

GENERAL NOTES

- All Work shall be performed in accordance with the IRC 2012, and all other applicable codes, regulations and ordinances as adopted and/or modified by the District of Columbia DCMR 2013.
- All Electrical work to be performed in accordance with the National Electrical Code and the District of Columbia code.
- Dimensions and Notes for a given condition are typical for all similar conditions unless otherwise stated.
- Drawings at a larger scale shall take precedence over drawings of a smaller scale. Notify Architect immediately if a discrepancy should be found.
- Existing walls, columns, floor/ceiling assemblies, etc. are shown unrendered on the plans and sections. Elevations show existing elements - windows, doors, roofs, etc. as unrendered outline (new work is shown rendered).
- General Contractor to keep disturbances in existing house to a minimum.
- Protect existing planting during construction with erosion control type fence. Do not remove any trees or shrubs without prior approval of owner. Protect existing driveway from abuse, any damage should be repaired at the expense of the contractor. Provide conveniently located refuse barrels and maintain for workman use.
- General Contractor to inspect existing electrical service and notify Owner and Architect if upgrading is required by code or with the proposed addition/renovation.
- General Contractor to ensure flush transition from existing work to new work.
- All wall surfaces are to be made flush and smooth prior to painting or installation of wallcovering.
- Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.
- Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
- Coordinate the unloading and safe storage of Owner delivered material on site (casework, equipment, etc.). Installation of Owner delivered material is to be included in the base bid (unless noted otherwise).

OWNER

Mary K. Stinson Prince &
Frederick O. Prince

ARCHITECT

Outerbridge Horsey Associates, PLLC
1228 1/2 31st Street, NW
Washington, DC 20007
Contact: Outerbridge Horsey, AIA

Tel 202.337.7334

oh@outerbridgehorsey.com

3306 O Street, NW

Washington, DC 20007

LOT DESCRIPTION:	Square 1229 , Lot 0135
ADDRESS:	3306 O Street, NW
LOT AREA:	7,134 sq. ft.
ZONING DISTRICT:	R-20
BUILDING TYPE:	Garages (2) + Garden Wall
PDU	None
Campus Plan	None
Historic District	Georgetown Historic District
Downtown Sub Area	None
Credit Trade Area	None
Future Land Use Map	Moderate Density Residential

ZONING CRITERIA

MIN. LOT WIDTH:
MIN. LOT AREA:

MAX. OCCUPANCY:
MAX. BUILDING AREA:
MAX. STORIES:
MAX. HEIGHT:

SIDE YARD SETBACK:
REAR YARD SETBACK:

PERVIOUS SURFACES:
MIN. % PERVIOUS (R-1-A)

REQUIRED

20 ft (Attached House)
2000 sq. ft

60%

3 stories
35 feet

5 feet
20 feet

20%

PROVIDED

48.96 ft (O St. NW)
7,134 sq. ft

SPECIAL NOTE

Existing conditions shown or implied are based on best available but limited information. If conditions are encountered that differ from those shown, noted or implied, all work in that specific area is to stop and the Architect is to be notified. No work is to continue in such areas without the permission of the Architect.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job and the Architect must be notified of any variation from the dimensions and conditions shown by these drawings.

The above drawings and specifications and the ideas, designs and arrangements represented thereby are, and shall remain the property of the architect. No part thereof shall be copied, disclosed to others, or used in connection with any other work or project by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings shall constitute conclusive evidence of acceptance of these restrictions.

The professional seal is for certification of new work only and is not intended for general certification of preexisting conditions.

OUTERBRIDGE
HORSEY
ASSOCIATES, PLLC

1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com

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CONSULTANTS:

DEMOLITION NOTES

- Coordinate removal of personal belongings or furnishings from affected areas with owner.
- Protect all interior walls, doors, trim, ceilings, and floors from unnecessary damage during demolition.
- Phase all work to achieve minimum disturbance in work areas. Protect unaffected areas from dust, dirt and noise.
- Salvage equipment, fixtures, counters, cabinets and doors as required by the contract drawings. Reuse as directed on drawings.
- All doors and windows to be salvaged for course of job. Those not reused should be removed by G.C. at end of job as directed by Owner. See door and window schedules for those salvaged and relocated.
- Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including, but not limited to nails, hooks, wires, door bells, etc. on first floor.
- The Contractor shall arrange for the proper discontinuance and/or relocation of all public utilities when required, including sewers, water, gas, electric, television, and telephone lines.
- Existing plumbing hook-ups to be shut off immediately prior to demolition work at each location.
- Cap off all abandoned waste and supply lines below floor level, patch where necessary.
- Brace structure as necessary during demolition to prevent structural damage and excessive movement. Protect the existing exterior walls, roof(s), and trim from damage during demolition.
- Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do no cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
- Contractor shall receive title to materials to be demolished, title shall vest to Contractor upon execution of the Contract. Owner will not be responsible for the condition, loss or damage to material after execution of Contract.
- Debris shall not accumulate on site. Sale or burning of material on site is prohibited. Site and adjacent areas shall be kept clean and free from mud, dirt, and debris at all times.
- Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.



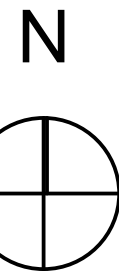
PERSPECTIVE FROM SOUTHWEST

LIST OF DRAWINGS

SHEET	TITLE
A000	COVER SHEET
C100	DC SOIL AND ERIONSION PLAN
A100	EXISTING AND PROPOSED SITE PLANS
A101	DEMOLITION PLAN, PROPOSED PLAN WITH FOUNDATION PLAN, LOFT FRAMING PLAN, AND ROOF FRAMING PLAN
A200	PROPOSED ELEVATIONS
A300	BUILDING SECTIONS
A700	DOOR DETAILS
A701	WINDOW DETAILS
A702	OVERHEAD DOOR DETAILS
A703	CUPOLA AND ROOF DETAILS
MEP100	ELECTRICAL PLANS AND EXTERIOR LIGHT FIXTURE DRAWINGS



VICINITY PLAN



3306 O Street, NW

Washington, DC 20007

DRAWING TITLE:

COVER SHEET

SCALE: AS NOTED

ISSUE

DATE

PRINT DATE 4/27/20

SHEET NO.

A000

DDOE SOIL EROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES	
1.	Following initial land disturbance or re-disturbance, permanent or interim stabilization must be completed within seven (7) calendar days for the surfaces of all perimeter controls, dikes, swales, ditches, perimeter slopes, and slopes greater than three (3) horizontal to one (1) vertical (3:1); and fourteen (14) days for all other disturbed or graded areas on the project site. These requirements do not apply to areas shown on the plan that are used for material storage other than stockpiling, or for those areas on the plan where actual construction activities are being performed. Maintenance shall be performed as necessary so that stabilized areas continuously meet the appropriate requirements of the District of Columbia Standards and Specifications for Soil Erosion and Sediment Control (ESC). [21 DCMR § 542.9 (c)]
2.	ESC measures shall be in place before and during land disturbance. [21 DCMR § 543.6]
3.	Contact DDOE Inspection (202) 535-2977 to schedule a preconstruction meeting at least three (3) business days before the commencement of a land-disturbing activity. [21 DCMR § 503.7 (a)]
4.	A copy of the approved plan set will be maintained at the construction site from the date that construction activities begin to the date of final stabilization and will be available for DDOE inspectors. [21 DCMR § 542.15]
5.	ESC measures shall be in place to stabilize an exposed area as soon as practicable after construction activity has temporarily or permanently ceased but no later than fourteen (14) days following cessation, except that temporary or permanent stabilization shall be in place at the end of each day of underground utility work that is not contained within a larger development site. [21 DCMR § 543.7]
6.	Stockpiled material being actively used during a phase of construction shall be protected against erosion by establishing and maintaining perimeter controls around the stockpile. [21 DCMR § 543.16 (a)]
7.	Stockpiled material not being actively used or added to shall be stabilized with mulch, temporary vegetation, hydro-seed or plastic within fifteen (15) calendar days after its last use or addition. [21 DCMR § 543.16 (b)]
8.	Protect best management practices from sedimentation and other damage during construction for proper post construction operation. [21 DCMR § 543.5]
9.	Request a DDOE inspector's approval after the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. [21 DCMR § 542.12 (a)]
10.	Request a DDOE inspector's approval after final stabilization of the site and before the removal of erosion and sediment controls. [21 DCMR § 542.12 (b)]
11.	Final stabilization means that all land-disturbing activities at the site have been completed and either of the following two criteria have been met: (1) a uniform (for example, evenly distributed, without large bare areas) perennial vegetative cover with a density of seventy percent (70%) of the native background vegetative cover for the area has been established on all unpaved areas and areas not covered by permanent structures, or (2) equivalent permanent stabilization measures have been employed (such as the use of riprap, gabions, or geotextiles). [21 DCMR § 542.12 (b.1, b.2)]
12.	Follow the requirements of the United States Environmental Protection Agency approved Stormwater Pollution Prevention Plan (SWPPP) and maintain a legible copy of this SWPPP on site. [21 DCMR § 543.10 (b)]
13.	Post a sign that notifies the public to contact DDOE in the event of erosion or other pollution. The sign will be placed at each entrance to the site or as directed by the DDOE inspector. Each sign will be no less than 18 x 24 inches in size and made of materials that will withstand weather for the duration of the project. Lettering will be at least 1 inch in height and easily readable by the public from a distance of twelve feet (12 ft). The sign must direct the public, in substantially the following form: "To Report Erosion, Runoff, or Stormwater Pollution" and will provide the construction site address, DDOE's telephone number (202-535-2977), DDOE's e-mail address (IEB.scheduling@dc.gov), and the 311 mobile app heading ("Construction-Erosion Runoff"). [21 DCMR § 543.22]
	If a site disturbs 5,000 square feet of land or greater, the ESC plan must contain the following statement:
14.	A <i>Responsible Person</i> must be present or available while the site is in a land-disturbing phase. The <i>Responsible Person</i> is charged with being available to (a) inspect the site and its ESC measures at least once biweekly and after a rainfall event to identify and remedy each potential or actual erosion problem, (b) respond to each potential or actual erosion problem identified by construction personnel, and (c) speak on site with DDOE to remedy each potential or actual erosion problem. A <i>Responsible Person</i> shall be (a) licensed in the District of Columbia as a civil or geotechnical engineer, a land surveyor, or architect; or (b) certified through a training program that DDOE approves, including a course on erosion control provided by another jurisdiction or professional association. During construction, the <i>Responsible Person</i> shall keep on site proof of professional licensing or of successful completion of a DDOE-approved training program. [21 DCMR § 547]

GENERAL CONTRACTOR SHALL CONTACT THE DEPARTMENT OF ENERGY AND THE ENVIRONMENT AT 202.535.2977 TO SCHEDULE A PRE CONSTRUCTION MEETING BEFORE THE COMMENCEMENT OF A LAND DISTURBING ACTIVITY.

EXCAVATION VOLUME:
25 CU. YDS.

THE EAST AND WEST BY EXISTING
STRUCTURES TO REMAIN AND
PROPERTY LINES.

3. DEMOLISH EXISTING BRICK WALLS AT PARKING AREA

4. AFTER COMPLETION OF BOTH GARAGES AND GATE WALL, REMOVE STRAW BALES.



1. PLACE BALES IN A ROW ON THE CONTOUR WITH THE ENDS OF EACH BALE TIGHTLY ABUTTING THE ADJACENT BALES.
2. ENTRENCH EACH BALE 4 INCHES MINIMUM INTO THE SOIL AND PLACE SO THE BINDINGS ARE HORIZONTAL. SOME OF THE EXCAVATED SOIL MUST BE BUILT UP AND COMPACTED AT THE UPSTREAM EDGE OF THE DIKE TO PREVENT PIPING AND UNDERCUTTING.
3. SECURELY ANCHOR BALES IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE 12 TO 18 INCHES INTO THE GROUND. DRIVE THE STAKES OR RE-BARS AT AN ANGLE TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. DRIVE THE STAKES FLUSH WITH THE TOP OF THE BALE.
4. IMMEDIATELY INSPECT STRAW BALE BARRIERS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL EVENTS. RE-DRIVE THE ANCHORING STAKES IF THEY BECOME EXPOSED. REMOVE SEDIMENT WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
5. REMOVE ALL BALES WHEN THE SITE HAS BEEN STABILIZED. GRADE FLUSH AND STABILIZE THE TRENCH WHERE THE BALES WERE LOCATED.

DATE	APPR	
REVISED		
ISSUED:		REFERENCE


 DISTRICT OF COLUMBIA
 DEPARTMENT OF ENERGY
 ENVIRONMENT

DWG. NO 305.1

3306 O STREET NW
SQUARE: 1229
LOT: 0135

AREA OF DISTURBANCE (HATCHED)
687 sq ft

OUTLINE OF AREA OF WORK

STRAW BALES FOR SEDIMENT CONTROL

AREA OF DISTURBANCE (HATCHED)

EROSION CONTROL PLAN

SCALE: 1/8" = 1'-0"

1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com

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DRAWING TITLE:

DC EROSION AND SEDIMENT CONTROL PLAN

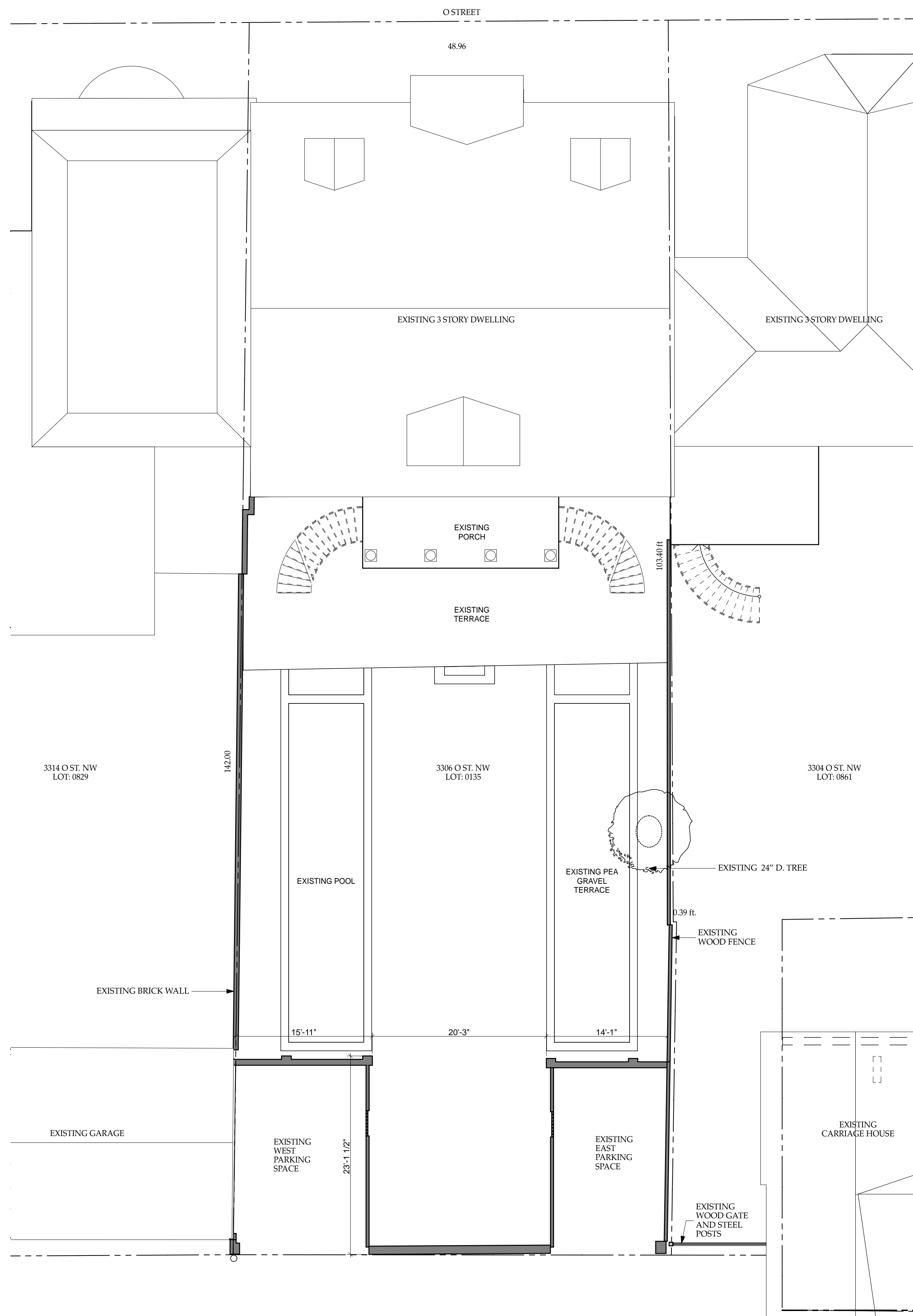
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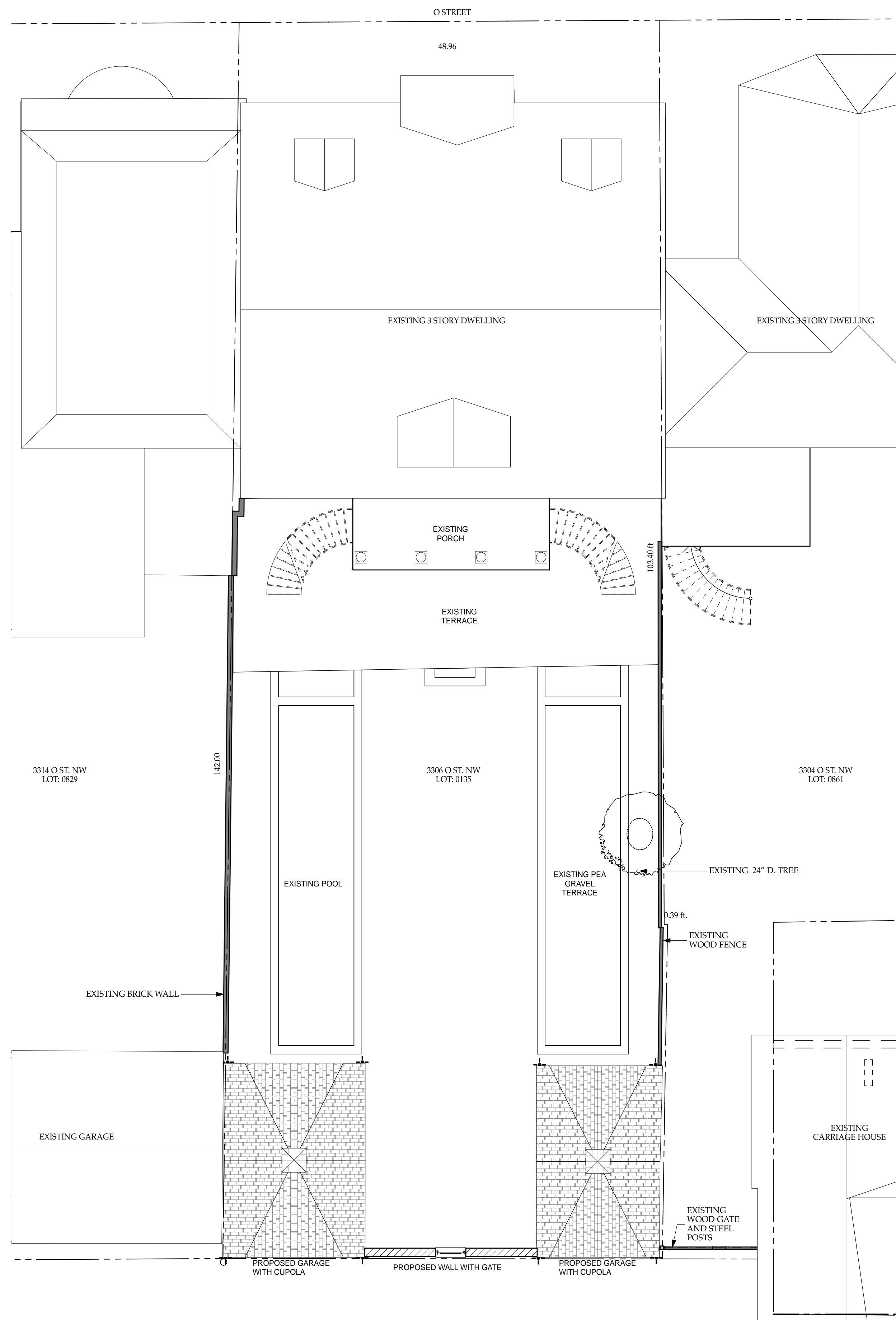
PRINT DATE 4/27/20

SHEET NO.

C100



1 SITE PLAN EXISTING
SCALE: 1/8" = 1'-0"



2 SITE PLAN PROPOSED
SCALE: 1/8" = 1'-0"

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SITE PLANS

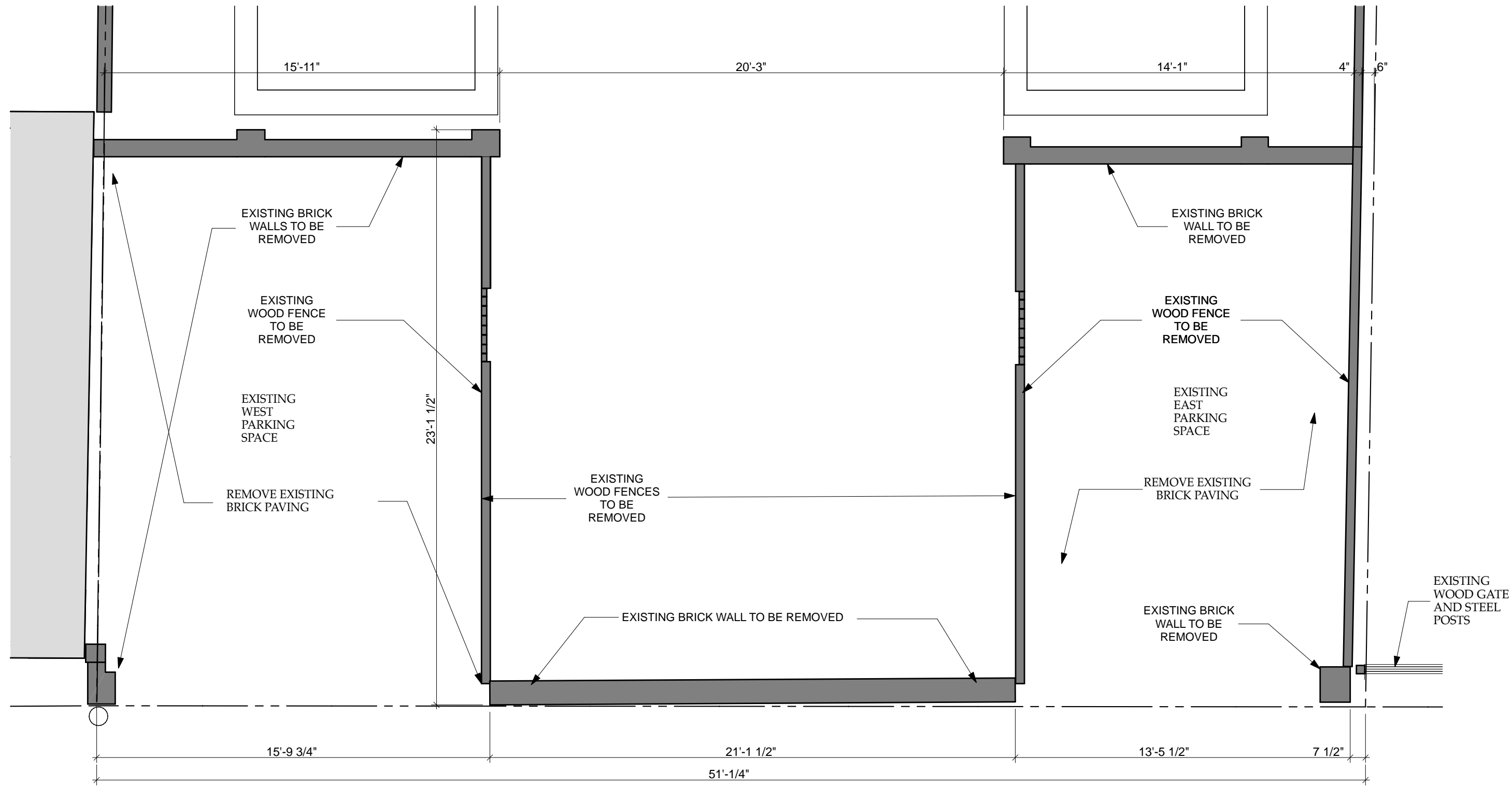
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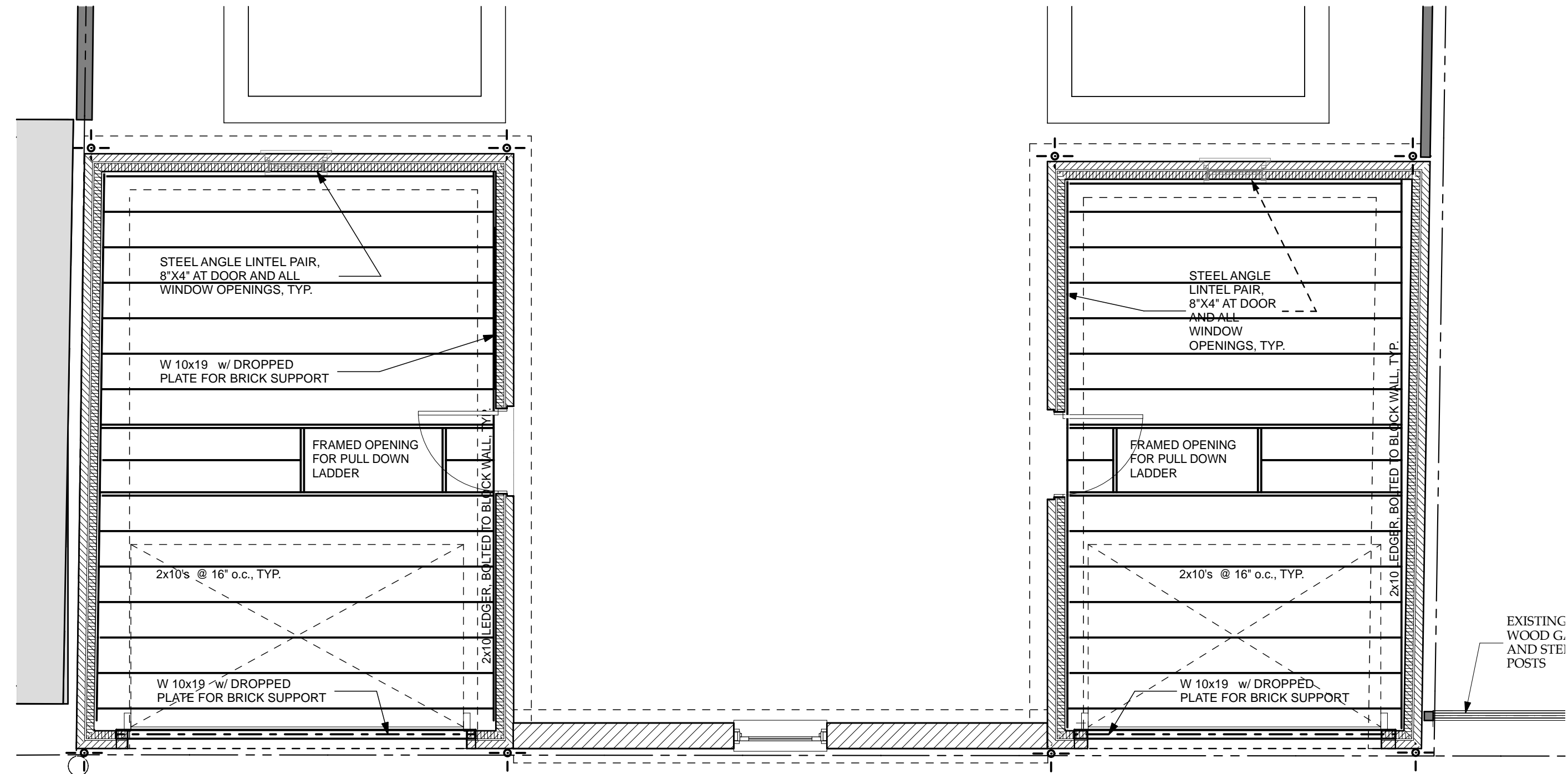
A100



1

DEMOLITION PLAN

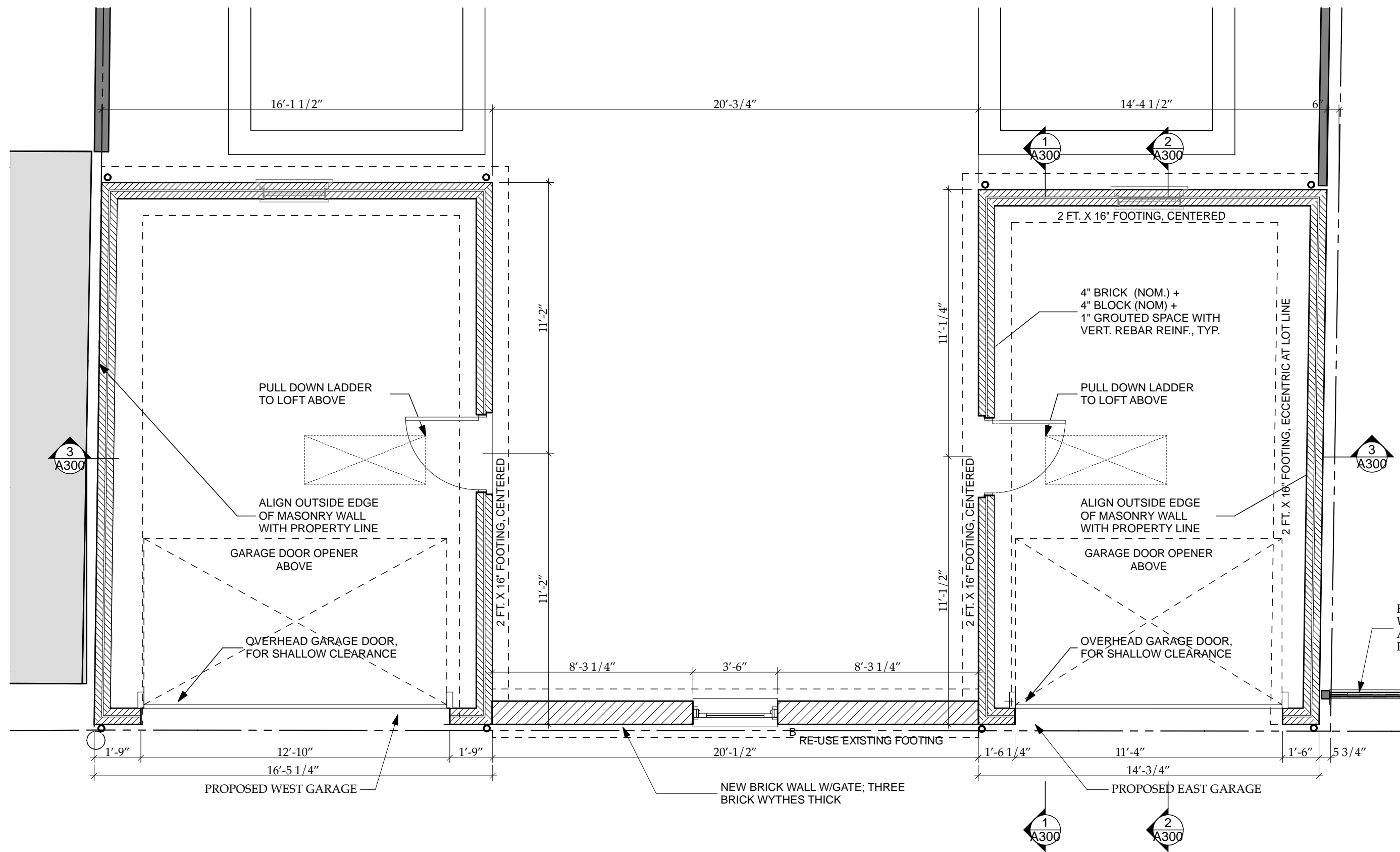
SCALE: 1/4" = 1'-0"



3

STORAGE LOFT FRAMING PLAN

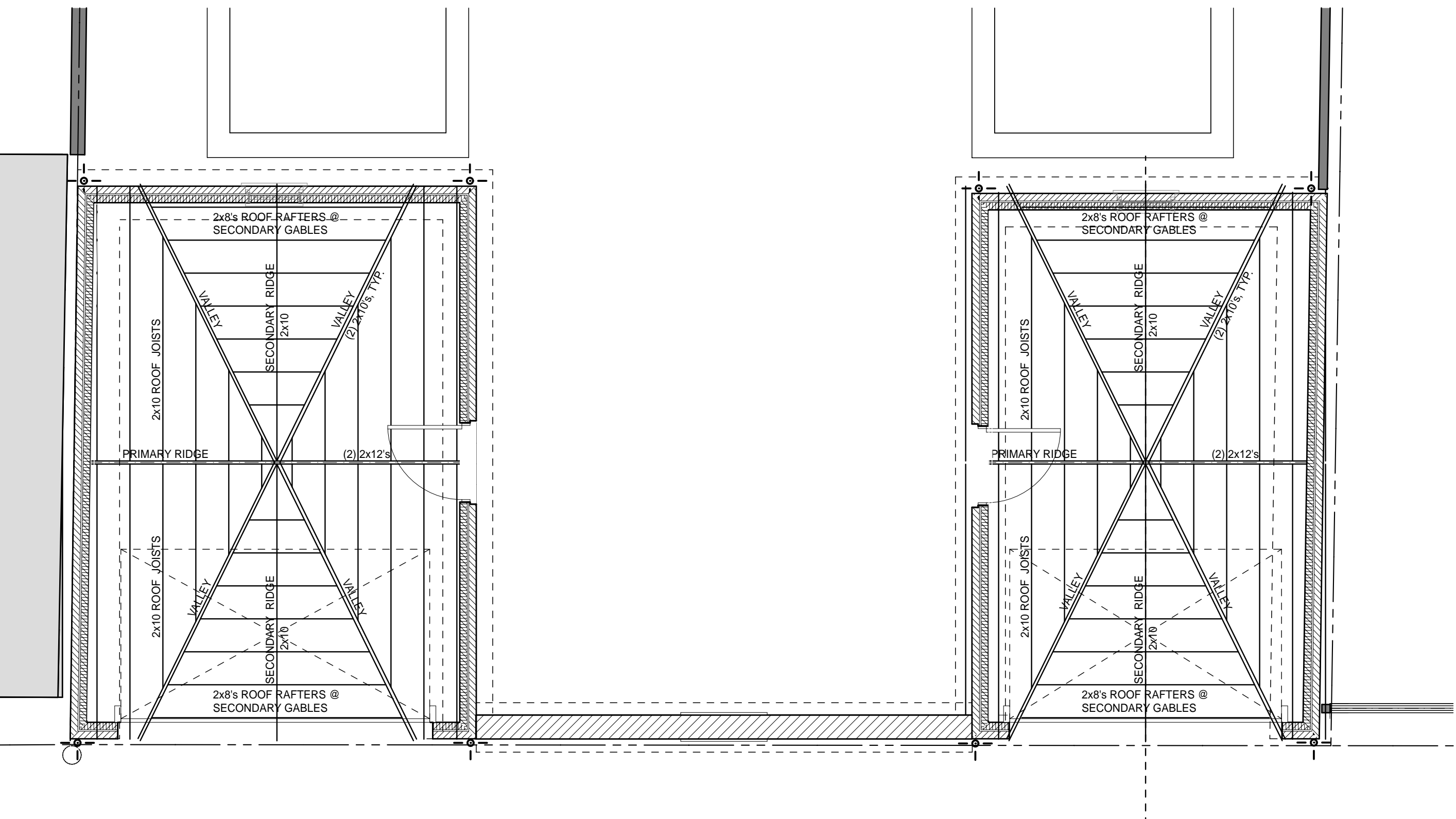
SCALE: 1/4" = 1'-0"



2

PROPOSED PLAN INCLUDING FOUNDATION

SCALE: 1/4" = 1'-0"



4

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

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PLANS

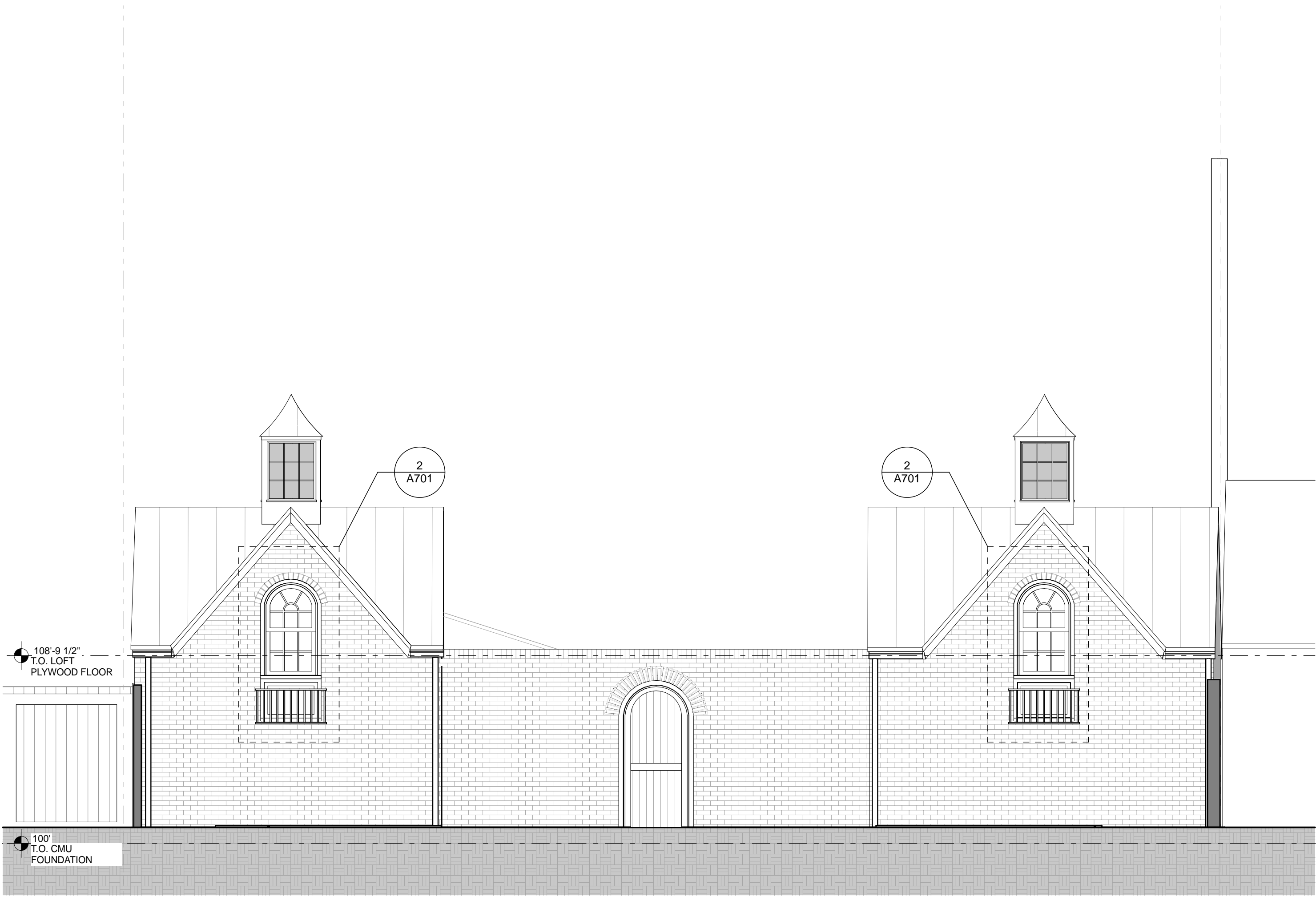
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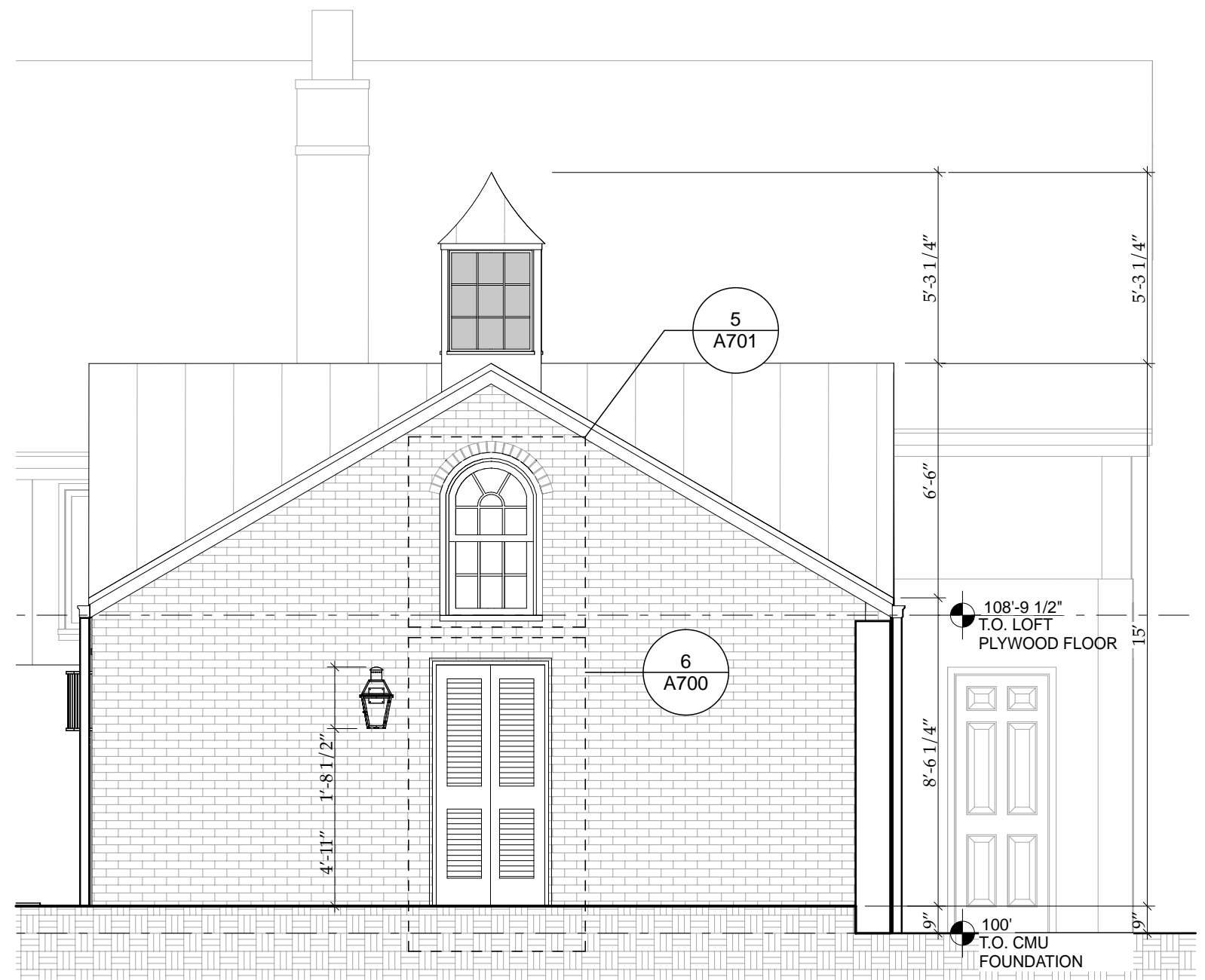
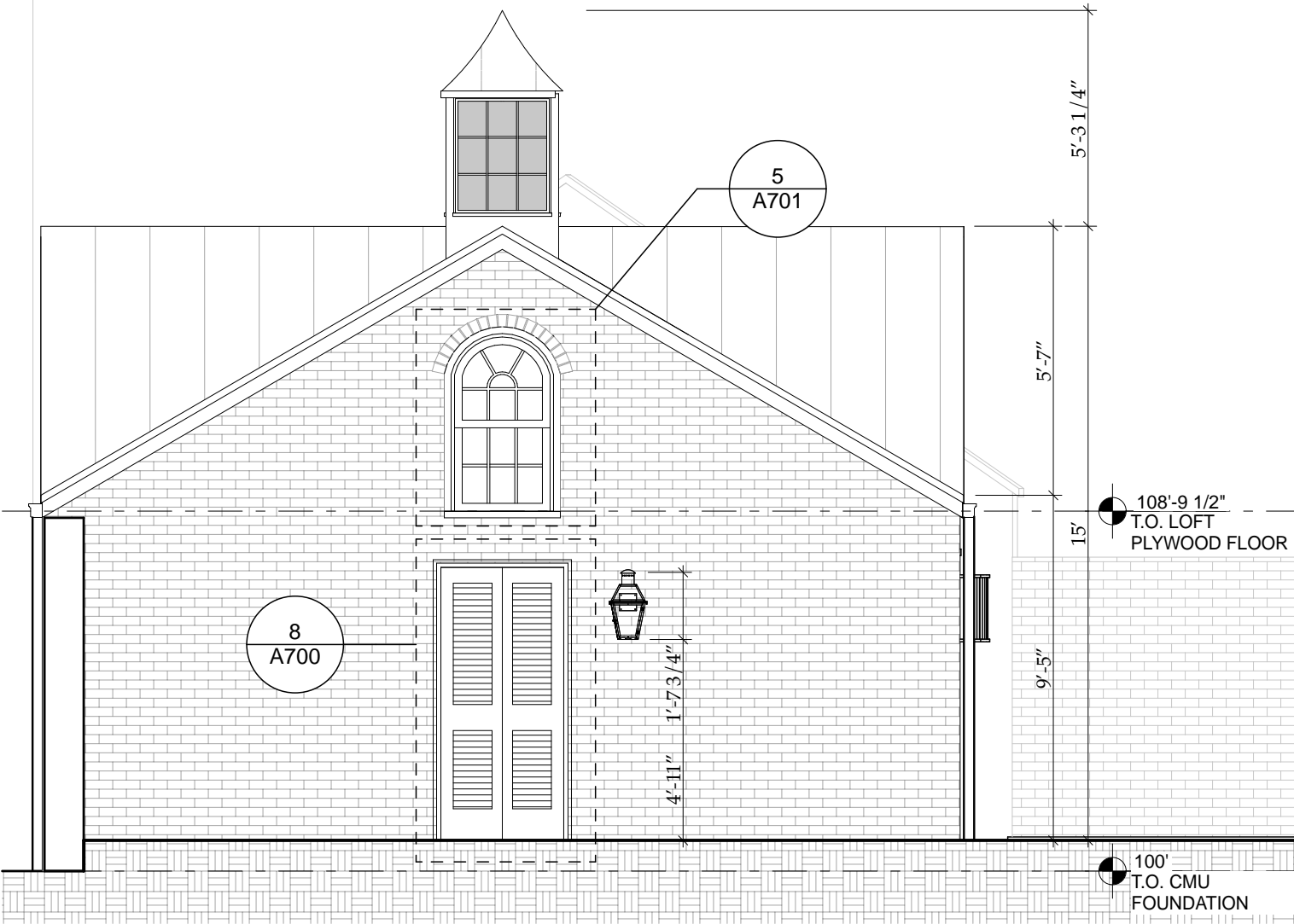
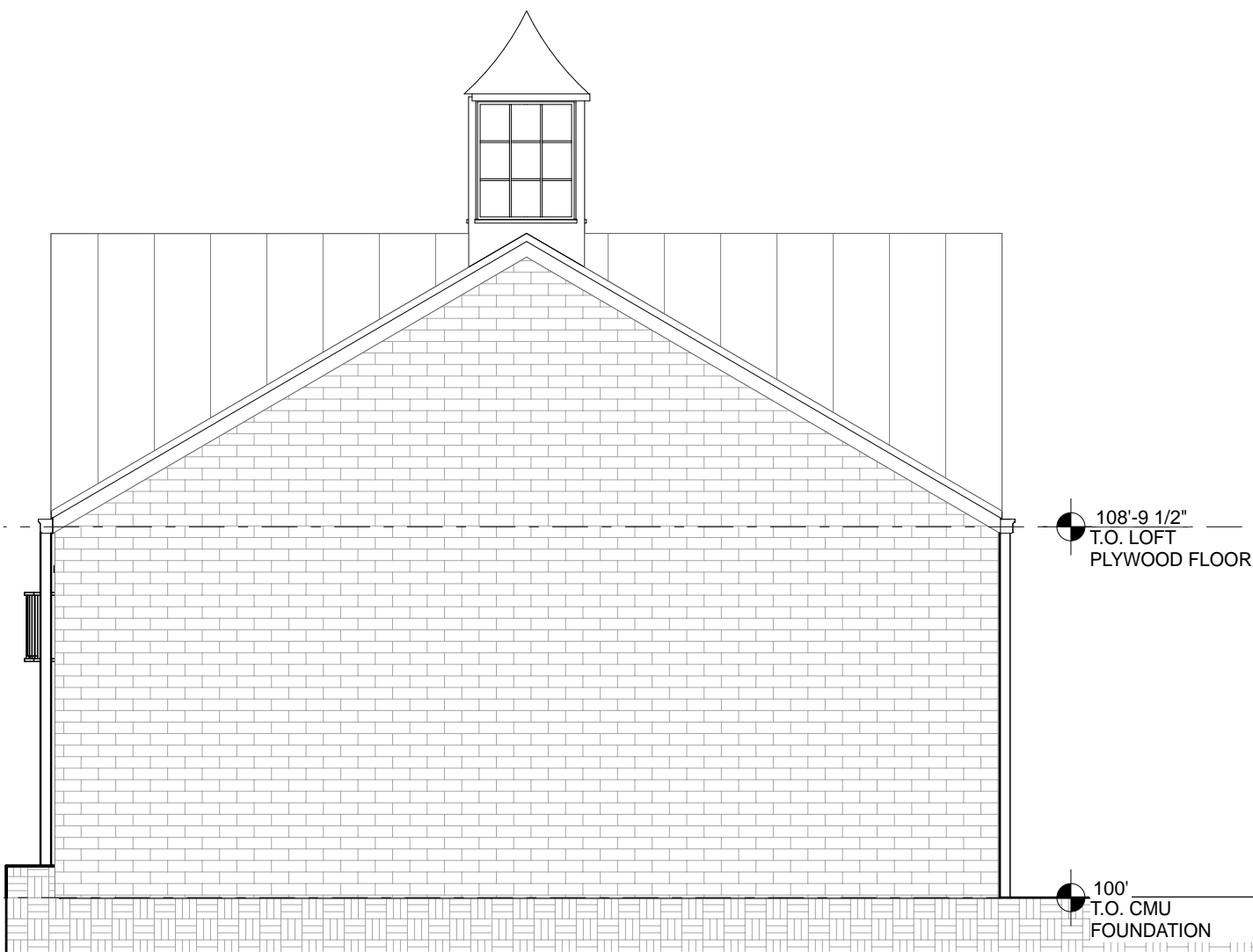
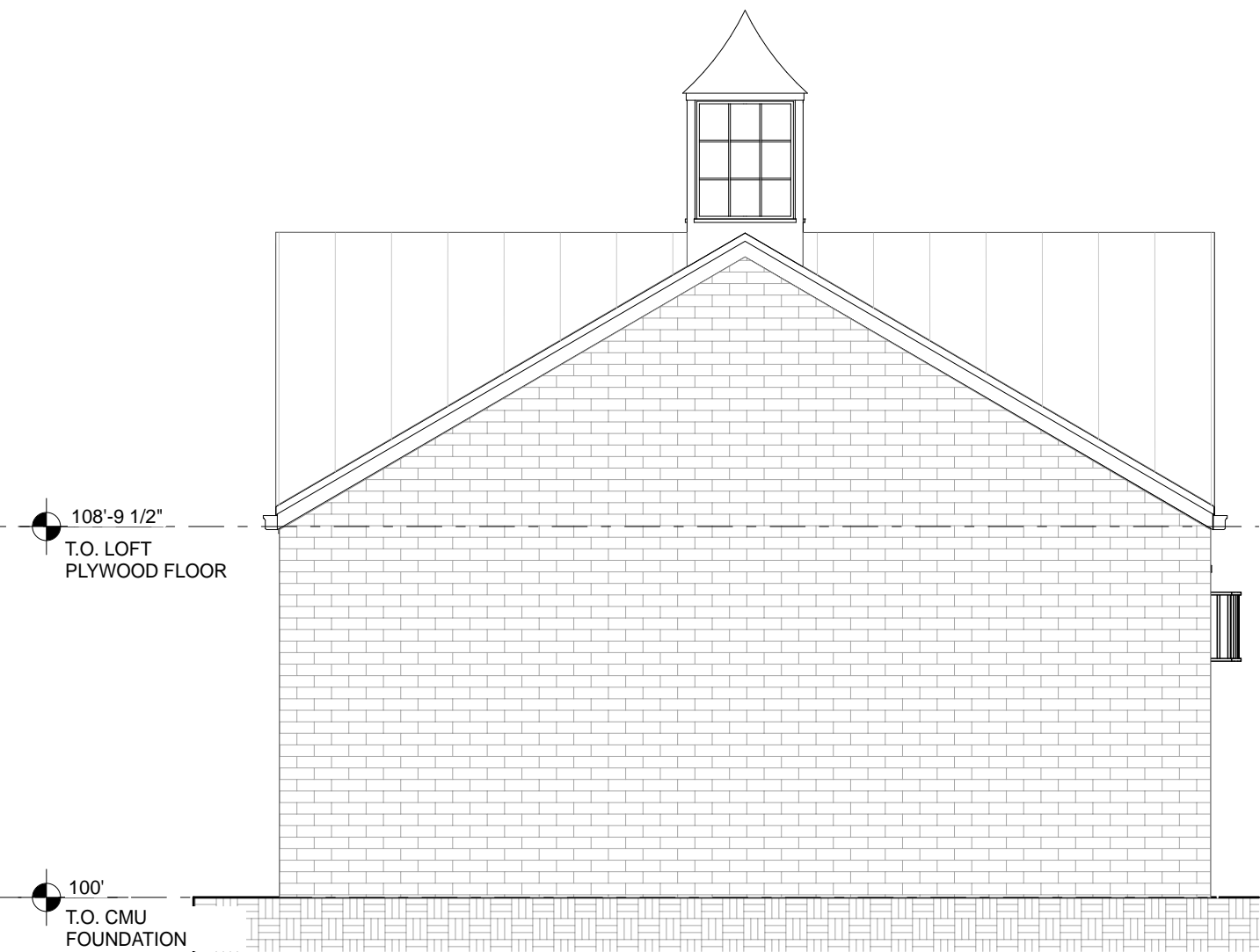
SHEET NO.

A101



1 ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

2 ELEVATION NORTH
SCALE: 1/4" = 1'-0"



6 EAST GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"

5 WEST GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"

4 WEST GARAGE EAST ELEVATION
SCALE: 1/4" = 1'-0"

3 EAST GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"

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HORSEY
ASSOCIATES, PLLC
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
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FAX 202-337-7331
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ELEVATIONS

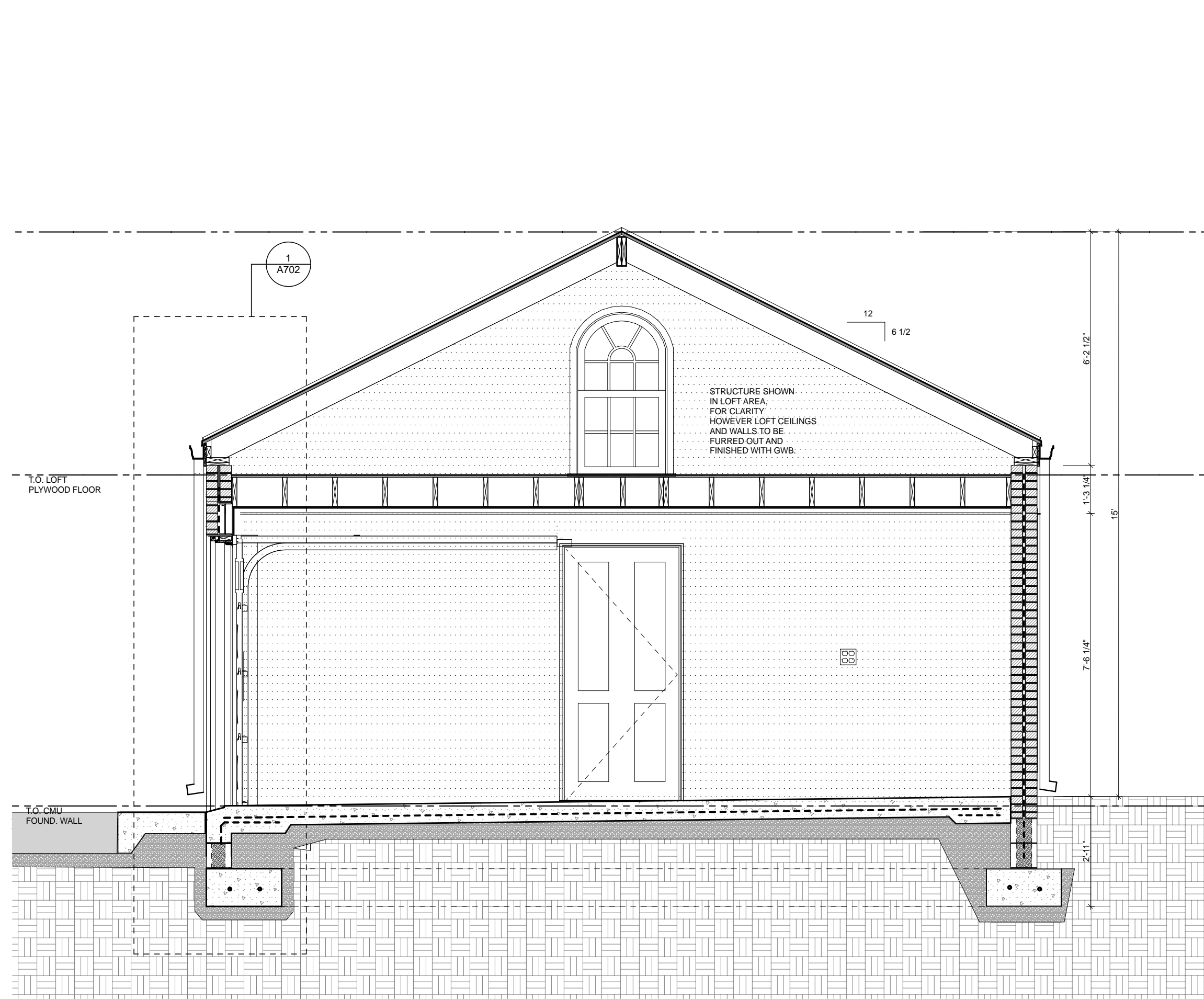
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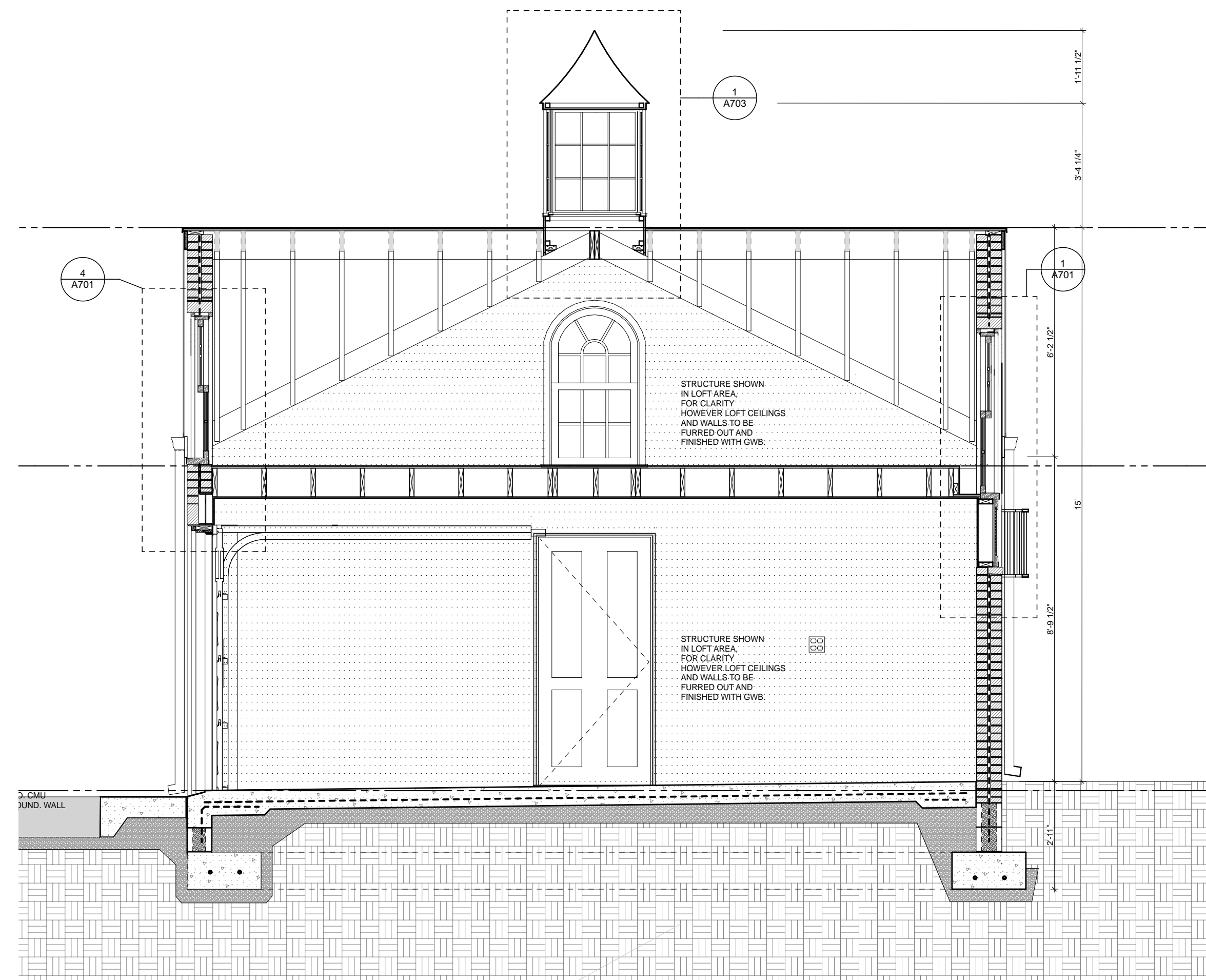
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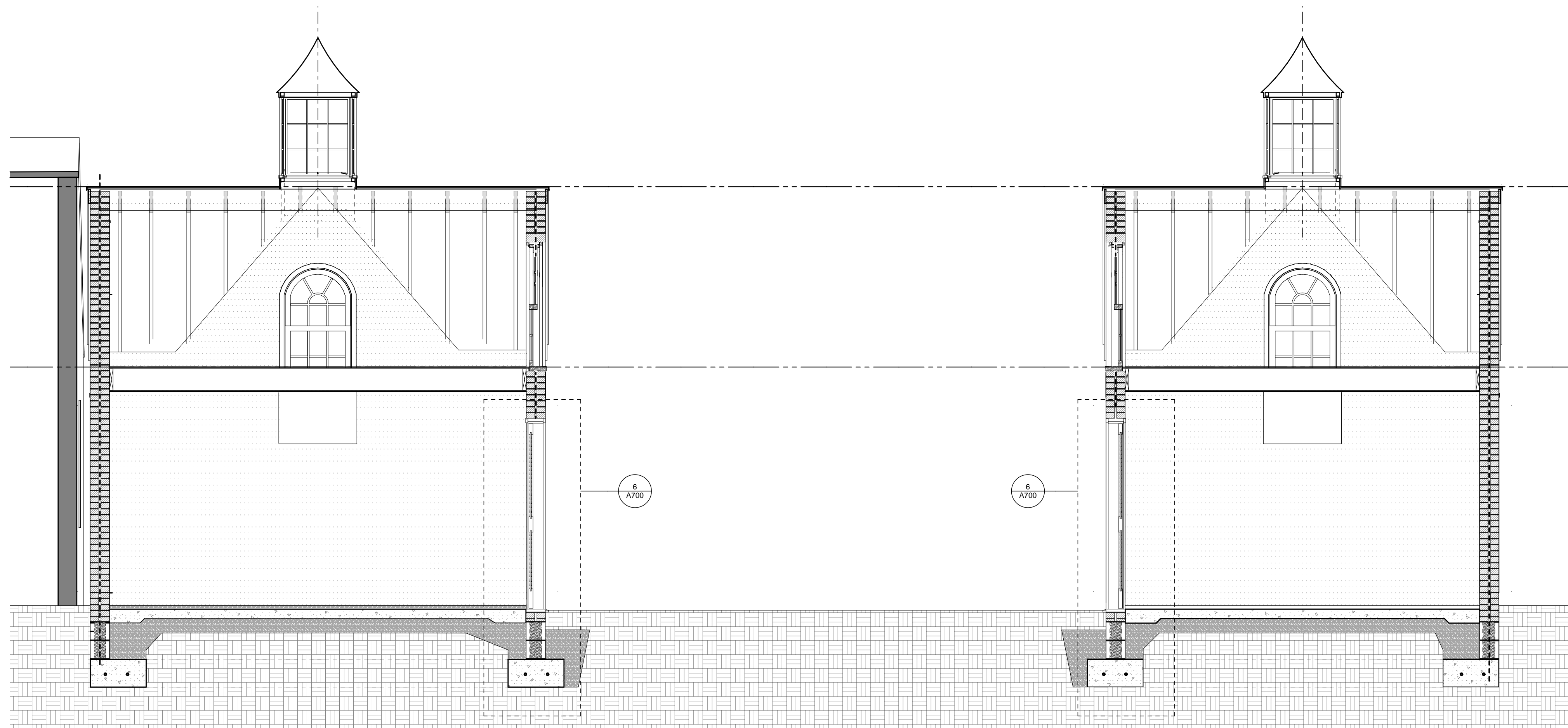
A200



1 NORTH/SOUTH SECTION NEAR END WALLS
SCALE: 3/8" = 1'-0"



2 NORTH/SOUTH TYP. BUILDING SECTION
SCALE: 3/8" = 1'-0"



3 EAST/WEST BUILDING SECTIONS
SCALE: 3/8" = 1'-0"

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DRAWING TITLE:

**BUILDING
SECTIONS**

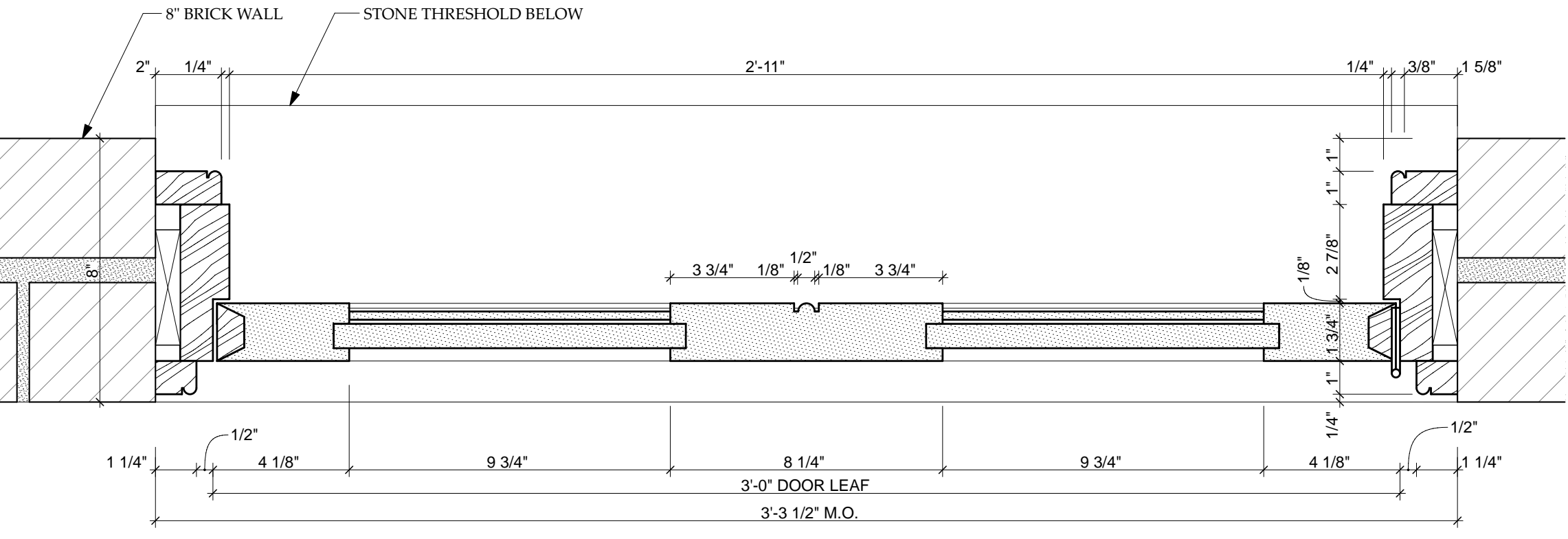
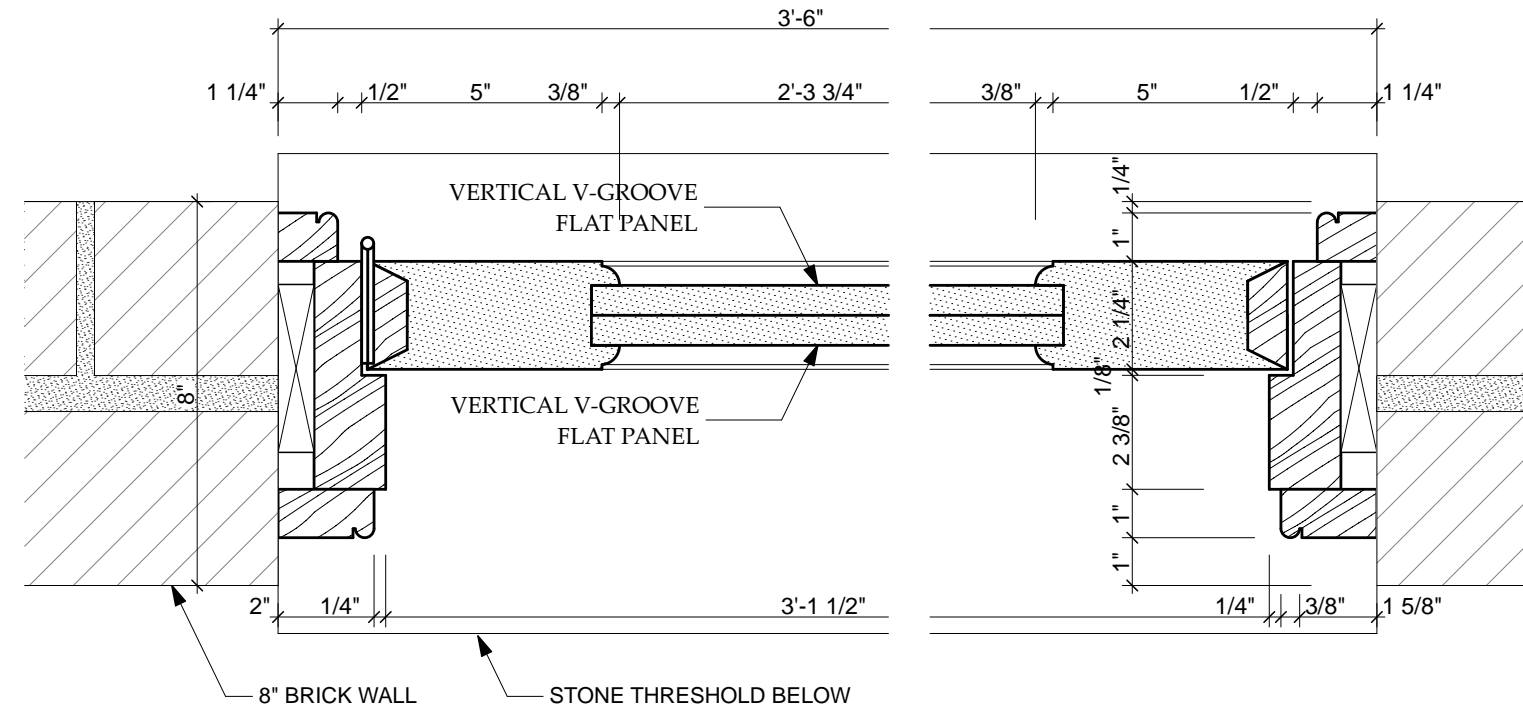
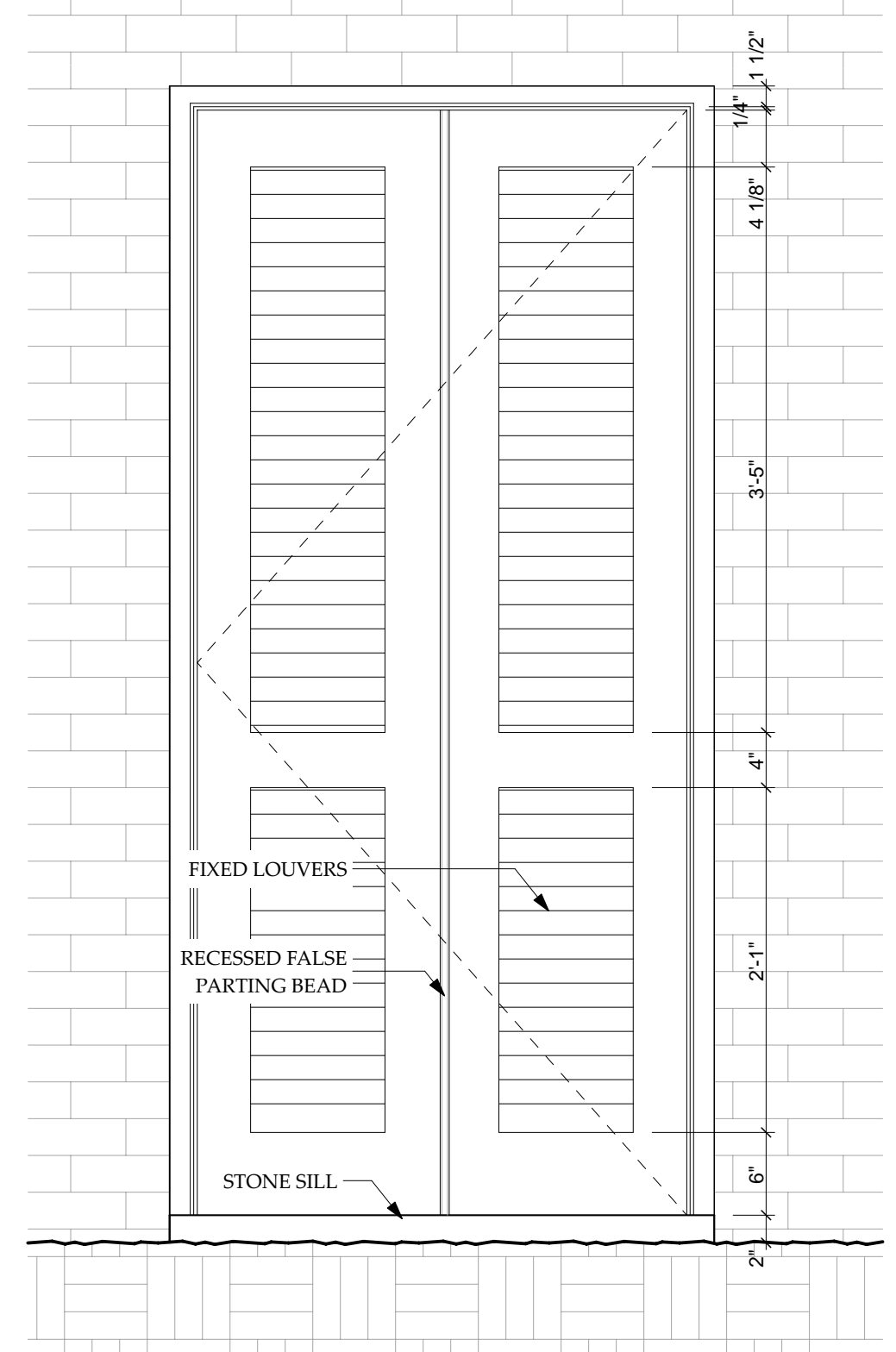
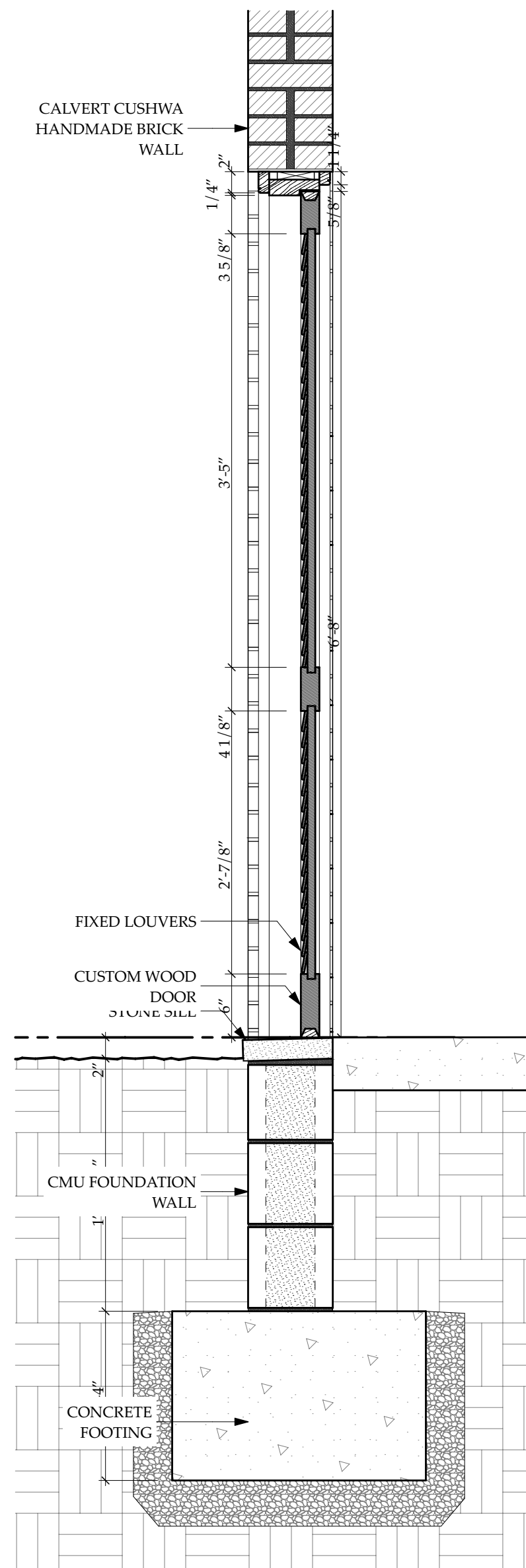
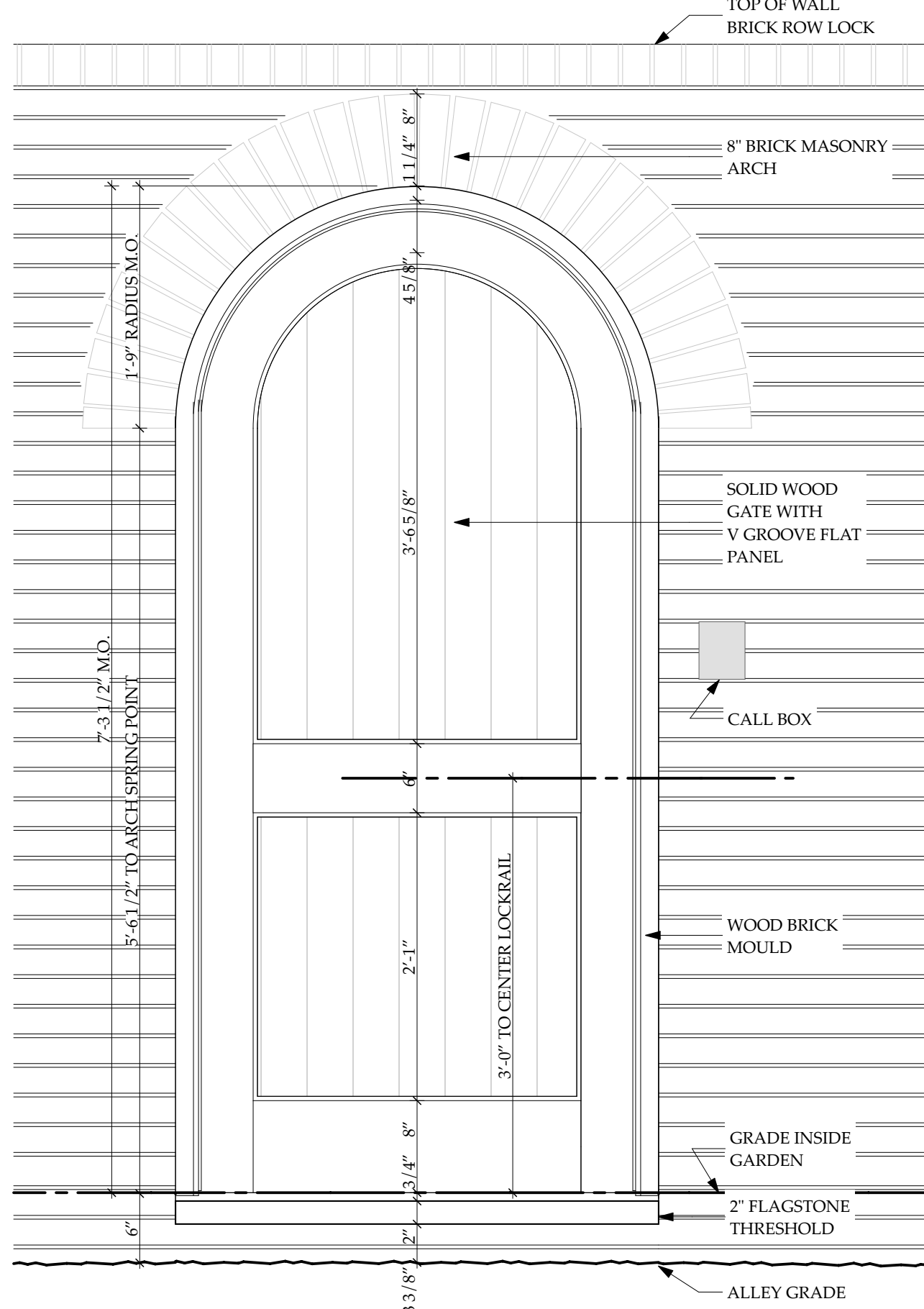
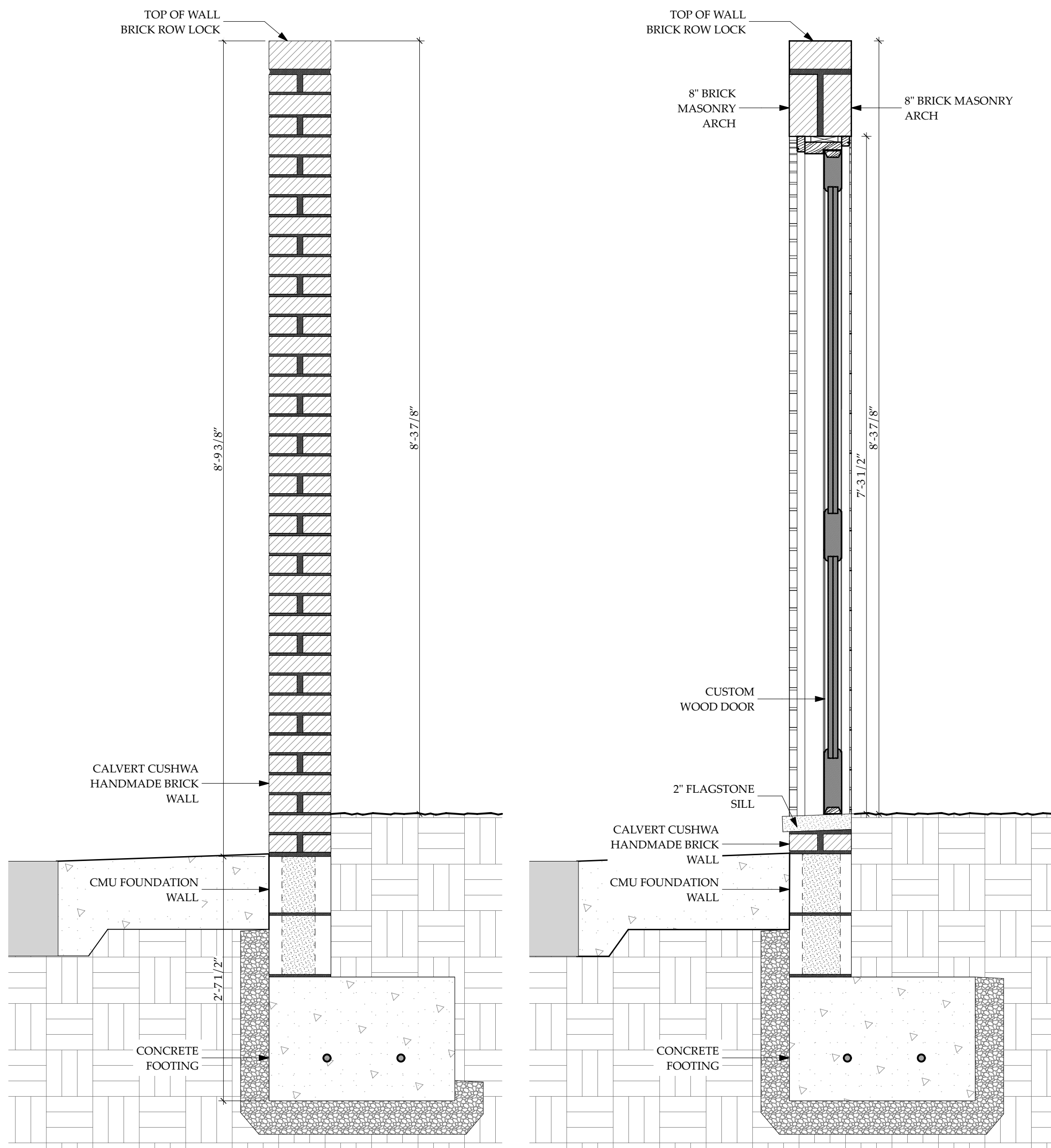
SCALE: AS NOTED

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SHEET NO.

A300



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WASHINGTON, DC 20007
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DOOR AND GATE
DETAILS

SCALE: AS NOTED

ISSUE	DATE

PRINT DATE 4/27/20

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A700



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DRAWING TITLE:

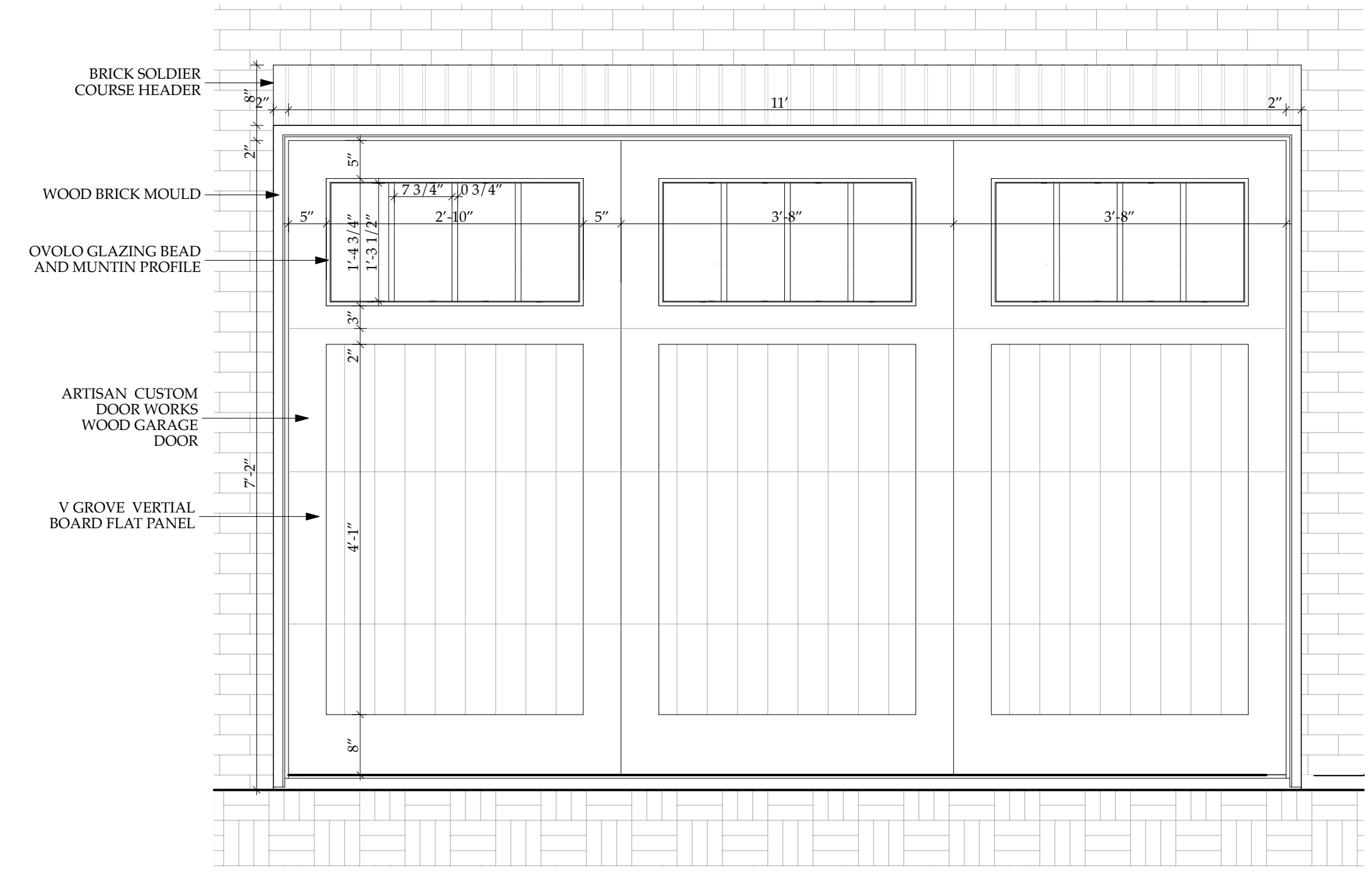
WINDOW DETAILS

SCALE: AS NOTED

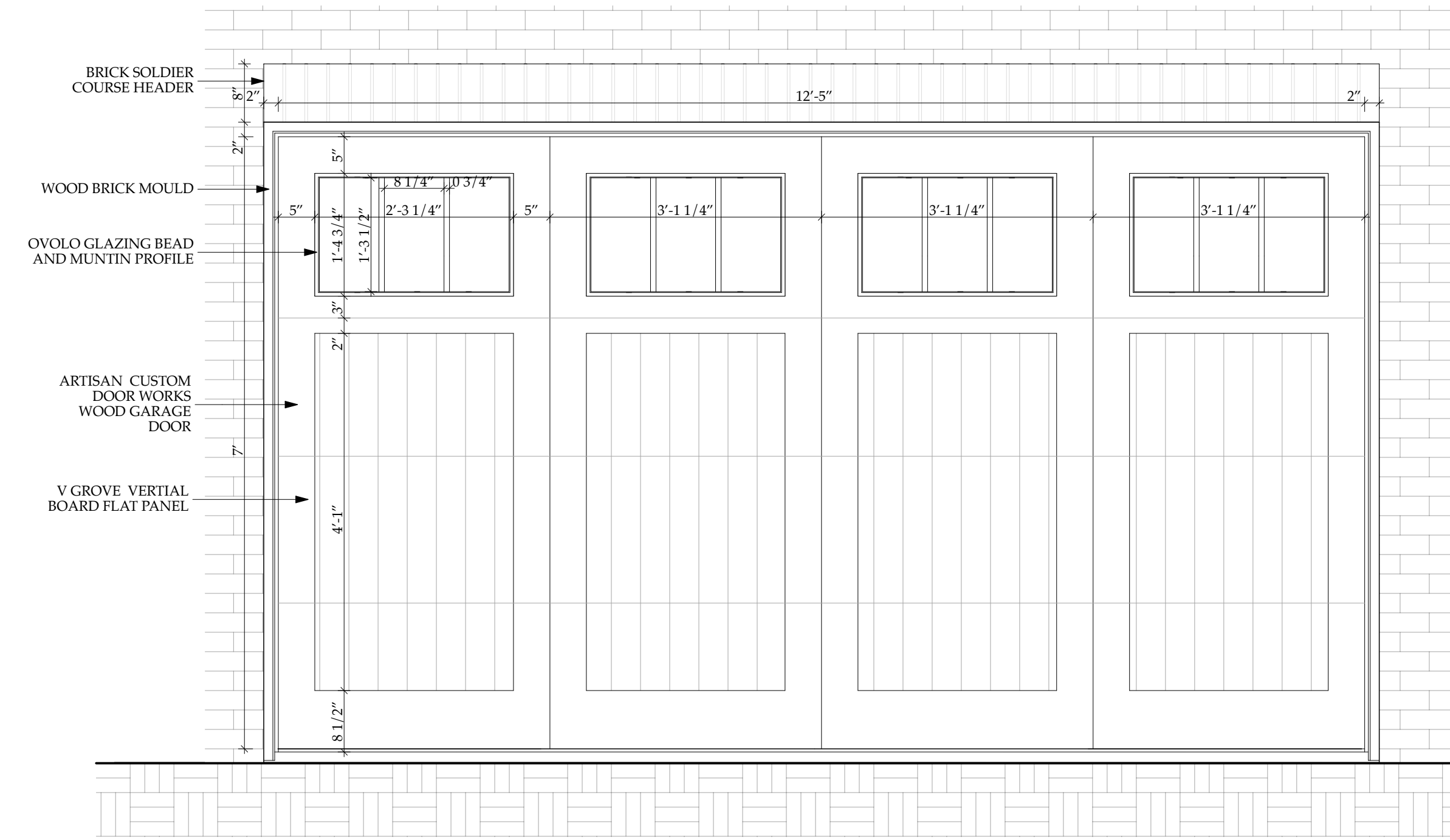
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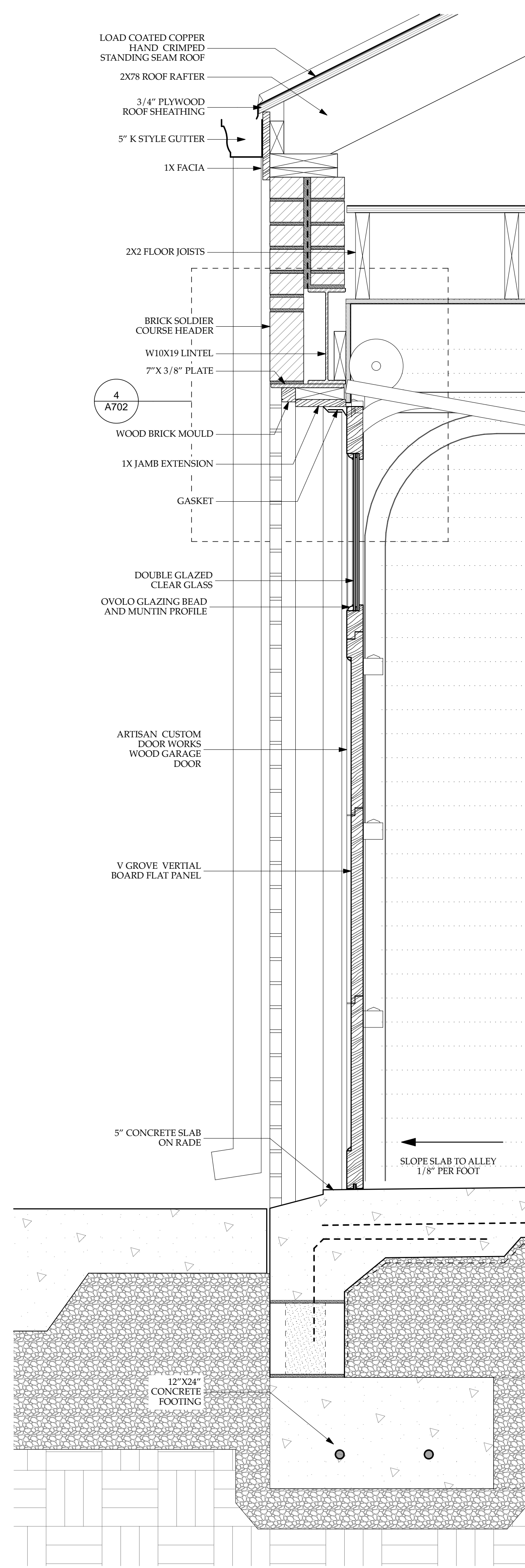
A701



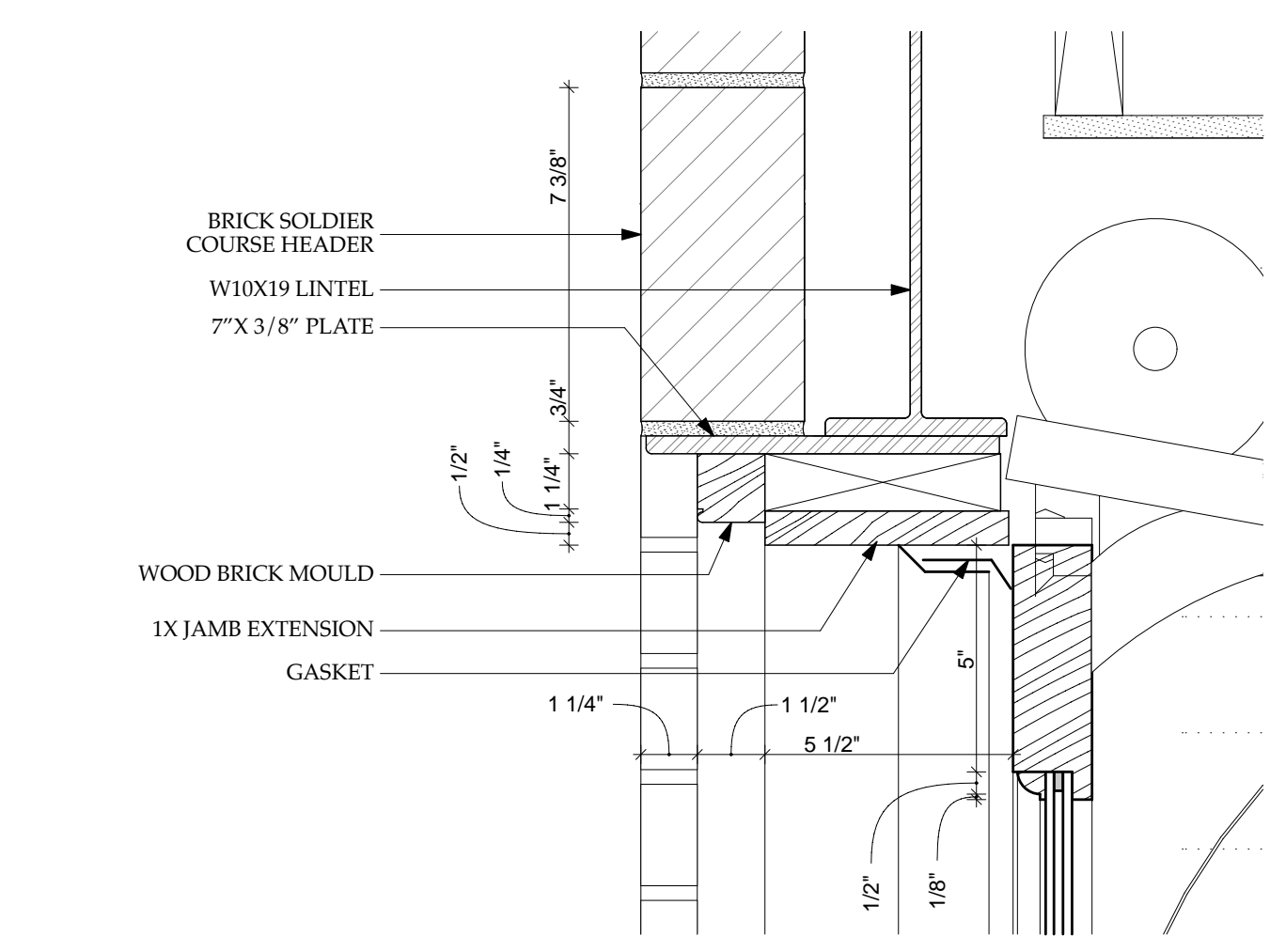
1 ENLARGED ELEVATION OVERHEAD DOOR EAST GARAGE DOOR
SCALE: 3/4" = 1'-0"



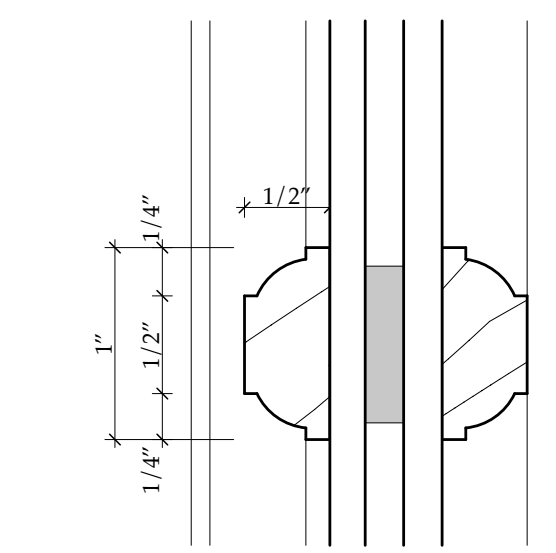
2 ENLARGED ELEVATION OVERHEAD DOOR WEST GARAGE
SCALE: 3/4" = 1'-0"



3 SECTION AT GARAGE DOOR
SCALE: 1 1/2" = 1'-0"



4 PROPOSED FIRST FLOOR - OPTION A
SCALE: 3" = 1'-0"



5 OVERHEAD DOOR MUNTIN
SCALE: 1" = 1'-0"

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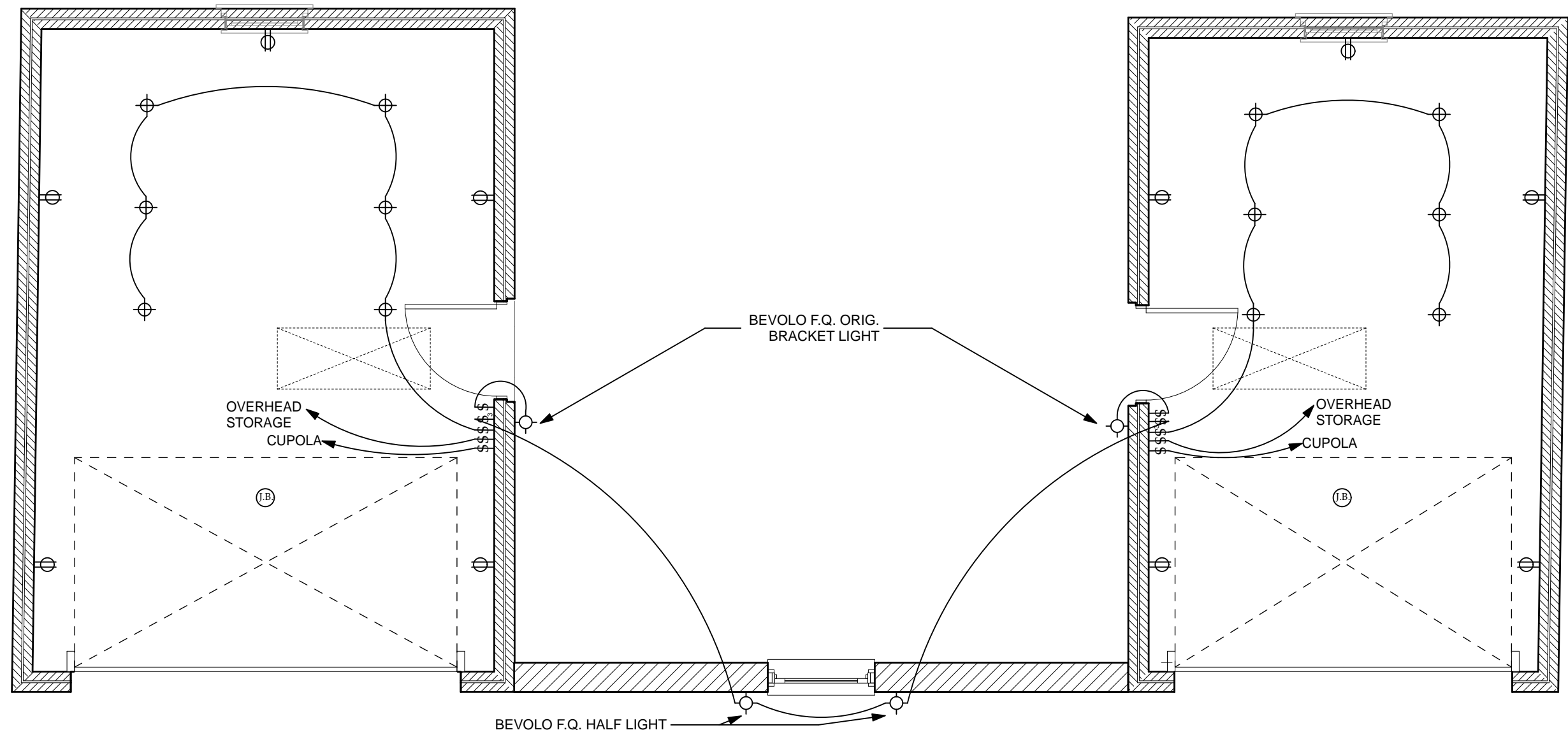
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DRAWING TITLE:
**GARAGE DOOR
DETAILS**
SCALE: AS NOTED

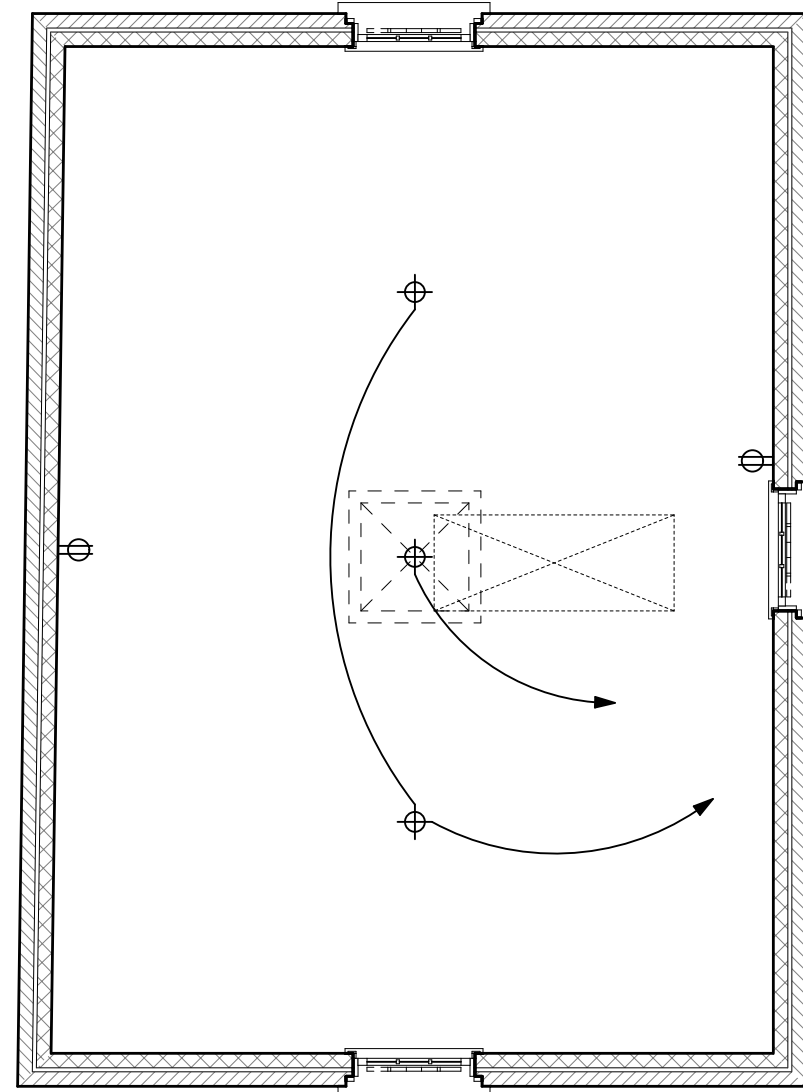
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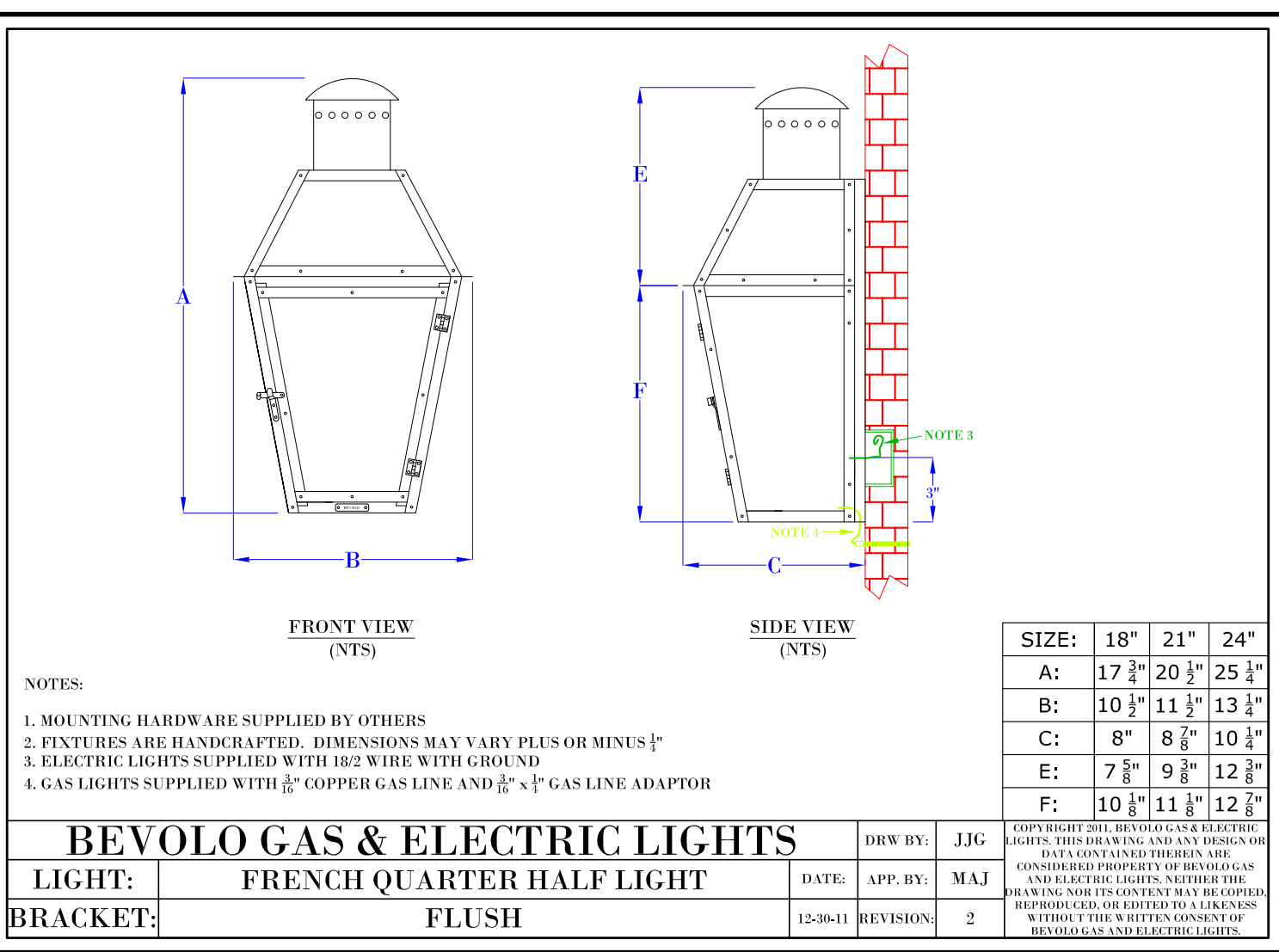
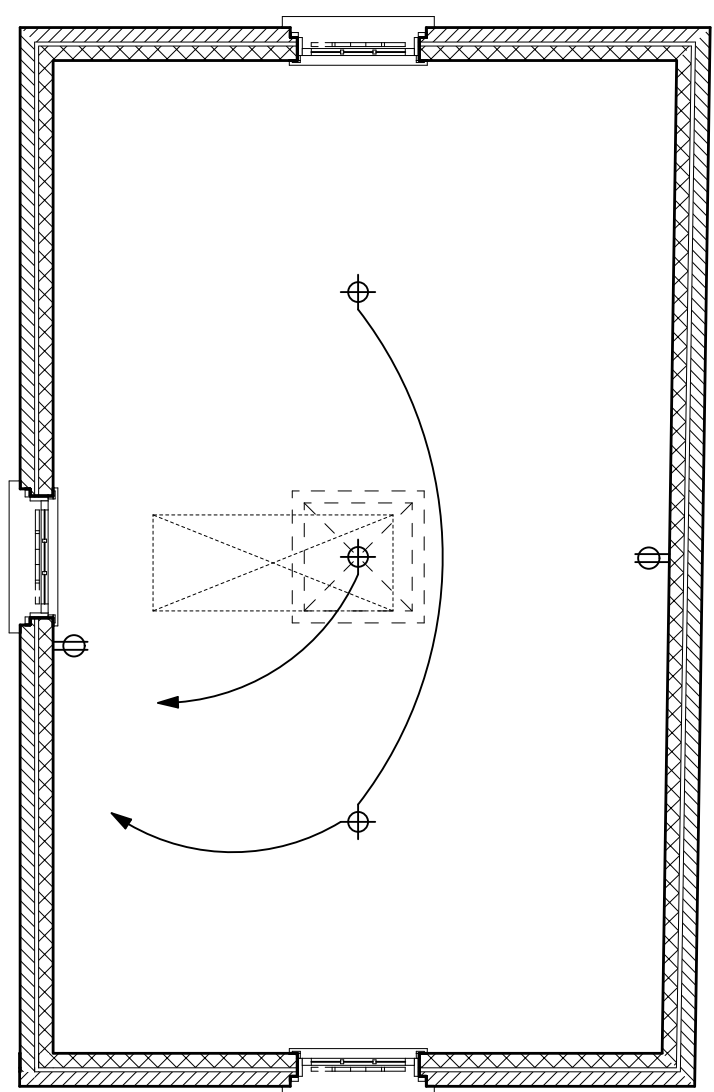
SHEET NO.
A702



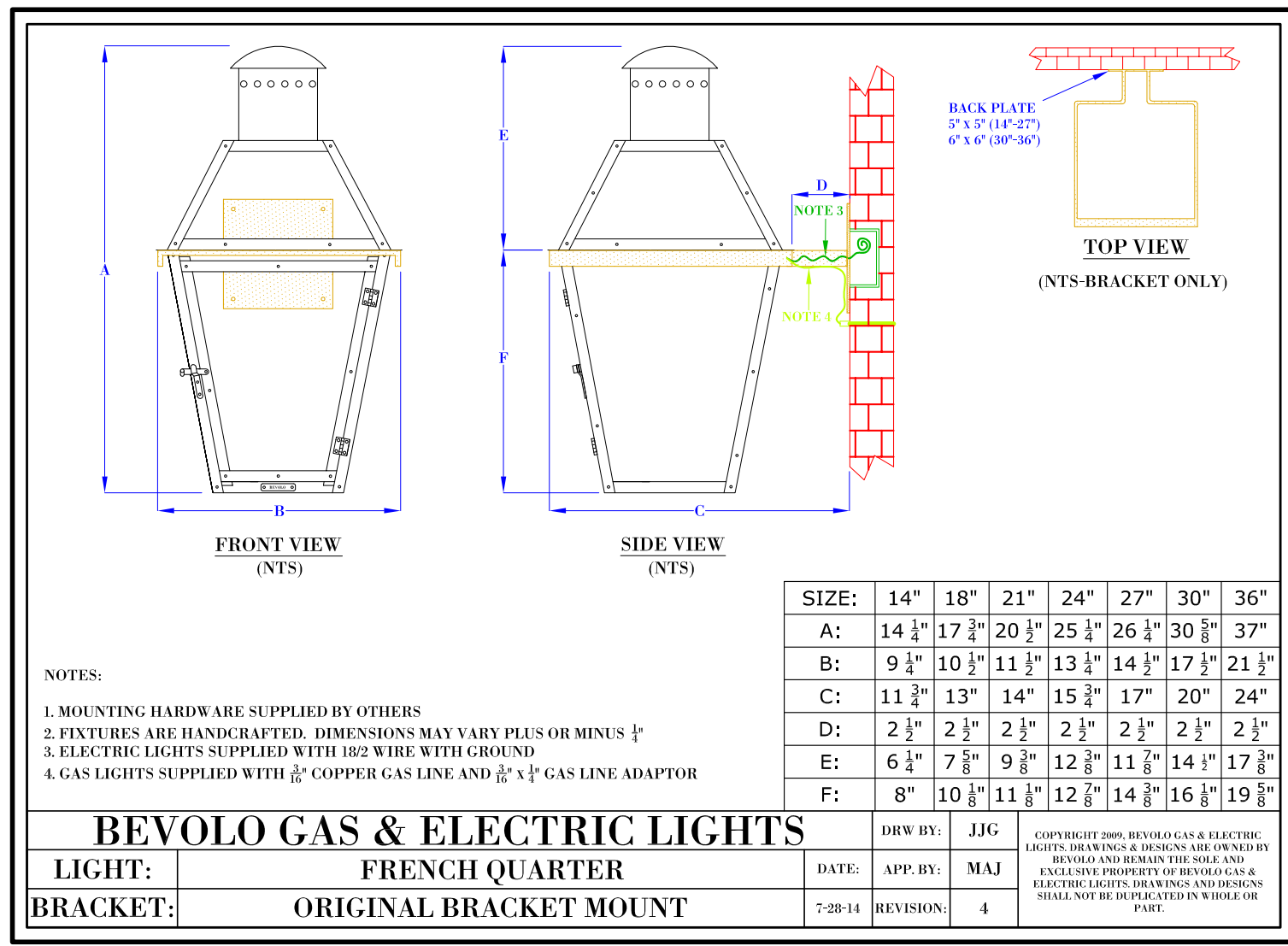
1 ELECTRICAL PLANS - FIRST FLOOR
SCALE: 1/4" = 1'-0"



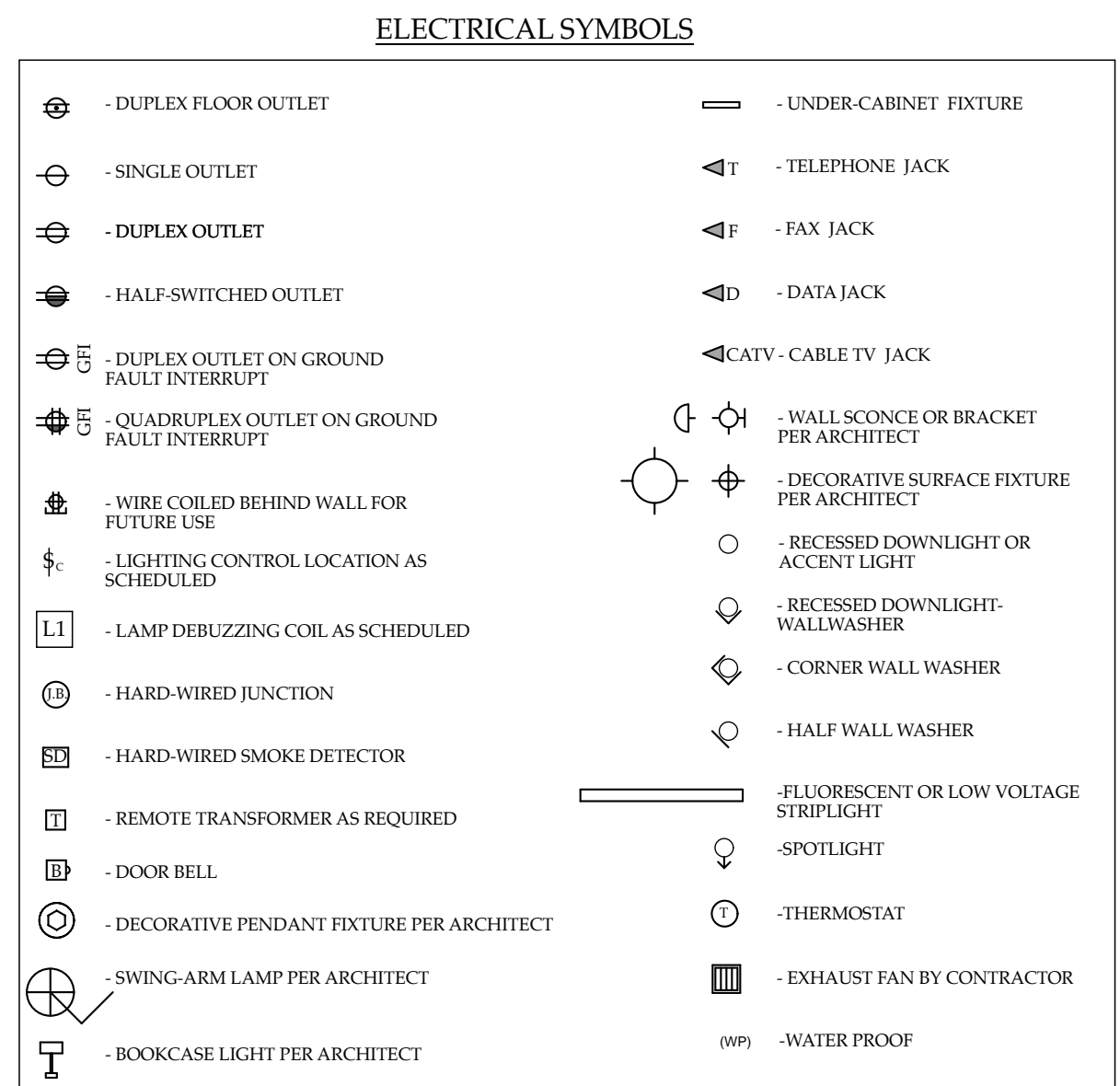
2 ELECTRICAL PLANS - 2ND FLOOR
SCALE: 1/4" = 1'-0"



3 EXTERIOR SCONCES @ GATE
SCALE: 1:1.38



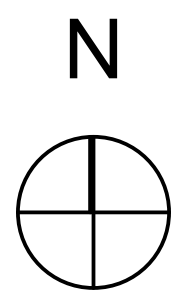
4 EXTERIOR SCONCES @ GARAGE ENTRY
SCALE: 1:1.38



LIGHTING CONTROL SCHEDULE

⎓	SINGLE POLE DECORA-STYLE SWITCH
⎓	3-WAY SWITCH
⎓	4-WAY SWITCH
⎓	DV-600P-* SINGLE POLE, 600W INCANDESCENT
⎓	DV-603P-* 3-WAY, 600W INCANDESCENT
⎓	DV-103P-* 3-WAY, 1000W INCANDESCENT
⎓	DV1V-10P-* SINGLE 800W LOW VOLTAGE
L1	LDC-1.7-TCP LAMP DEBUZZING
L2	LDC-3.3-TCP

* COLOR TO BE SELECTED BY ARCHITECT
CATALOG NUMBERS ARE FOR LUTRON EQUIPMENT



OUTERBRIDGE
HORSEY
ASSOCIATES, PLLC

1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com

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ASSOCIATES, PLLC

CONSULTANTS:

3306 O Street, NW
Washington, DC 20007

DRAWING TITLE:

ELECTRICAL
PLANS

SCALE: AS NOTED

ISSUE	DATE

PRINT DATE 4/27/20

SHEET NO.

MEP100