#### GENERAL NOTES

- 1. All Work shall be performed in accordance with the IRC 2012, and all other applicable codes, regulations and ordinances as adopted and/or modified by the District of Columbia DCMR 2013.
- 2. All Electrical work to be performed in accordance with the National Electrical Code and the District of Columbia code.
- 3. Dimensions and Notes for a given condition are typical for all similar conditions unless otherwise stated.
- 4. Drawings at a larger scale shall take precedence over drawings of a smaller scale. Notify Architect immediately if a discrepancy should be found.
- 5. Existing walls, columns, floor/ceiling assemblies, etc. are shown unrendered on the plans and sections. Elevations show existing elements - windows, doors, roofs, etc. as unrendered outline (new work is shown rendered).
- 6. General Contractor to keep disturbances in existing house to a minimum.
- 7. Protect existing planting during construction with erosion control type fence. Do not remove any trees or shrubs without prior approval of owner. Protect existing driveway from abuse, any damage should be repaired at the expense of the contractor. Provide conveniently located refuse barrels and maintain for workman use.
- 8. General Contractor to inspect existing electrical service and notify Owner and Architect if upgrading is required by code or with the proposed addition/
- 9. General Contractor to ensure flush transition from existing work to new work. 10. All wall surfaces are to be made flush and smooth prior to painting or
- installation of wallcovering. 11. Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.
- 12. Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
- 13. Coordinate the unloading and safe storage of Owner delivered material on site (casework, equipment, etc.). Installation of Owner delivered material is to be included in the base bid (unless noted otherwise).

#### PROJECT TEAM

OWNER Mary K. Stinson Prince & Frederick O. Prince

ARCHITECT Outerbridge Horsey Associates, PLLC

1228 1/2 31st Street, NW

Washington, DC 20007 Contact: Outerbridge Horsey, AIA

oh@outerbridgehorsey.com

Tel 202.337.7334

48.96 ft ( O St. NW )

7,134 sq. ft

# 3306 O Street, NW

#### Washington, DC 20007

LOT DESCRIPTION: Square 1229, Lot 0135

ADDRESS: 3306 O Street, NW

LOT AREA: 7,134 sq. ft.

**ZONING DISTRICT:** R-20

**BUILDING TYPE:** Garages (2) + Garden Wall

None Campus Plan None

**Historic District** Georgetown Historic District

Downtown Sub Area None

Credit Trade Area Future Land Use Map Moderate Density Residential

**ZONING CRITERIA** REQUIRED PROVIDED

20 ft (Attached House)

2000 sq. ft

60%

3 stories

35 feet

5 feet

20%

20 feet

MIN. LOT WIDTH: MIN. LOT AREA:

MAX. OCCUPANCY:

MAX. BUILDING AREA: MAX. STORIES: MAX. HEIGHT:

SIDE YARD SETBACK: **REAR YARD SETBACK:** 

PERVIOUS SURFACES: MIN. % PERVIOUS (R-1-A)

#### SPECIAL NOTE

Existing conditions shown or implied are based on best available but limited information. If conditions are encountered that differ from those shown, noted or implied, all work in that specific area is to stop and the Architect is to be notified. No work is to continue in such areas without the permission of the Architect.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job and the Architect must be notified of any variation from the dimensions and conditions shown by these drawings.

The above drawings and specifications and the ideas, designs and arrangements represented thereby are, and shall remain the property of the architect. No part thereof shall be copied, disclosed to others, or used in connection with any other work or project by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings shall constitute conclusive evidence of acceptance of these restrictions.

The professional seal is for certification of new work only and is not intended for general certification of preexisting conditions.

# **DEMOLITION NOTES**

- 1. Coordinate removal of personal belongings or furnishings from affected areas
- 2. Protect all interior walls, doors, trim, ceilings, and floors from unnecessary damage during demolition.
- 3. Phase all work to achieve minimum disturbance in work areas. Protect unaffected areas from dust, dirt and noise.
- contract drawings. Reuse as directed on drawings. 5. All doors and windows to be salvaged for course of job. Those not reused should be removed by G.C. at end of job as directed by Owner. See door and

4. Salvage equipment, fixtures, counters, cabinets and doors as required by the

- window schedules for those salvaged and relocated. 6. Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including, but not limited to nails, hooks, wires, door bells, etc. on first
- 7. The Contractor shall arrange for the proper discontinuance and/or relocation of all public utilites when required, including sewers, water, gas, electric, television,
- 8. Existing plumbing hook-ups to be shut off immediately prior to demolition work at each location.
- 9. Cap off all abandoned waste and supply lines below floor level, patch where
- 10. Brace structure as necessary during demolition to prevent structural damage and excessive movement. Protect the existing exterior walls, roof(s), and trim from damage during demolition.
- 11. Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do no cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
- 12. Contractor shall receive title to materials to be demolished, title shall vest to Contractor upon execution of the Contract. Owner will not be responsible for the condition, loss or damage to material after execution of Contract.
- 13. Debris shall not accumulate on site. Sale or burning of material on site is prohibited. Site and adjacent areas shall be kept clean and free from mud, dirt, and debris at all times.
- 14. Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.



# PERSPECTIVE FROM SOUTHWEST

### LIST OF DRAWINGS

SHEET	TITLE
A000	COVER SHEET
C100	DC SOIL AND ERIONSION PLAN
A100	EXISTING AND PROPOSED SITE PLANS
A101	DEMOLITION PLAN, PROPOSED PLAN WITH
	FOUNDATION PLAN, LOFT FRAMING PLAN,
	AND ROOF FRAMING PLAN
A200	PROPOSED ELEVATIONS
A300	BUILDING SECTIONS
A700	DOOR DETAILS
A701	WINDOW DETAILS
A702	OVERHEAD DOOR DETAILS
A703	CUPOLA AND ROOF DETAILS
MEP100	ELECTRICAL PLANS AND EXTERIOR LIGHT
	FIXTURE DRAWINGS
	A000 C100 A100 A101 A200 A300 A700 A701 A702 A703



## OUTERBRIDGE **HORSEY** ASSOCIATES, PLLC

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CONSULTANTS:

3306 O Street, NW

Washington, DC 20007

DRAWING TITLE:

**COVER SHEET** 

SCALE: AS NOTED

DATE

PRINT DATE 4/27/20

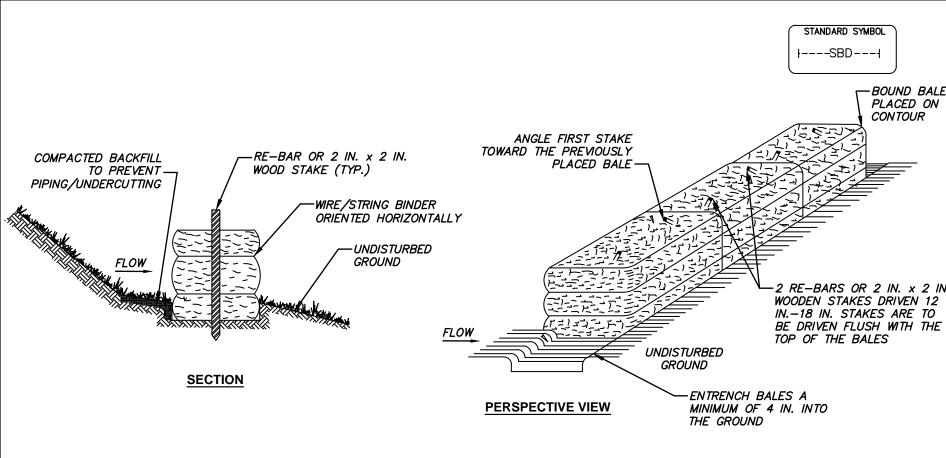
SHEET NO.

A000

#### DDOE SOIL EROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES

- 1. Following initial land disturbance or re-disturbance, permanent or interim stabilization must be completed within seven (7) calendar days for the surfaces of all perimeter controls, dikes, swales, ditches, perimeter slopes, and slopes greater than three (3) horizontal to one (1) vertical (3:1); and fourteen (14) days for all other disturbed or graded areas on the project site. These requirements do not apply to areas shown on the plan that are used for material storage other than stockpiling, or for those areas on the plan where actual construction activities are being performed. Maintenance shall be performed as necessary so that stabilized areas continuously meet the appropriate requirements of the District of Columbia Standards and Specifications for Soil Erosion and Sediment Control (ESC). [21 DCMR § 542.9 (o)]
- 2. ESC measures shall be in place before and during land disturbance. [21 DCMR § 543.6]
- **3.** Contact DDOE Inspection (202) 535-2977 to schedule a preconstruction meeting at least three (3) business days before the commencement of a land-disturbing activity. [21 DCMR § 503.7 (a)]
- 4. A copy of the approved plan set will be maintained at the construction site from the date that construction activities begin to the date of final stabilization and will be available for DDOE inspectors. [21 DCMR § 542.15]
- **5.** ESC measures shall be in place to stabilize an exposed area as soon as practicable after construction activity has temporarily or permanently ceased but no later than fourteen (14) days following cessation, except that temporary or permanent stabilization shall be in place at the end of each day of underground utility work that is not contained within a larger development site. [21 DCMR § 543.7]
- **6.** Stockpiled material being actively used during a phase of construction shall be protected against erosion by establishing and maintaining perimeter controls around the stockpile. [21 DCMR § 543.16 (a)]
- **7.** Stockpiled material not being actively used or added to shall be stabilized with mulch, temporary vegetation, hydro-seed or plastic within fifteen (15) calendar days after its last use or addition. [21 DCMR § 543.16 (b)]
- **8.** Protect best management practices from sedimentation and other damage during construction for proper post construction operation. [21 DCMR § 543.5]
- 9. Request a DDOE inspector's approval after the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. [21 DCMR § 542.12 (a)]
- **10.** Request a DDOE inspector's approval after final stabilization of the site and before the removal of erosion and sediment controls. [21 DCMR § 542.12 (b)]
- 11. Final stabilization means that all land-disturbing activities at the site have been completed and either of the following two criteria have been met: (1) a uniform (for example, evenly distributed, without large bare areas) perennial vegetative cover with a density of seventy percent (70%) of the native background vegetative cover for the area has been established on all unpaved areas and areas not covered by permanent structures, or (2) equivalent permanent stabilization measures have been employed (such as the use of riprap, gabions, or geotextiles). [21 DCMR § 542.12 (b.1, b.2)]
- 12. Follow the requirements of the United States Environmental Protection Agency approved Stormwater Pollution Prevention Plan (SWPPP) and maintain a legible copy of this SWPPP on site. [21 DCMR § 543.10 (b)]
- 13. Post a sign that notifies the public to contact DDOE in the event of erosion or other pollution. The sign will be placed at each entrance to the site or as directed by the DDOE inspector. Each sign will be no less than 18 x 24 inches in size and made of materials that will withstand weather for the duration of the project. Lettering will be at least 1 inch in height and easily readable by the public from a distance of twelve feet (12 ft). The sign must direct the public, in substantially the following form: "To Report Erosion, Runoff, or Stormwater Pollution" and will provide the construction site address, DDOE's telephone number (202-535-2977), DDOE's e-mail address (IEB.scheduling@dc.gov), and the 311 mobile app heading ("Construction-Erosion Runoff"). [21 DCMR § 543.22]

  If a site disturbs 5,000 square feet of land or greater, the ESC plan must contain the following statement:
- 14. A Responsible Person must be present or available while the site is in a land-disturbing phase. The Responsible Person is charged with being available to (a) inspect the site and its ESC measures at least once biweekly and after a rainfall event to identify and remedy each potential or actual erosion problem, (b) respond to each potential or actual erosion problem identified by construction personnel, and (c) speak on site with DDOE to remedy each potential or actual erosion problem. A Responsible Person shall be (a) licensed in the District of Columbia as a civil or geotechnical engineer, a land surveyor, or architect; or (b) certified through a training program that DDOE approves, including a course on erosion control provided by another jurisdiction or professional association. During construction, the Responsible Person shall keep on site proof of professional licensing or of successful completion of a DDOE-approved training program. [21 DCMR § 547]



#### **CONSTRUCTION SPECIFICATIONS**

- 1. PLACE BALES IN A ROW ON THE CONTOUR WITH THE ENDS OF EACH BALE TIGHTLY ABUTTING THE ADJACENT BALES.
- 2. ENTRENCH EACH BALE 4 INCHES MINIMUM INTO THE SOIL AND PLACE SO THE BINDINGS ARE HORIZONTAL. SOME OF THE EXCAVATED SOIL MUST BE BUILT UP AND COMPACTED AT THE UPSTREAM EDGE OF THE DIKE TO PREVENT PIPING AND UNDERCUTTING.
- 3. SECURELY ANCHOR BALES IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE 12 TO 18 INCHES INTO THE GROUND. DRIVE THE FIRST STAKE IN EACH BALE TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. DRIVE THE STAKES FLUSH WITH THE TOP OF THE BALE.
- 1. IMMEDIATELY INSPECT STRAW BALE BARRIERS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL EVENTS. RE—DRIVE THE ANCHORING STAKES IF THEY BECOME EXPOSED. REMOVE SEDIMENT WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- 5. REMOVE ALL BALES WHEN THE SITE HAS BEEN STABILIZED. GRADE FLUSH AND STABILIZE THE TRENCH WHERE THE BALES WERE LOCATED.

				* * * DISTRICT OF COLUMBIA
				DEPARTMENT OF ENERGY
DATE	APPR		STRAW BALE DIKE	ENVIRONMENT
REVISED			'	
ISSUED:	:			DWG. NO 305.1
		REFERENCE		

**GENERAL NOTE:** 

GENERAL CONTRACTOR SHALL

CONTACT THE DEPARTMENT OF

ENERGY AND THE ENVIRONMENT AT 202.535.2977 TO SCHEDULE A PRE

CONSTRUCTION MEETING BEFORE

THE COMMENCEMENT OF A LAND

1. CONSTRUCTION SITE IS BOUND ON

THE EAST AND WEST BY EXISTING

STRUCTURES TO REMAIN AND

2. INSTALL STRAW BALES ALONG

EXISTING NORTH AND SOUTH AREAS

3. DEMOLISH EXISTING BRICK WALLS

4. AFTER COMPLETION OF BOTH

GARAGES AND GATE WALL, REMOVE

**LIMITS OF DISTIRBANCE** 

**OUTLINE OF ARE OF** 

WORK

HAY BAIL DIKE

DISTURBING ACTIVITY.

687 SQ. FT.

25 CU. YDS.

OF WORK

**AREA OF DISTURBANCE:** 

**EXCAVATION VOLUME:** 

**PROJECT NARRATIVE:** 

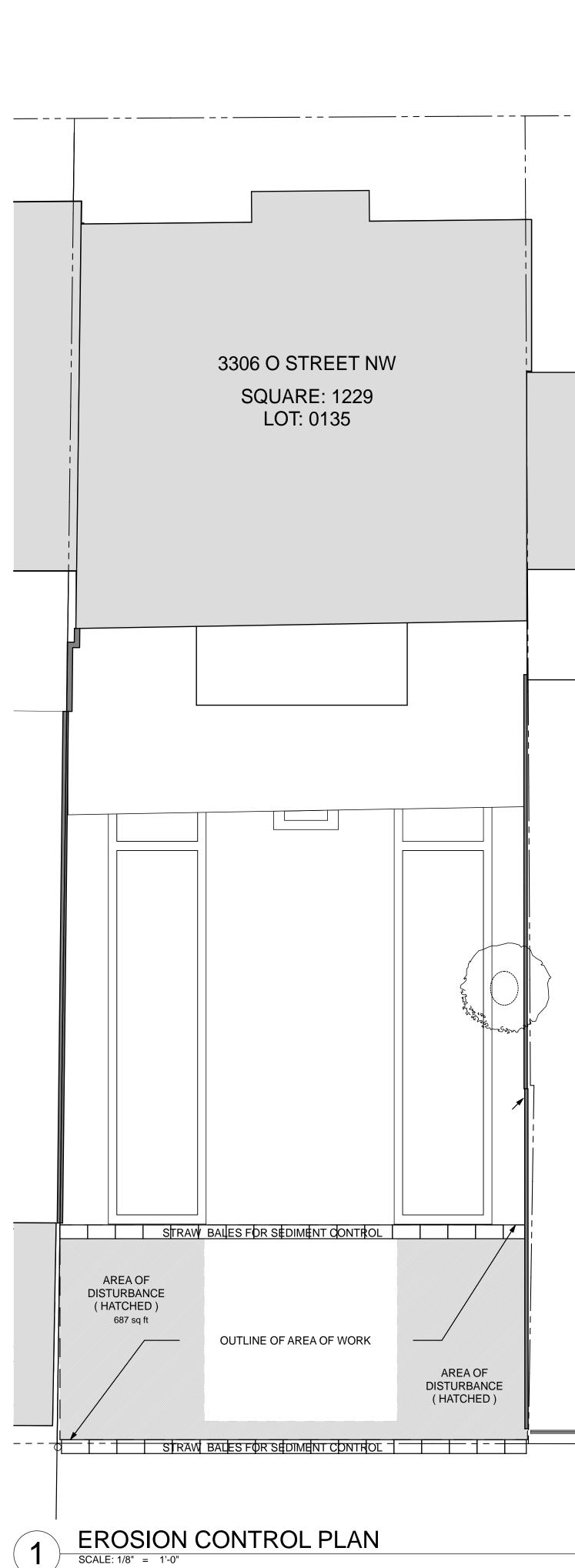
PROPERTY LINES.

AT PARKING AREA

STRAW BALES.

**GRAPHIC LEGEND:** 

\_\_\_\_



O STREET NW

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CONSULTANTS:

3306 O Street, NW

Washington, DC 20007

DRAWING TITLE:

DC EROSION AND SEDIMENT CONTROL PLAN

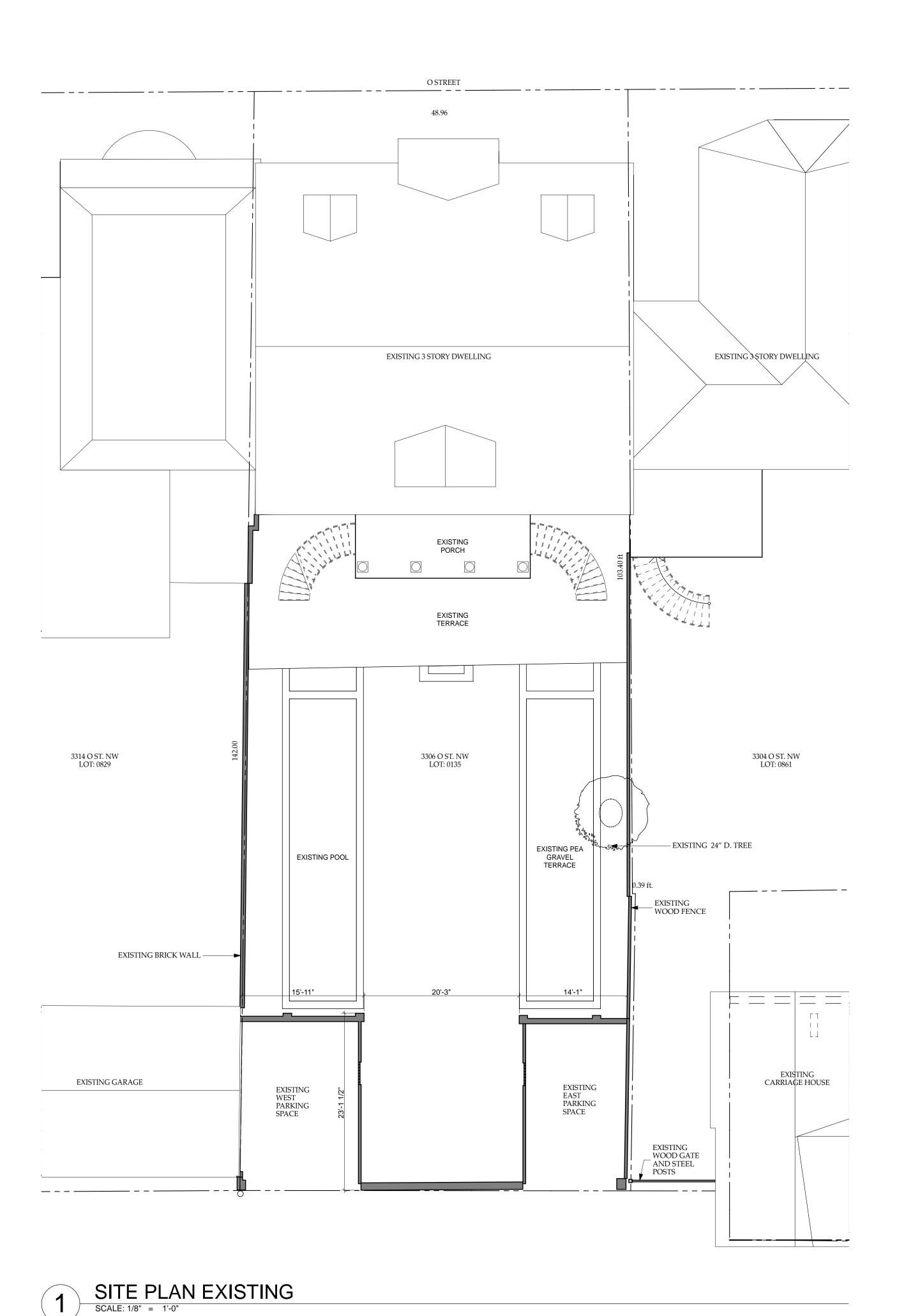
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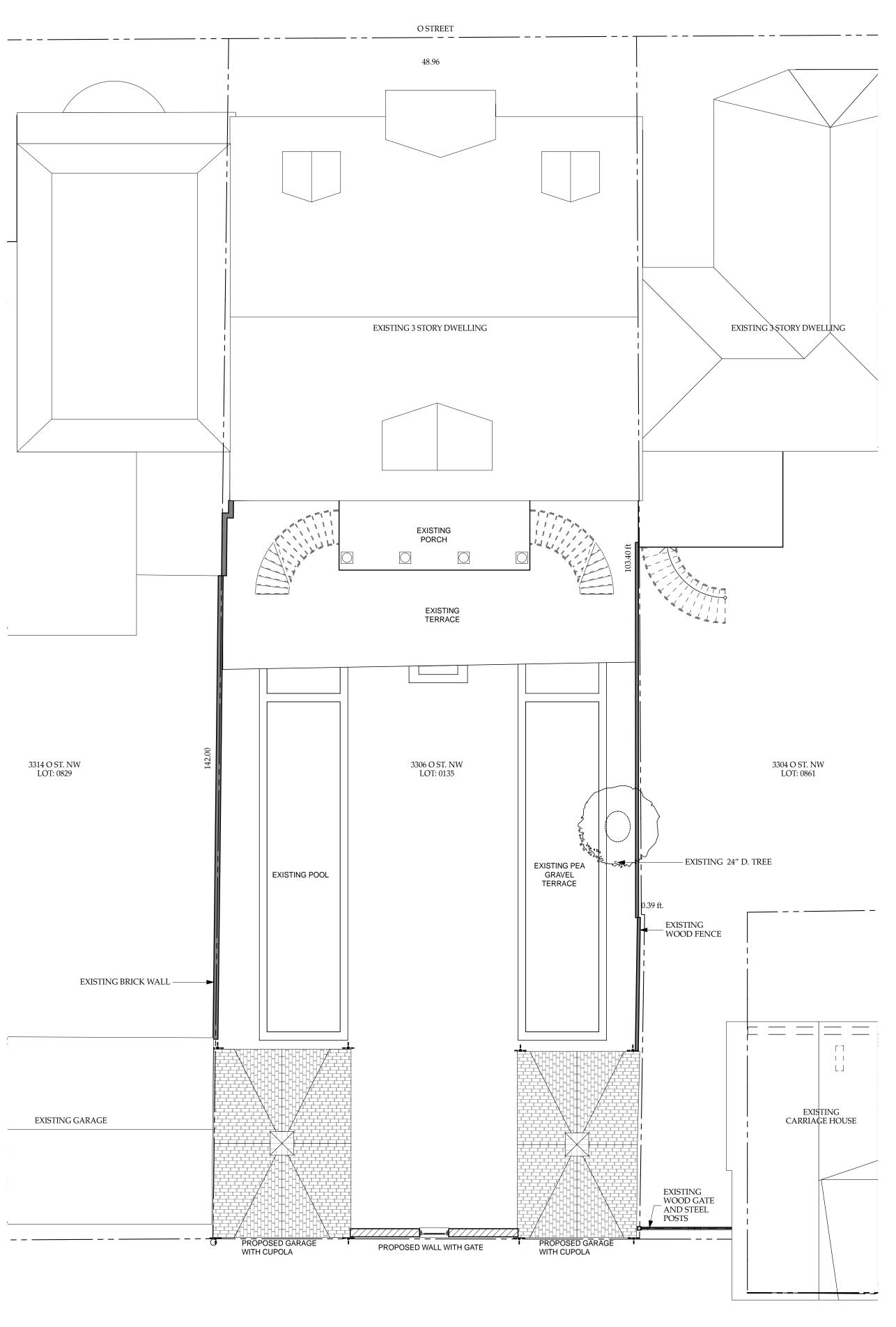
ISSUE	DATE

PRINT DATE 4/27/20

SHEET NO.

C100





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CONSULTANTS:

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Washington, DC 20007

DRAWING TITLE:

SITE PLANS

SCALE: AS NOTED

ISSUE DATE

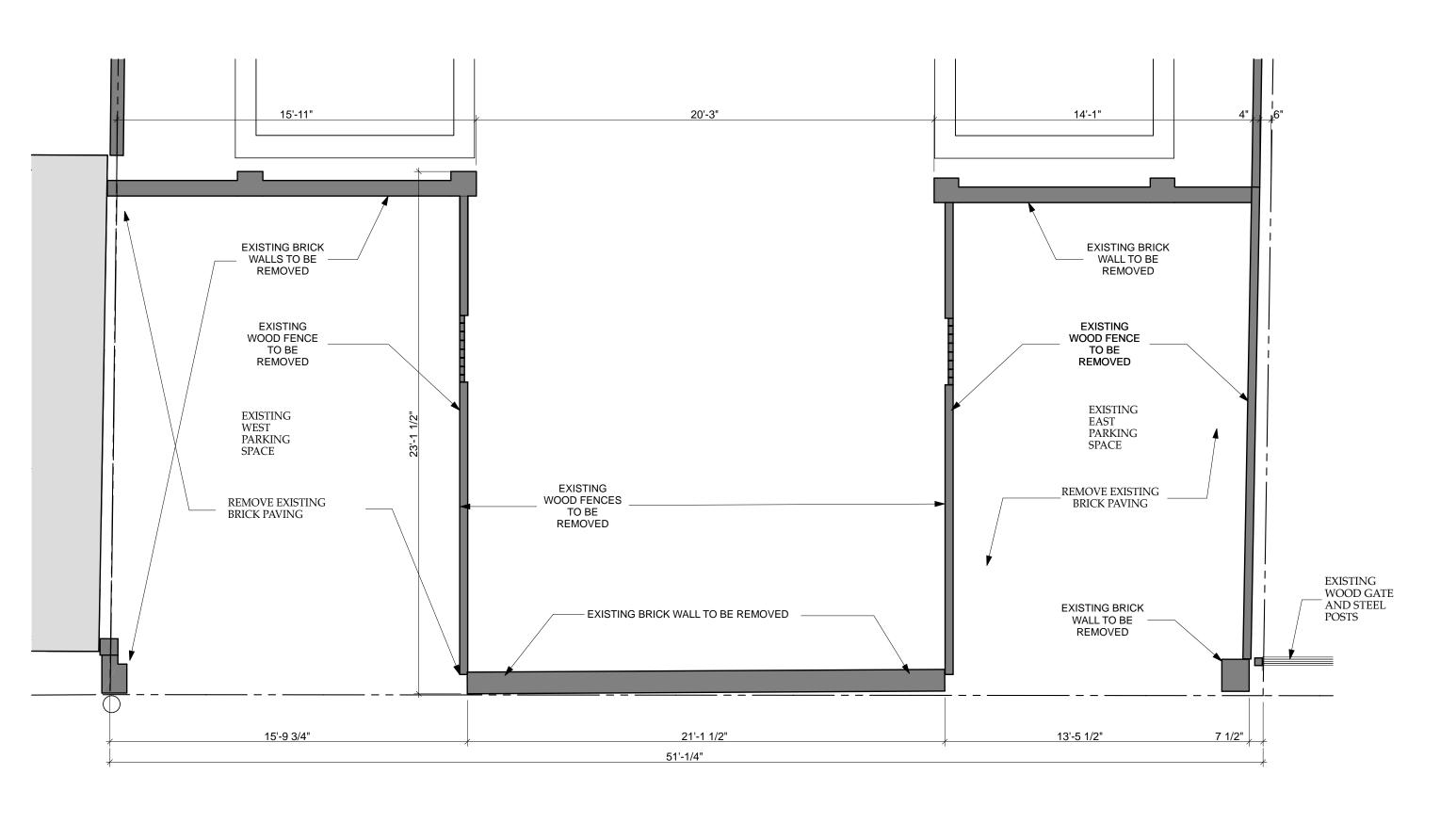
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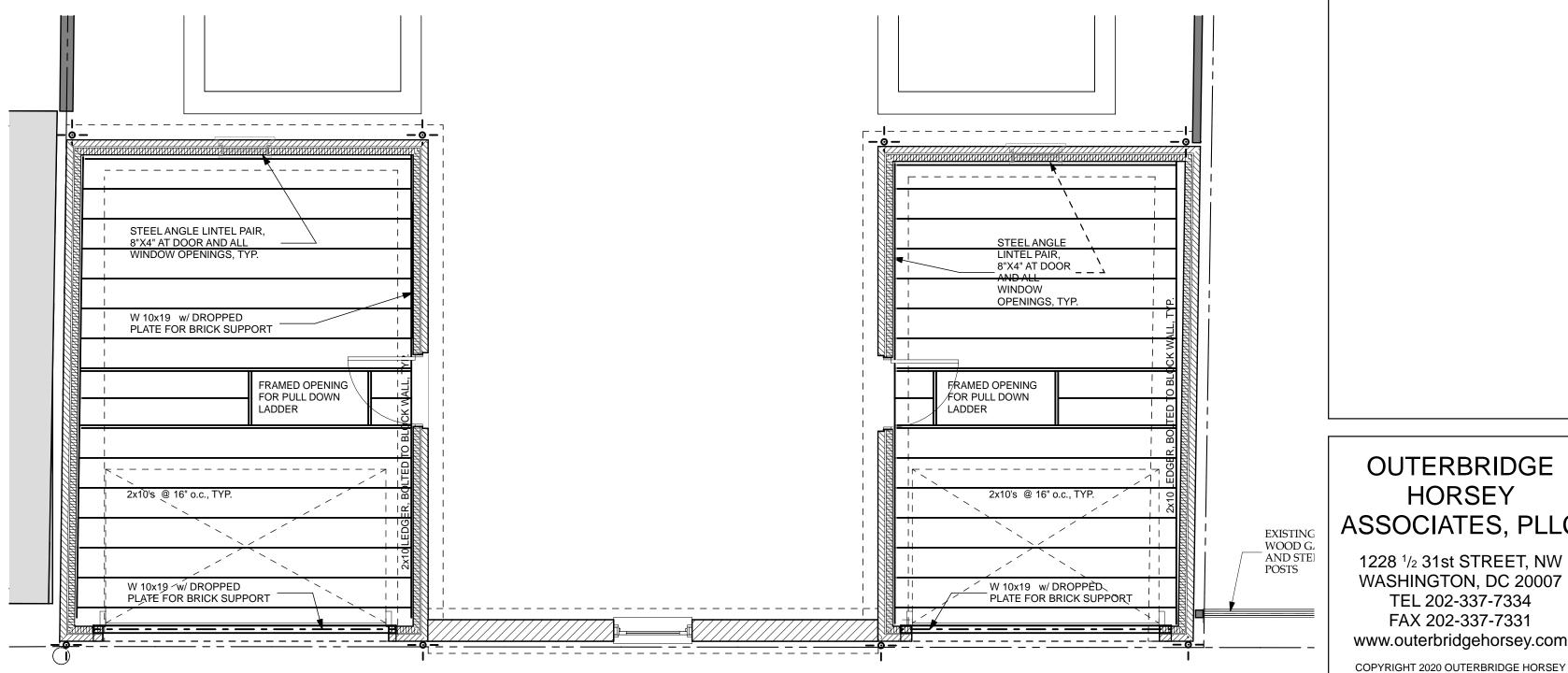
SHEET NO.

A100

2 SITE PLAN PROPOSED

SCALE: 1/8" = 1'-0"





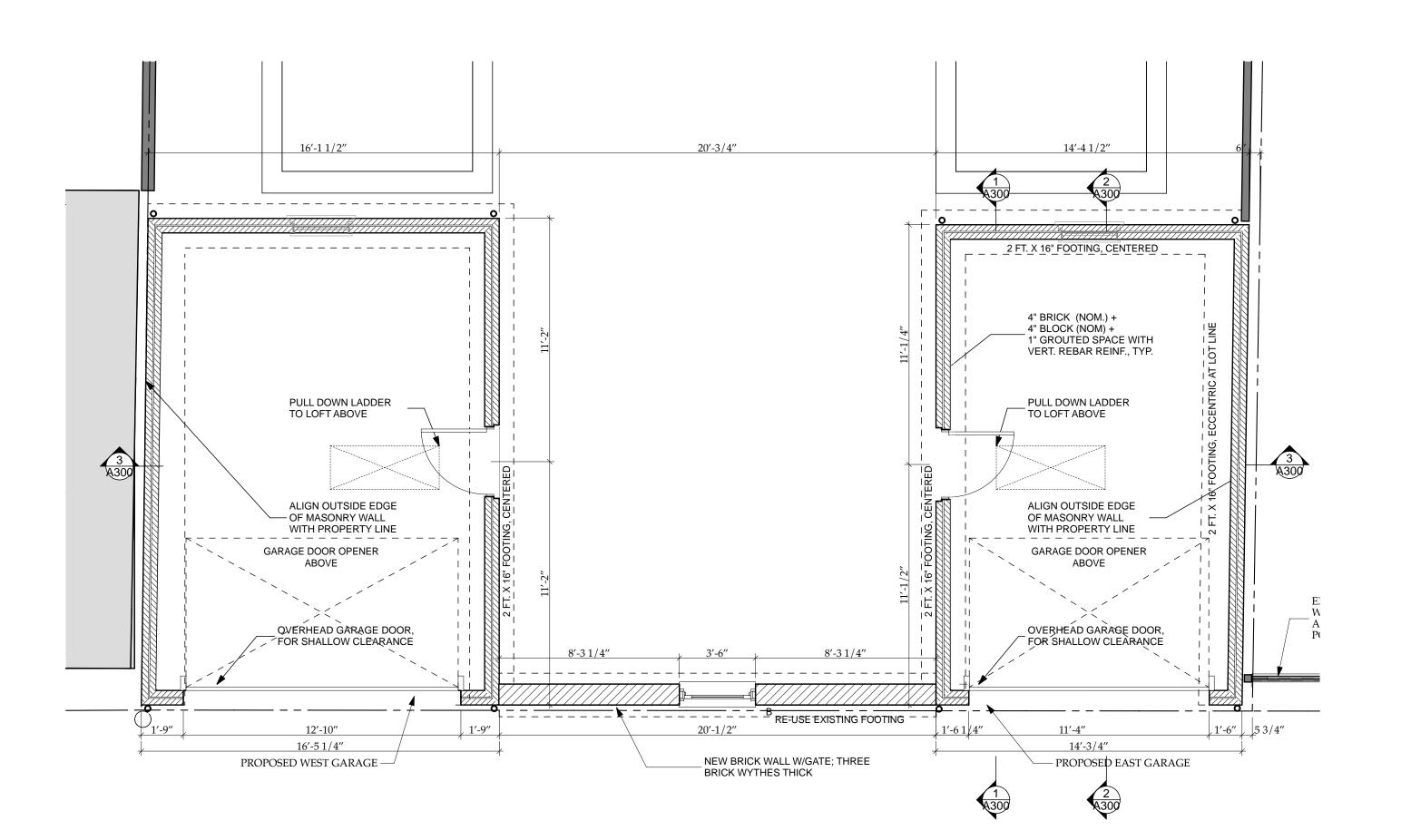
OUTERBRIDGE HORSEY ASSOCIATES, PLLC

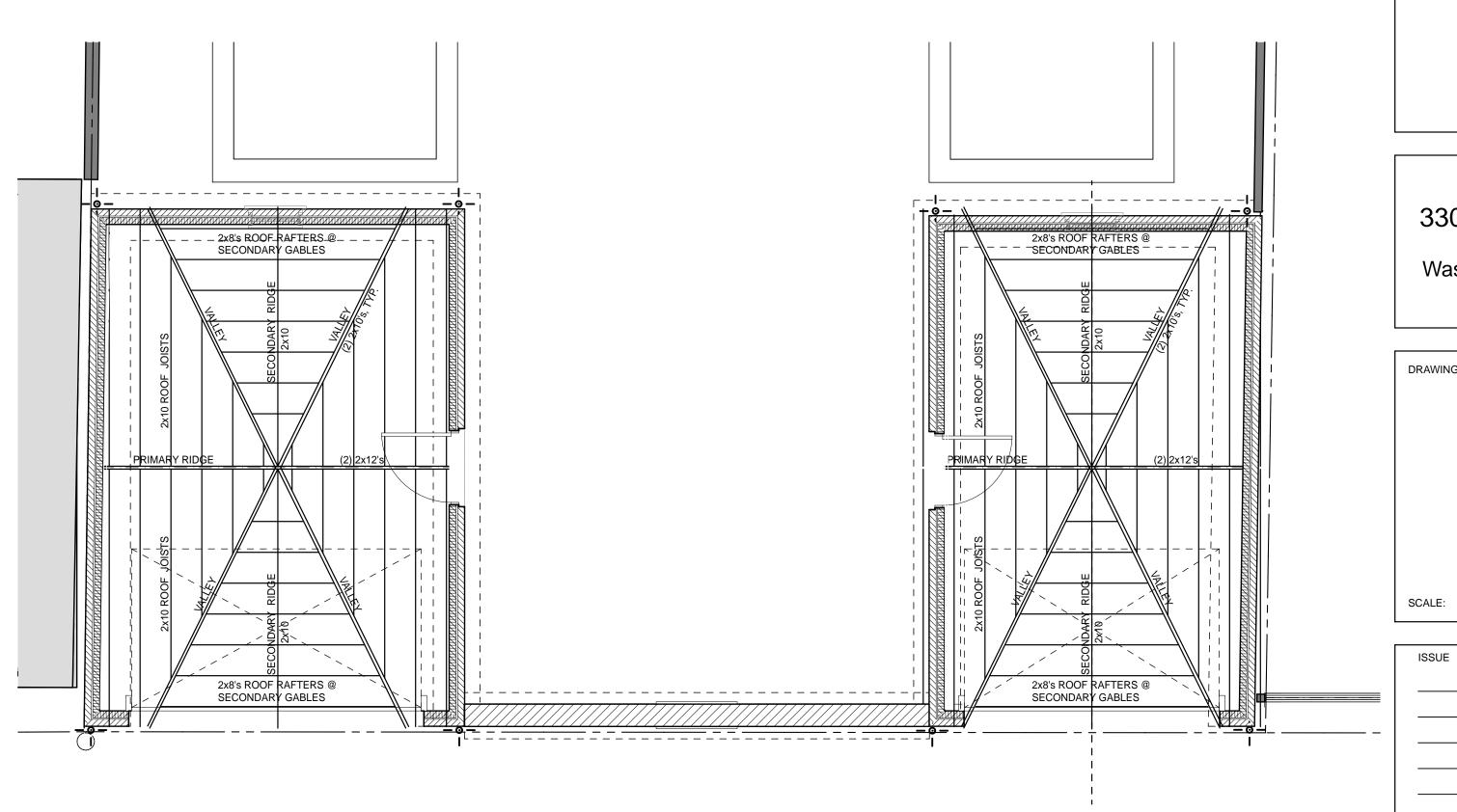
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CONSULTANTS:

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"





3306 O Street, NW Washington, DC 20007

DRAWING TITLE:

**PLANS** 

DATE

SCALE: AS NOTED

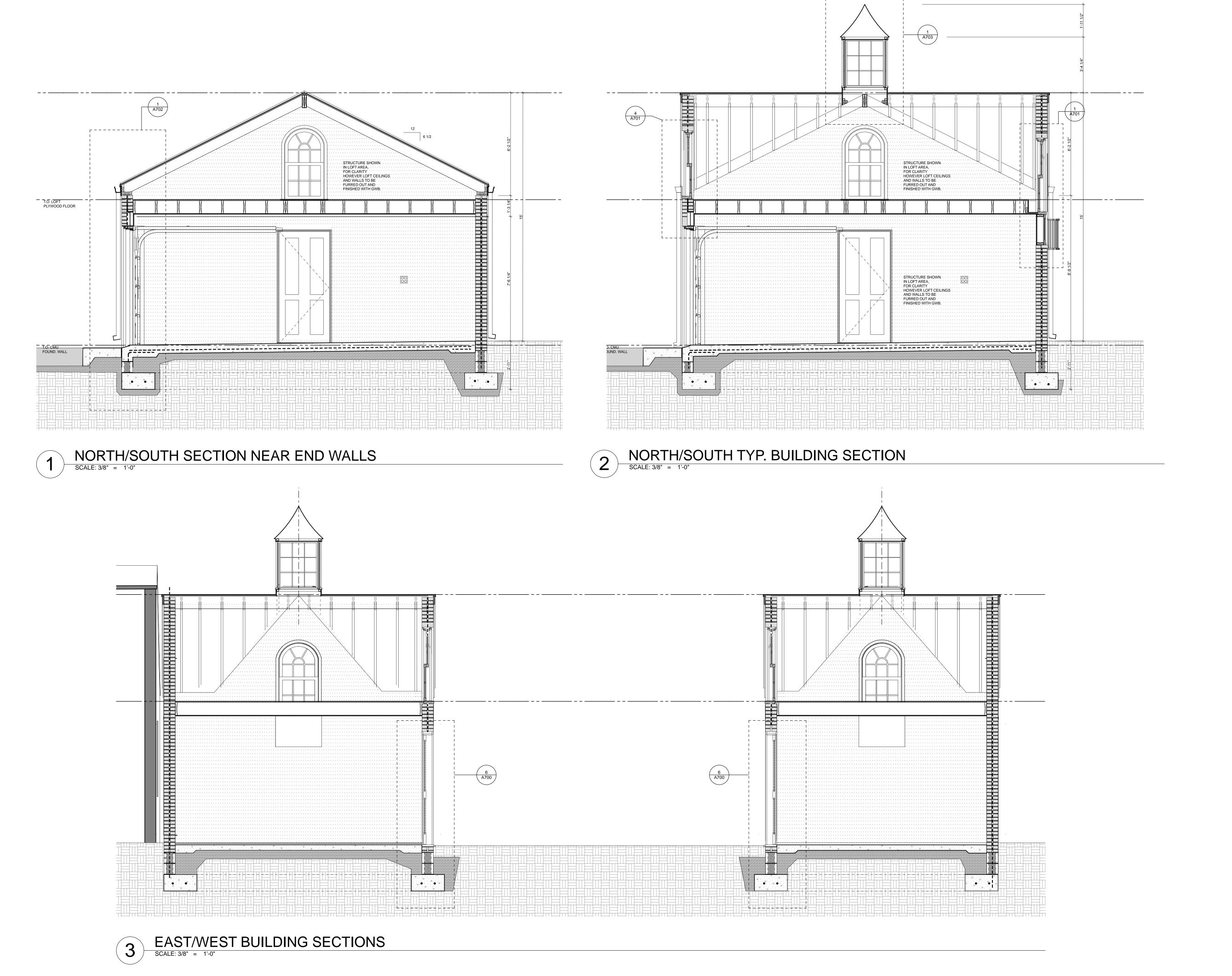
PRINT DATE

SHEET NO.

3 STORAGE LOFT FRAMING PLAN

SCALE: 1/4" = 1'-0"





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CONSULTANTS:

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Washington, DC 20007

DRAWING TITLE:

BUILDING SECTIONS

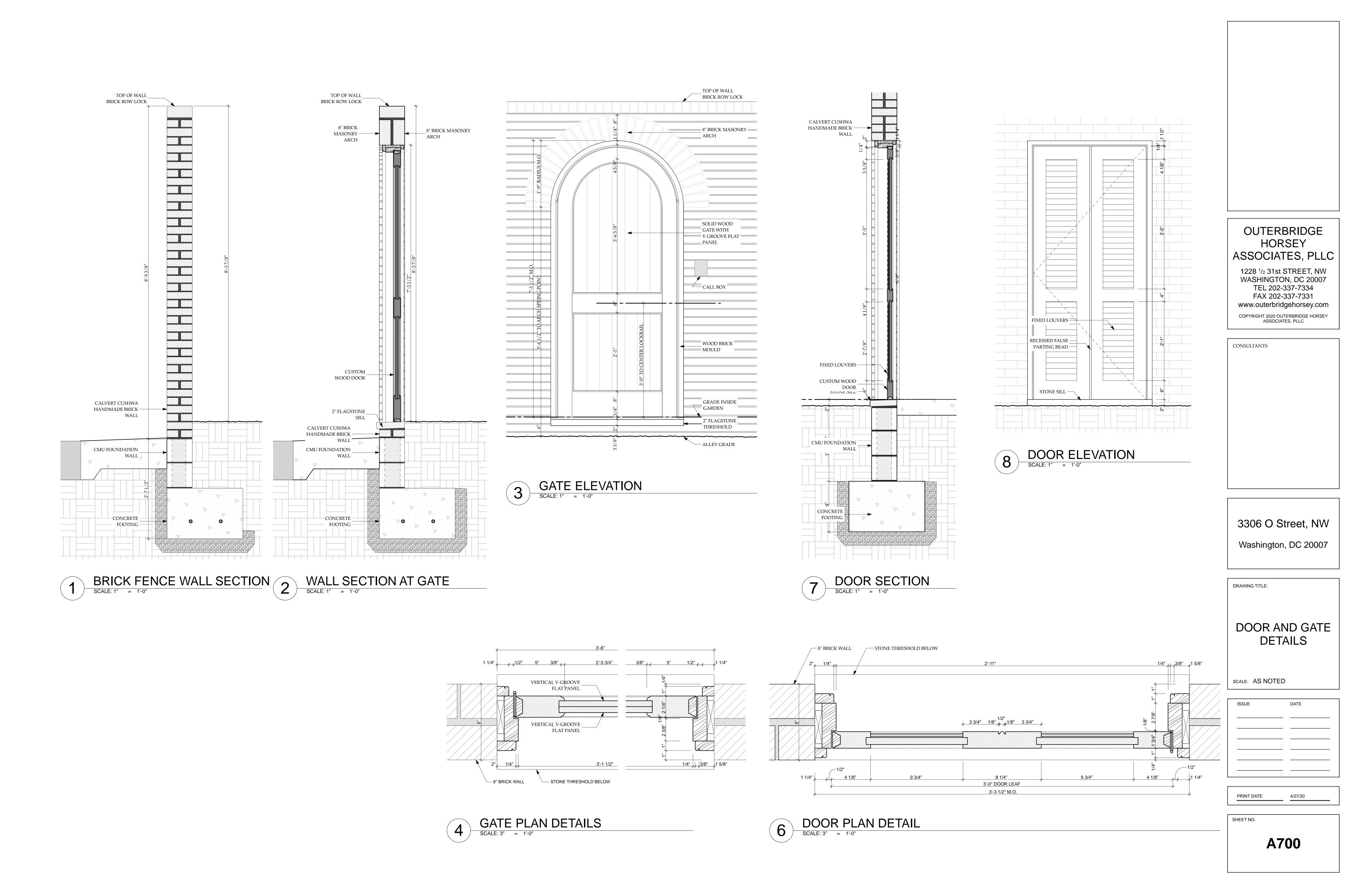
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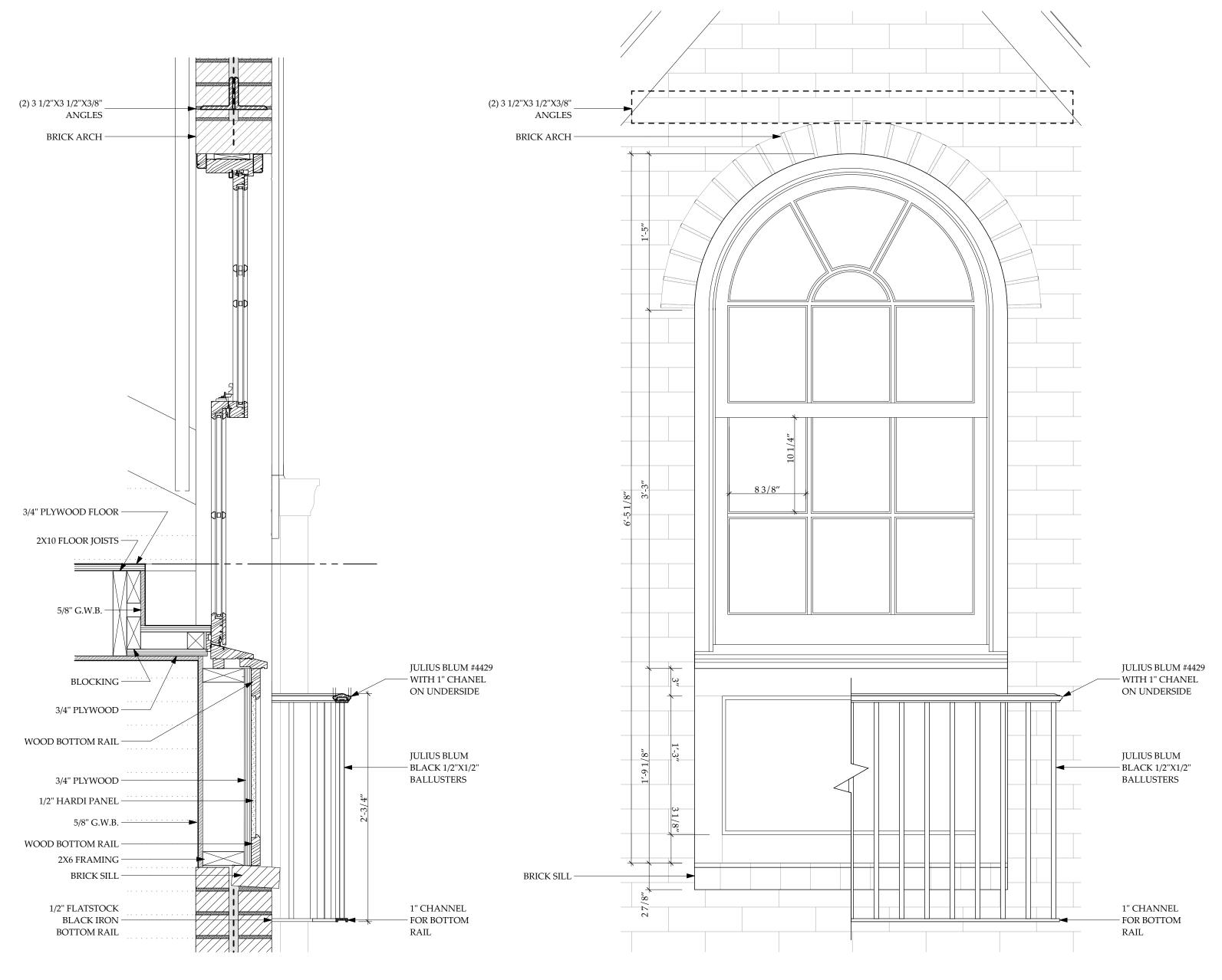
ISSUE	DATE
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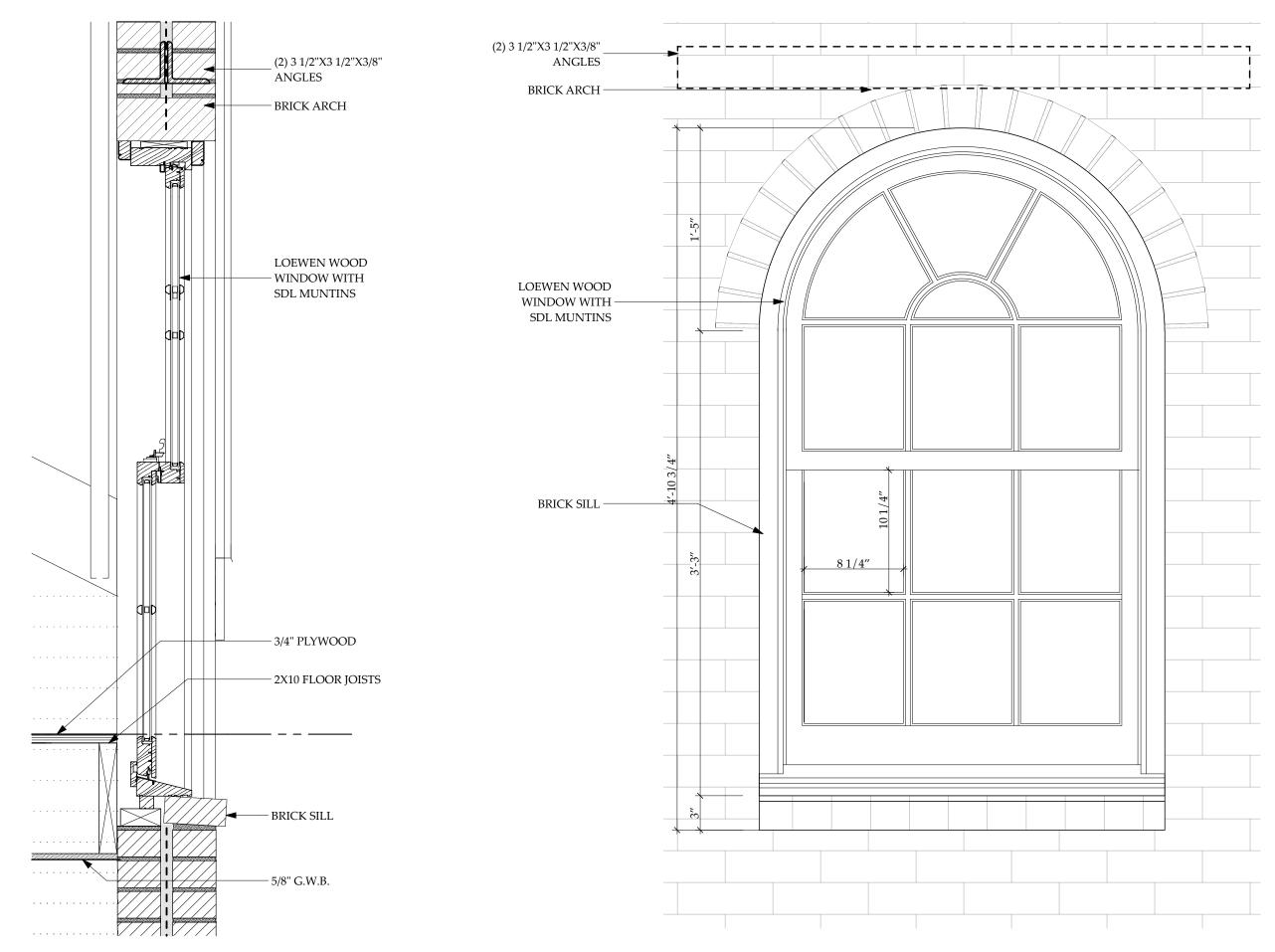
PRINT DATE 4/27/20

SHEET

A300

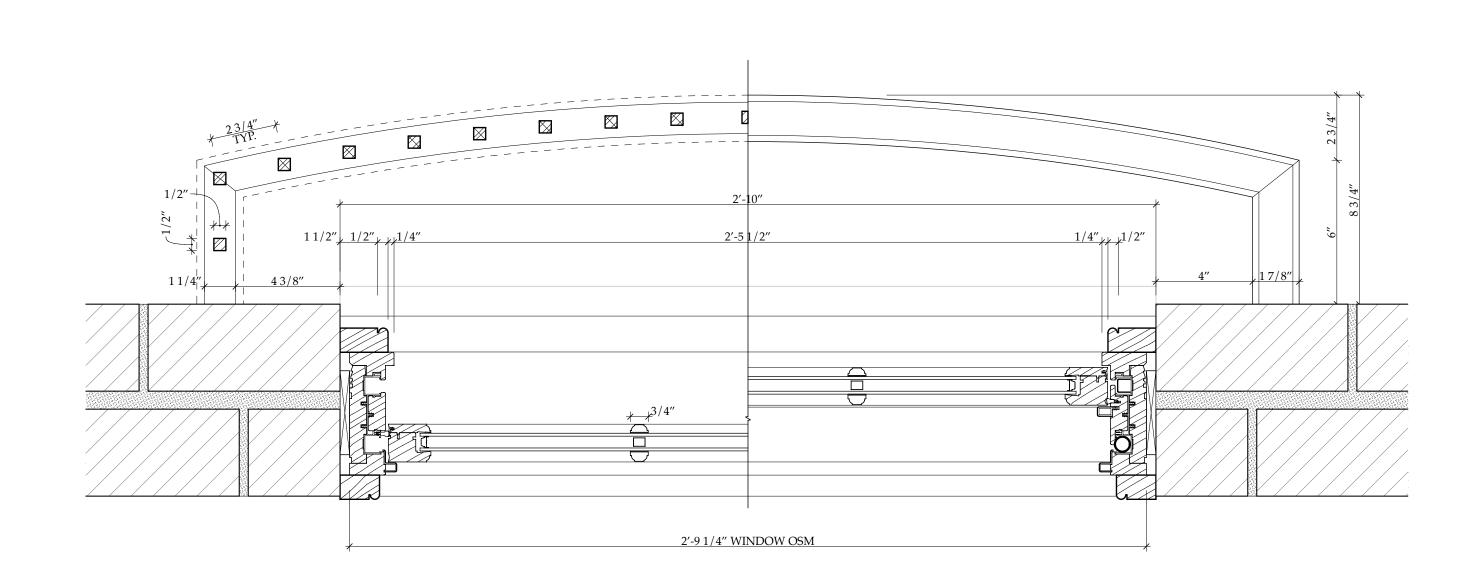






1 SECTION WINDOW WITH PANEL
SCALE: 1 1/2"= 1'-0"

2 ELEVATION OF WINDOW WITH PANEL
SCALE: 1 1/2"= 1'-0"



2:10°

11/2° 01/4° 2:51/2° 01/4° 01/2°

2:91/4° WINDOW OSM

TYP WINDOW SECTION

SCALE: 1 1/2"= 1'-0"

TYP. WINDOW ELEVATION

SCALE: 1 1/2"= 1'-0"

6 PLAN DETAIL OF TYPICAL WINDOW

SCALE: 3" = 1'-0"

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DRAWING TITLE:

WINDOW DETAILS

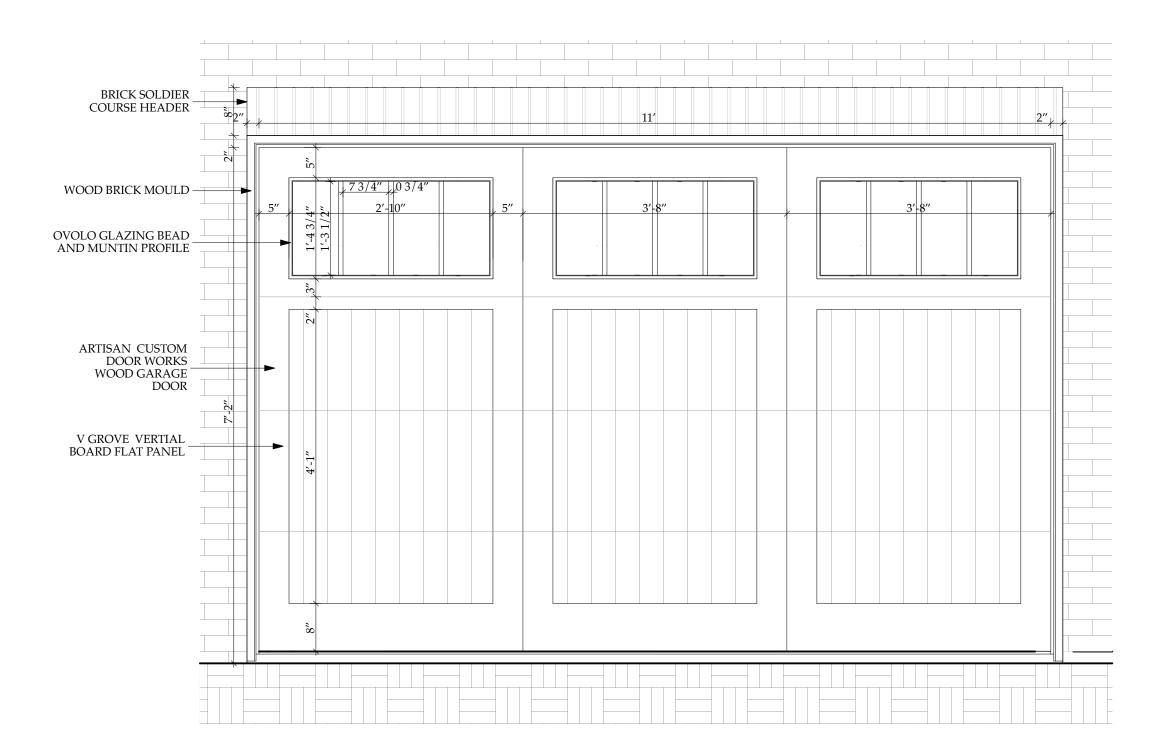
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ISSUE DATE

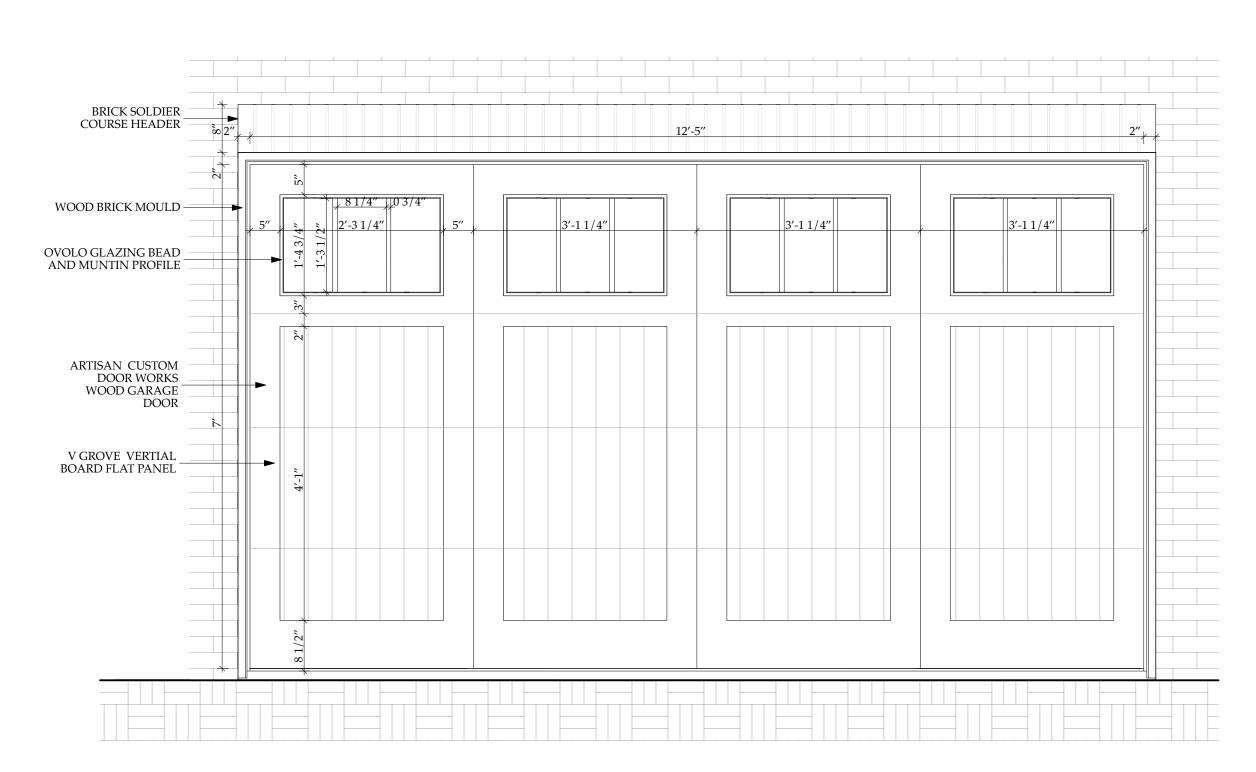
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SHEET NO.

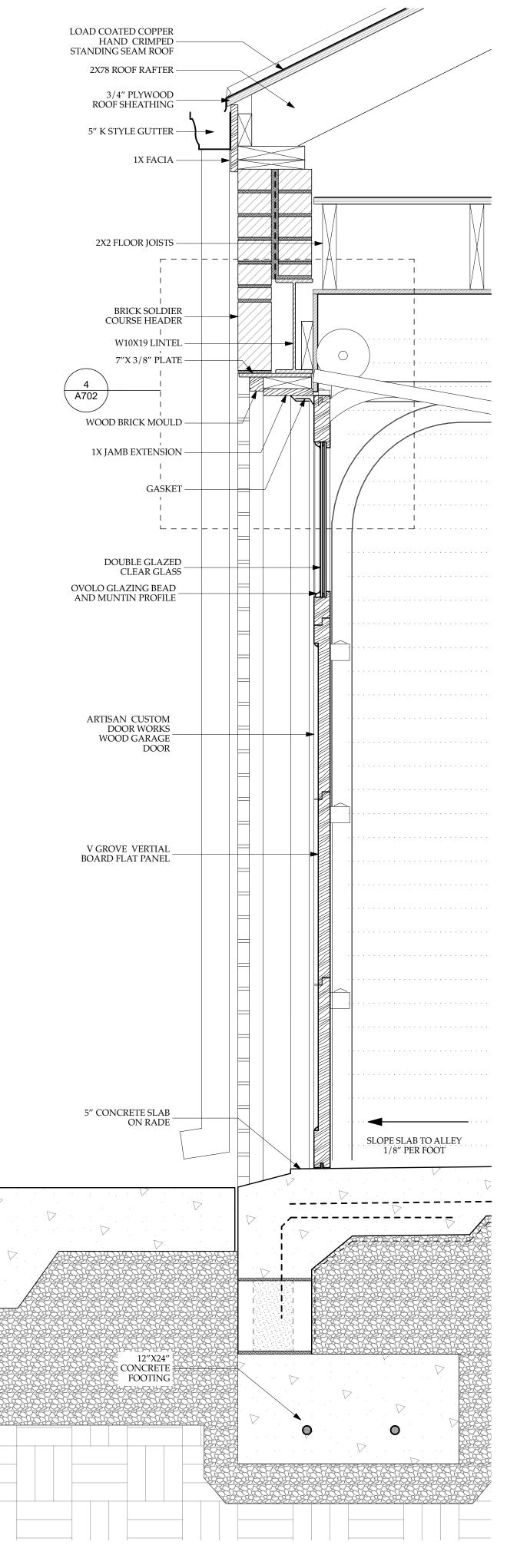
A701

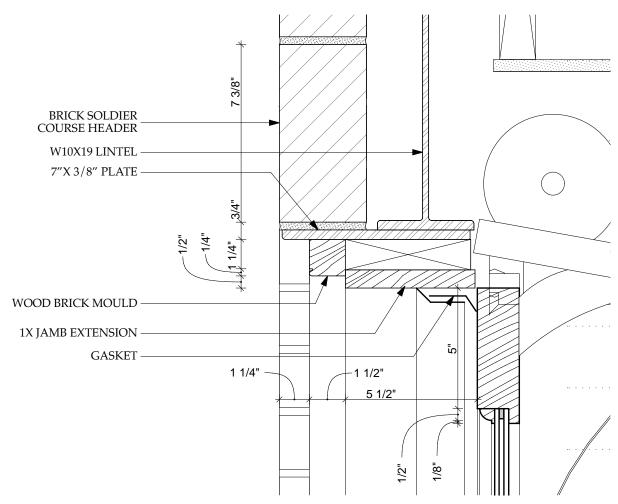


# 1 ENLARGED ELEVATION OVERHEAD DOOR EAST GARAGE DOOR SCALE: 3/4" = 1'-0"



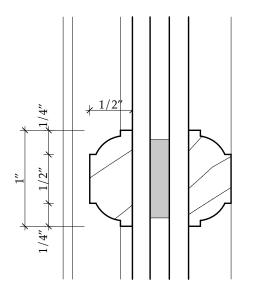






PROPOSED FIRST FLOOR - OPTION A

SCALE: 3" = 1'-0"



5 OVERHEAD DOOR MUNTIN

SCALE: 1' = 1'-0"



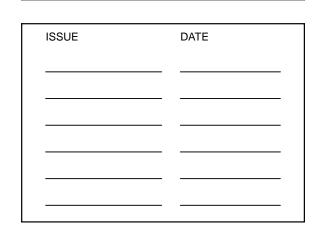
CONSULTANTS:

3306 O Street, NW Washington, DC 20007

DRAWING TITLE:

GARAGE DOOR DETAILS

SCALE: AS NOTED



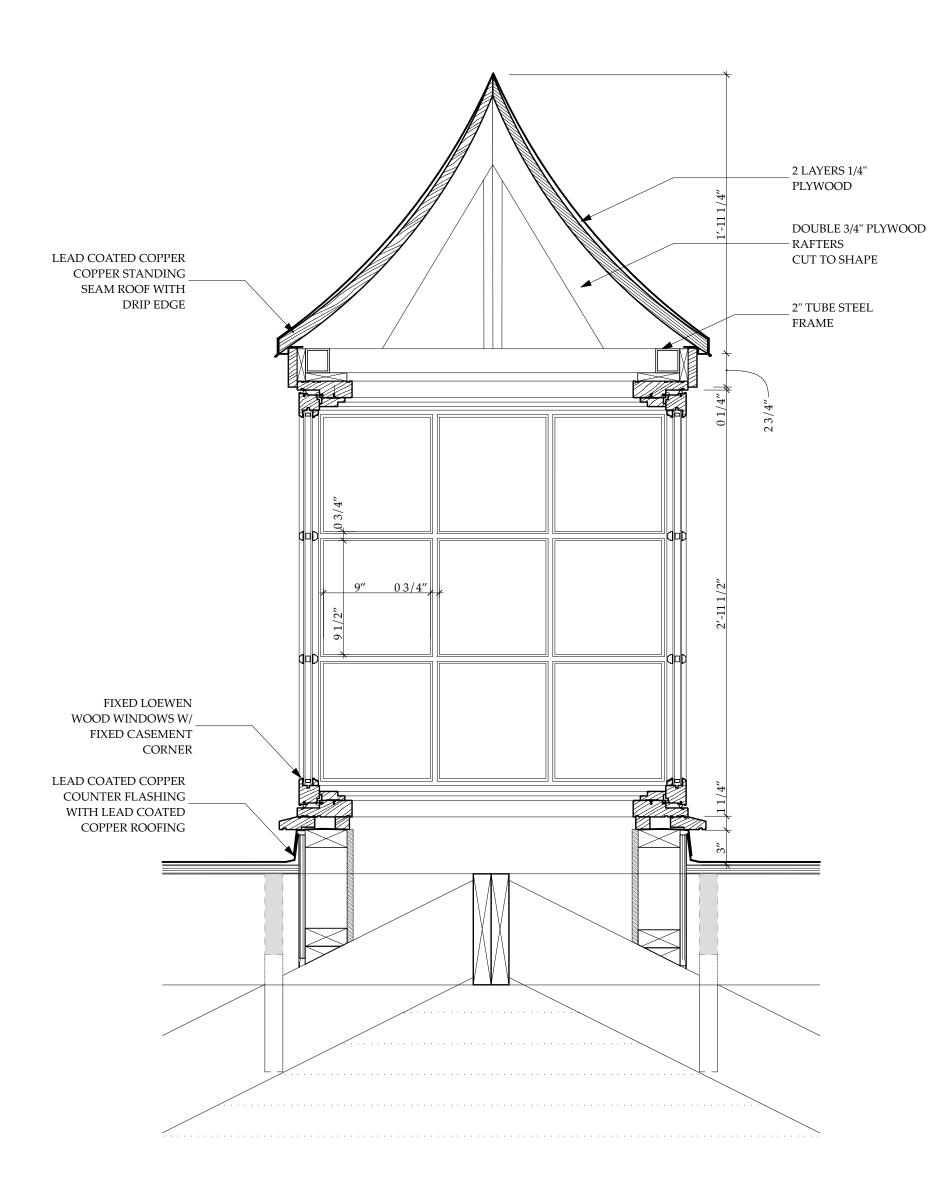
PRINT DATE 4/27/20

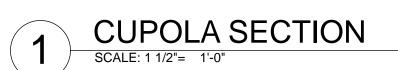
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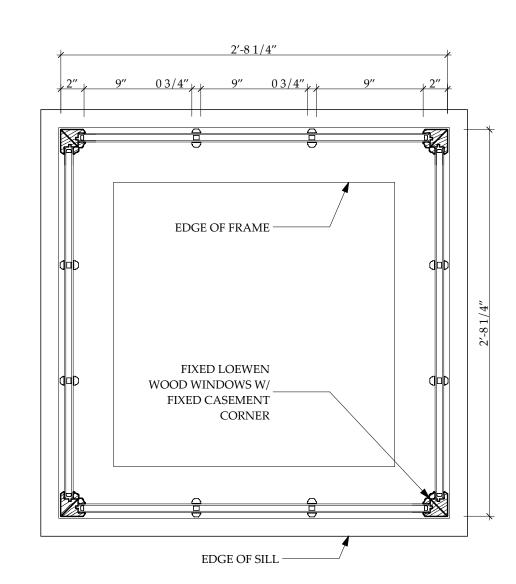
A702

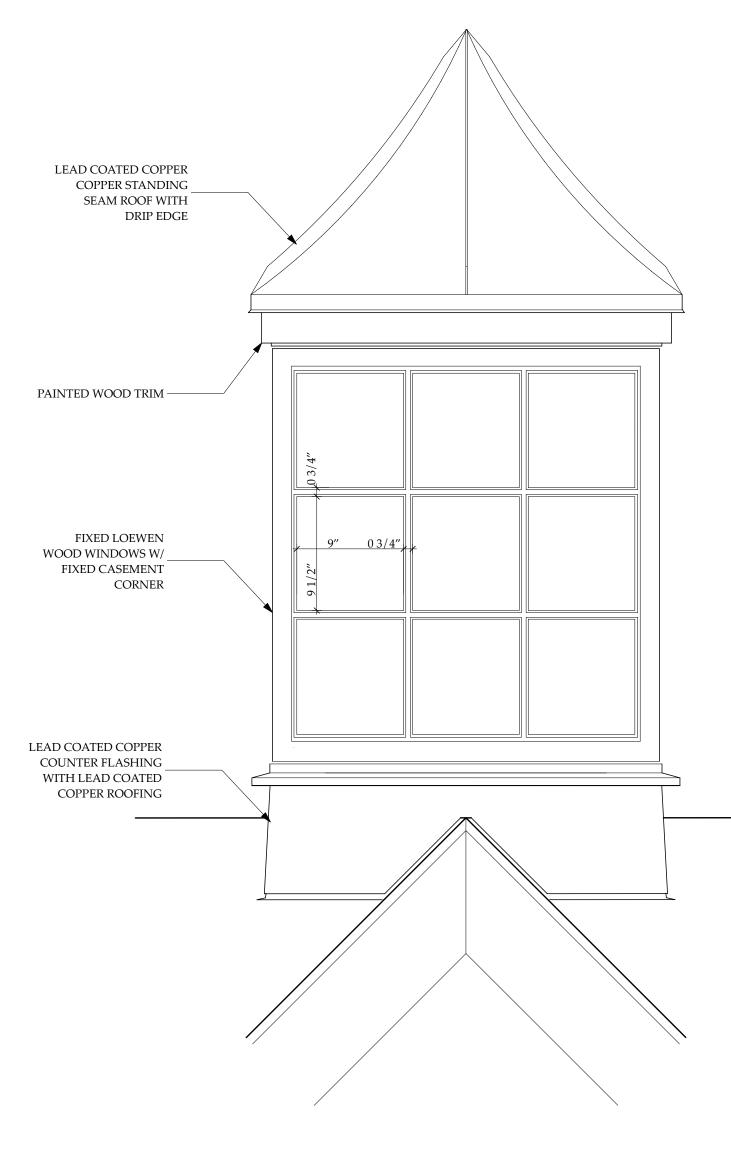
3 S

SECTION AT GARAGE DOOR

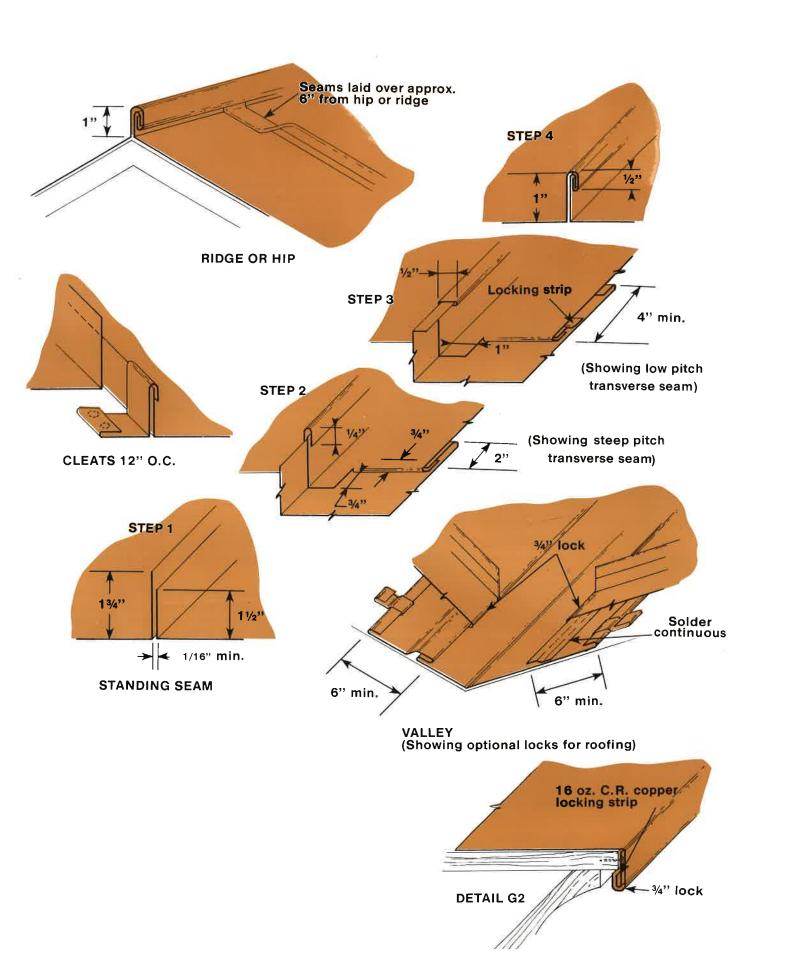




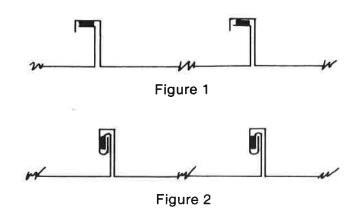




**CUPOLOA ELEVATION** 



Special conditions When desirable to use a standing seam on roof slopes less than 3" per ft., a high grade butyl sealing tape or, alternately, a bead of comparable sealant can be applied to the top flange of the shorter leg (Figure 1). The standing seam is then closed and finished in the usual manner (Figure 2).



The low pitch transverse seam detail should be used and a bead of sealant should be applied in the lock formed by the soldered locking strip. The 34" fold on the lower end of the upper pan should hook into the locking strip of the underlying pan. The completed seam should be dressed down to a thickness of not less than 1/4" and a continuous bead of sealant should be visible the full width of the pan. The lap of the vertical portion or upstanding legs of the pans should also be set in sealant.

Machine formed pans Standing seam pans may be made with power panformers, using either flat sheet or coiled sheet with this equipment. Available power panformers are adjustable to provide seam spacing from 6" to 241/2" apart. Long rafter-length pans can be made from coiled sheet, eliminating the need for transverse

Power seamers are also available providing fullfinished, 1" high, double-locked standing seams See Section 12 for further details. Roofs over 30 feet

For standing seam roofs that exceed 30' up to 45', expansion cleats should be used. Several kinds of expansion type cleats are illustrated in Basic Standard Practices, page 14. Fixed cleats should be installed at the midpoint of the roof and for a distance of 3' to 6' in both directions. The balance of the cleats toward both extremities should be expansion type.

On hips and ridges the same type of standing seam should be formed, as on the roof run (see Detail, page 19). Each roof standing seam is laid flat 6" from the upper edge of the pans where it meets the ridge or hip.

Pans on opposite sides of the ridge or hip are turned up 11/2" and 13/4" to form a standing seam in the usual manner. To achieve continuity of seams at ridge and hips, the seams from different roofs must be notched before laying over to reduce the number of thicknesses of copper.

Eaves

At eaves, the end of each pan is hooked over a previously placed edge strip and secured with a minimum 3/4" loose lock. The edge strip may be formed as shown in Supplementary Roofing Details, Section 3F, or may take another required form. The ends of the standing seams at the eaves may be cut and folded back or turned down and locked to the edge strip. Connections to gutters are shown in Supplementary Roofing Details, Section 3F.

Gable rakes

At gables the standing seam is formed by turning up the edge of the last pan 11/2" flush with the edge of the roof. The separate rake strip locks 3/4" at its lower edge over a previously placed edge strip. This rake is secured to the roof pan at its upper edge with the standing seam lock (Detail G1). The adjacent lengths of rake strip are lapped at least 3" in the direction of flow.

An alternate method of finishing the copper roofing at the gable omits the standing seam at the end. In this method the outer edge of the roof pan turns down the gable end and locks over a previously placed strip (Detail G2).

The sides of each valley sheet are folded ½" for cleating. Into these folded edges copper cleats 2" wide are applied and spaced not more than 18"

The upper edge of each valley sheet is nailed or otherwise secured to the roof deck. The lower edge of the upper valley sheet is lapped over the lower sheet not less than 6" (see Valley Flashing Section 4F). This lap should not be soldered. At a distance of 6" from the side edge a continuous locking strip should be soldered to the valley sheet. Alternately, at the same distance in from the side edge, a double fold may be formed in the valley sheet (Valley Detail). Over this strip, or into the fold, the lower edge of each roof pan is hooked and dressed down. Either method of side edge construction prevents water from forcing its way past the opposite side of the valley flashing. Where the ends of the standing seam hook into the fold formed in the valley sheet or into the separately applied locking strip, these ends are turned down in the direction of flow, or they may be cut and folded

Where roofs are of different slopes or of unequal surface area, a 1" high inverted "V" member may be incorporated in the center of the valley, as shown under Valley Flashing Section 4F.

OUTERBRIDGE HORSEY ASSOCIATES, PLLC 1228 <sup>1</sup>/<sub>2</sub> 31st STREET, NW WASHINGTON, DC 20007 TEL 202-337-7334 FAX 202-337-7331

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Washington, DC 20007

DRAWING TITLE:

CUPOLA AND ROOF **DETAILS** 

SCALE: AS NOTED

ISSUE	DATE
	· -
	<del></del>

PRINT DATE 4/27/20

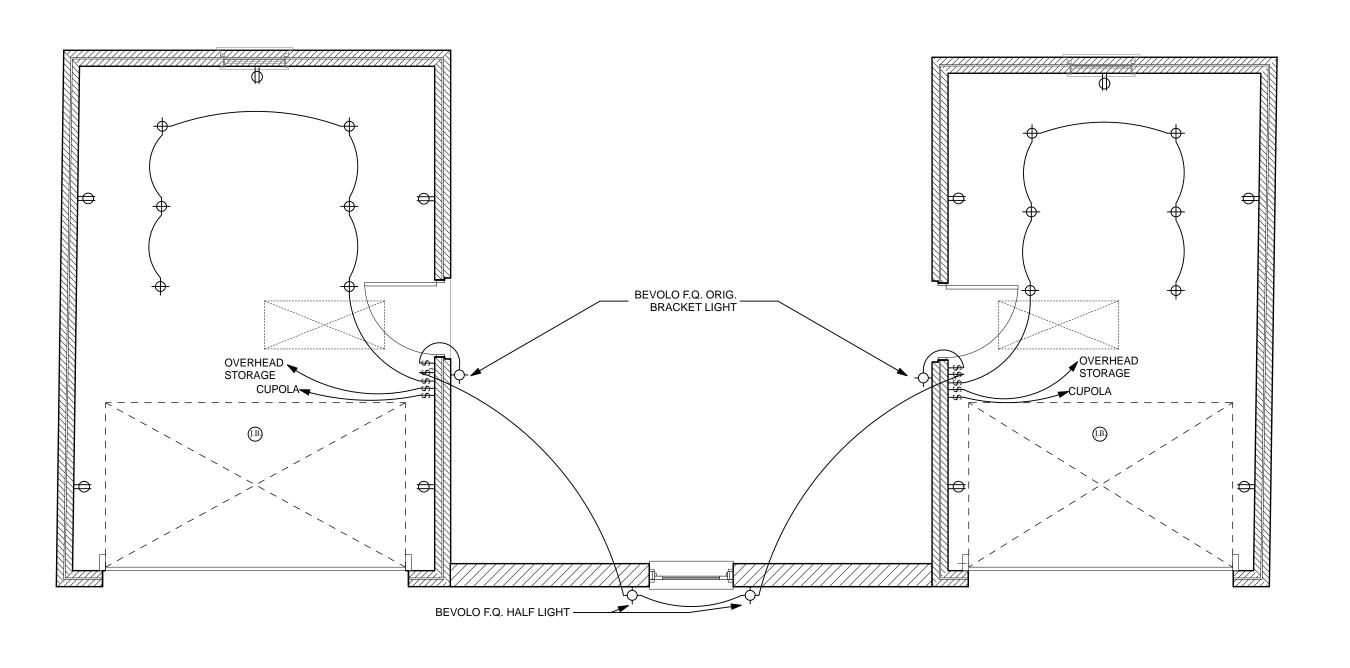
SHEET NO.

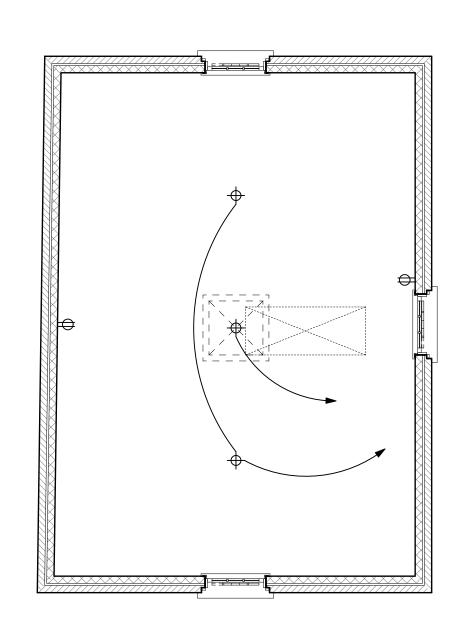
A703

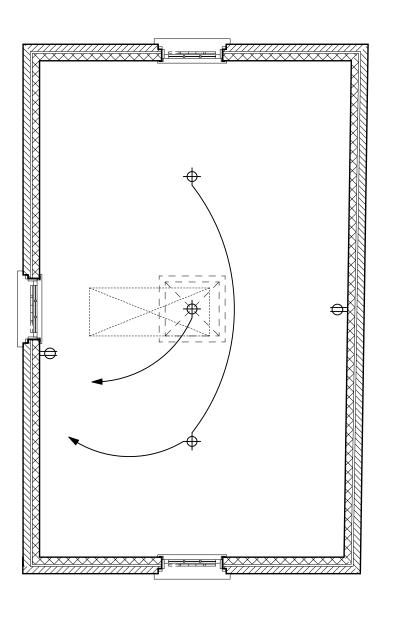


4 STANDING SEAM SPECS AND DETAILS

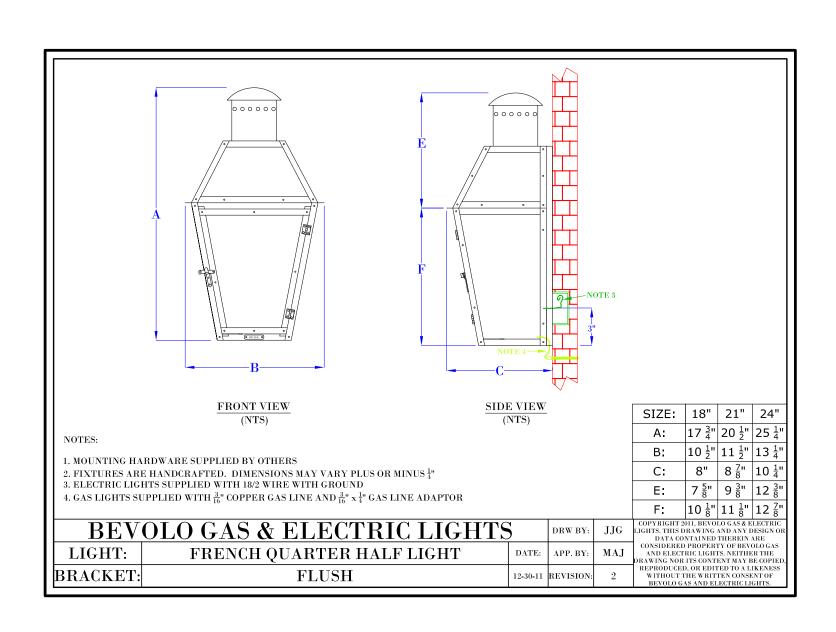
SCALE: 1' = 1'-0"





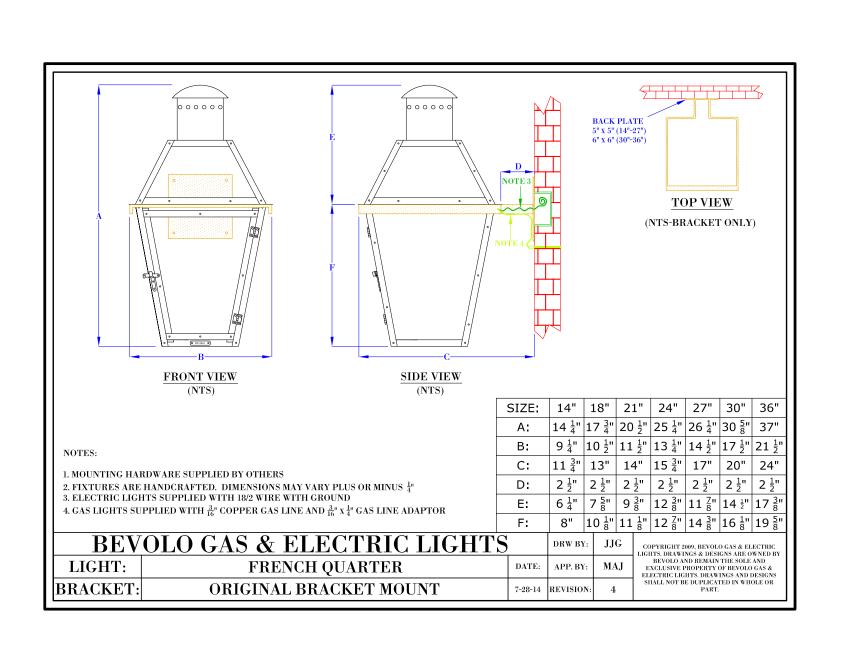


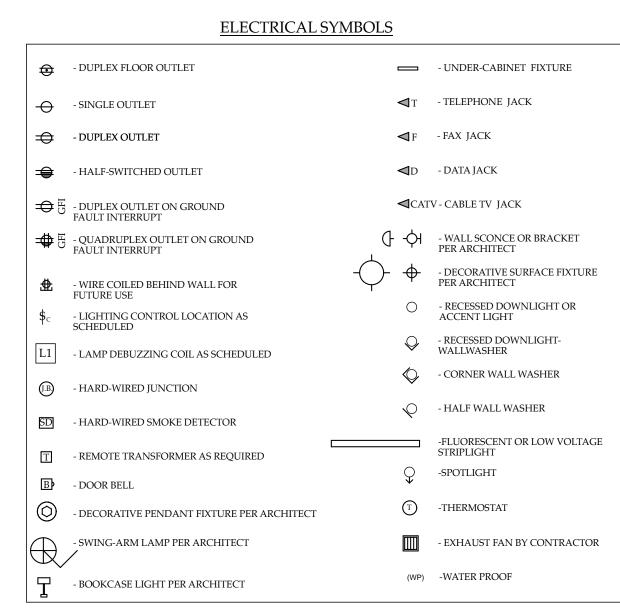
ELECTRICAL PLANS - 2ND FLOOR



ELECTRICAL PLANS - FIRST FLOOR

SCALE: 1/4" = 1'-0"





LIGHTING CONTROL SCHEDULE

\$ SINGLE POLE DECORA-STYLE SWITCH

\$ 3-WAY SWITCH

\$ 4-WAY SWITCH

\$ A DV-600P-\* SINGLE POLE, 600W INCANDESCENT

\$ B DV-603P-\* 3-WAY, 600W INCANDESCENT

\$ C DV-103P-\* 3-WAY, 1000W INCANDESCENT

\$ D DVLV-10P-\* SINGLE 800W LOW VOLTAGE

L1 LDC-1.7-TCP LAMP DEBUZZING

L2 LDC-3.3-TCP

\* COLOR TO BE SELECTED BY ARCHITECT CATALOG NUMBERS ARE FOR LUTRON

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CONSULTANTS:

3306 O Street, NW Washington, DC 20007

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ELECTRICAL PLANS

SCALE: AS NOTED

PRINT DATE 4/27/20

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SHEET NO.

**MEP100** 

\_\_\_\_

EXTERIOR SCONCES @ GARAGE ENTRY
SCALE: 1:1.38



