crown density is considerably less than normal as the trunk is broken at about the second story level. The crown is further reduced by the shade and competition from the larger tree. This makes an estimated crown density of approximately 20% of normal.



The anticipated construction is going to result in increased foot traffic in the CRZ of these two trees. If materials are to be carried through the adjacent rear gate, I suggest planks be applied to the lower trunks of both trees as illustrated below.



This protection will be needed as the existing hot tub and its utilities are removed. These items are already encroaching on the root flare of the larger magnolia. Care must be taken to prevent damage to the tree root flare and associated roots during this part of the demolition.

Years ago, as the larger tree grew after the hot tub installation, it probably grew roots underneath the hot tub. Again, care must be taken in removing this object so the tree is not damaged. The resulting cavity may be partially filled with arborist wood chips. An 8-10" deep layer of wood chips should be applied over the central space between the two trees to reduce the damage from compaction from daily foot traffic. This layer can be deeper in the area between the two trees and more shallow towards the trunks. If foot traffic is to be prohibited, the deeper mulch would not be necessary. After construction is completed, the mulch can be removed to a maintenance level of a 3 – 4" layer over the root area but keeping a 1 – 2" distance from the trunks.

There is a small crape myrtle (*Lagerstroemia* hybrid) and a rose of sharon (*Hibiscus syriacus*) of insignificant diameter in the side beds along the property line.

Of particular note is the Manhattan euonymus (*Euonymus kiautschowicus* 'Manhattan', DBH 6.9", cir 21.7") at the end of the deck. This shrub has been trained as a living sculpture and is supported by the deck and the nearby fence.

The trees within the construction area are to be treated as follows, with particular attention to the special tree. **All personnel and subcontractors are required to be instructed in these precautions.**

1. Where practical, all sides of the CRZ are to be fenced with tree protection fencing
2. No construction materials are to be delivered or stored in the CRZ.
3. No trash or weeds should be allowed to accumulate in the CRZ during construction
4. No disposal of construction fluids such as gasoline, paint, or wash water from any construction activity.
5. No construction traffic is allowed in the CRZ. If passage of equipment is unavoidable, a wood chip mulch should be applied to a depth of 10" to prevent compaction of the root area. The excess mulch is to be removed at the end of the construction period.
6. No change of grade is permitted
7. When passing utilities in the CRZ, boring is required and trenching not permitted
8. The tree should be watered every 10 days as needed from April through September

Excavation in the CRZ, especially close to the trunk is to be avoided. If tree roots are encountered, they are to be treated as follows: smaller roots (<4" diameter) should be cut cleanly with an appropriate tool (pruners, loppers or saw) and not ripped up by a backhoe or similar digging machinery. Roots greater than 4" should be worked around and not severed as these are the main supporting laterals that keep the tree from falling. Exposed roots should be covered with burlap, canvas, or other material to keep the area moist. Exposed roots under the covering should be watered as needed (possibly daily) to remain moist during the time the excavation is open. It is strongly recommended that any excavation be filled as soon as possible.

After care for all trees includes deep watering during times of drought. 2 – 3" of an organic mulch should be maintained over the root zone of the tree for its life time. Planting within the CRZ should be limited and only with shallow, non-competitive plant material. Care should be taken to ensure that the mulch is not stacked against the main trunk. Regular arborist inspections should be made every few years and limb dieback noted.

For special and heritage trees, after the tree protection materials have been removed (site visit number 6) an ANSI A-300 Level II¹ inspection should be made on the trees and will be reported to all concerned parties.

It is proposed that the ANSI A-300 Level II inspection be made on an annual basis for 3 years. If a defect is observed warranting further observation, then a Level III assessment² may be recommended. Based on those inspections any recommended remediation will be made in writing.

Each site visit will include a detailed written report. Each site visit will be made at the mutual convenience of all involved personnel.

Defects that could lead to structural failure may be undetectable. Trees are living organisms; conditions are often hidden within the tree and/or below ground. No guarantee can be made that any tree will remain healthy or safe under all circumstances or for a specific period of time. To live near trees is to accept some degree of risk and the only way to eliminate all risk associated with trees is to eliminate all of the trees.

I have attached some documents on tree protection as well as a draft tree protection checklist. Please let me know if you have any questions.

Sincerely,

Carol Allen
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ISA certified arborist M-5646A
Certified Chesapeake Bay Landscape Professional #1-00136