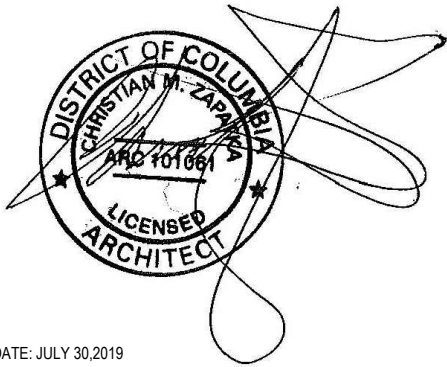




1 FRONT VIEW

SCOPE OF WORK:

- 1) NEW CURVED TOP DORMERS ON SOUTH ELEVATION
- 2) NEW SINGLE 3' MULTI-LITE FRONT DOOR
- 3) NEW SHED DORMER ON NORTH ELEVATION
- 4) REPLACE REAR SECOND FLOOR WINDOWS WITH CASEMENT WINDOWS IN SAME MASONRY OPENING
- 5) NEW SKYLIGHT IN OUTDOOR ATRIUM
- 6) EXTEND PORTIONS OF ATRIUM WALLS UPWARDS TO SERVE NEW THIRD FLOOR
- 7) INTERIOR RENOVATION
- 8) INSTALL NEW RAIN CANOPY OVER FRONT DOOR



DATE: JULY 30, 2019

Architect Attestation Statement

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PROJECT DESIGNED TO THE FOLLOWING CODES:

DISTRICT OF COLUMBIA CONSTRUCTION CODES SUPPLEMENT OF 2013
2012 IRC - INTERNATIONAL RESIDENTIAL CODE, AMENDED BY RESIDENTIAL CODE SUPPLEMENT OF 2013
2010 NFPA 13D - SPRINKLER SYSTEMS IN ONE AND TWO FAMILY DWELLINGS
2012 INTERNATIONAL ENERGY CONSERVATION CODE, AMENDED BY ENERGY CONSERVATION CODE SUPPLEMENT OF 2013
ALL DRAWINGS TO COMPLY WITH IECC IN ACCORDANCE WITH BUILDING CODE SUPPLEMENT OF 2013
2011 National Electric Code (NEC)



2 BLOCK PLAN

INDEX

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0001 PHOTO SHEET

A000 EXISTING AND PROPOSED SITE PLANS
A100 EXISTING AND PROPOSED FIRST FLOOR PLANS
A101 EXISTING AND PROPOSED SECOND FLOOR PLANS
A102 EXISTING ATTIC AND PROPOSED THIRD FLOOR PLANS
A103 EXISTING AND PROPOSED BASEMENT PLANS
A104 EXISTING AND PROPOSED ROOF PLANS
A200 EXISTING AND PROPOSED SOUTH ELEVATIONS
A201 EXISTING AND PROPOSED NORTH ELEVATIONS
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A203 EXISTING AND PROPOSED OUTDOOR ATRIUM ELEVATIONS
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A400 PROPOSED FRONT DOOR PLAN, SECTION, AND ELEVATION
A401 PROPOSED FRONT DORMER PLAN, SECTION, AND ELEVATIONS
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S000 GENERAL NOTES & DRAWING INDEX
S001 GENERAL NOTES (CONT)
S002 GENERAL NOTES (CONT), SCHEDULES & ABBREVIATIONS
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S103 THIRD FLOOR FRAMING PLAN
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E001 ELECTRICAL FLOOR PLANS
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E003 ELECTRICAL PANEL SCHEDULE & RISER DIAGRAM

P000 PLUMBING COVER SHEET
P001 PLUMBING RISERS
P002 PLUMBING RISERS

CHRISTIAN ZAPATKA ARCHITECT, PLLC
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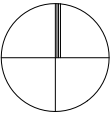
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PROJECT:

KASSUM RESIDENCE
3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT:0350

DRAWING TITLE:

COVER SHEET



SUBMISSION:

PERMIT

DATE: MAY 14, 2020

SCALE: NTS = 1'-0"

0000



1 SOUTH (FRONT) VIEW



2 NORTH (REAR) VIEW



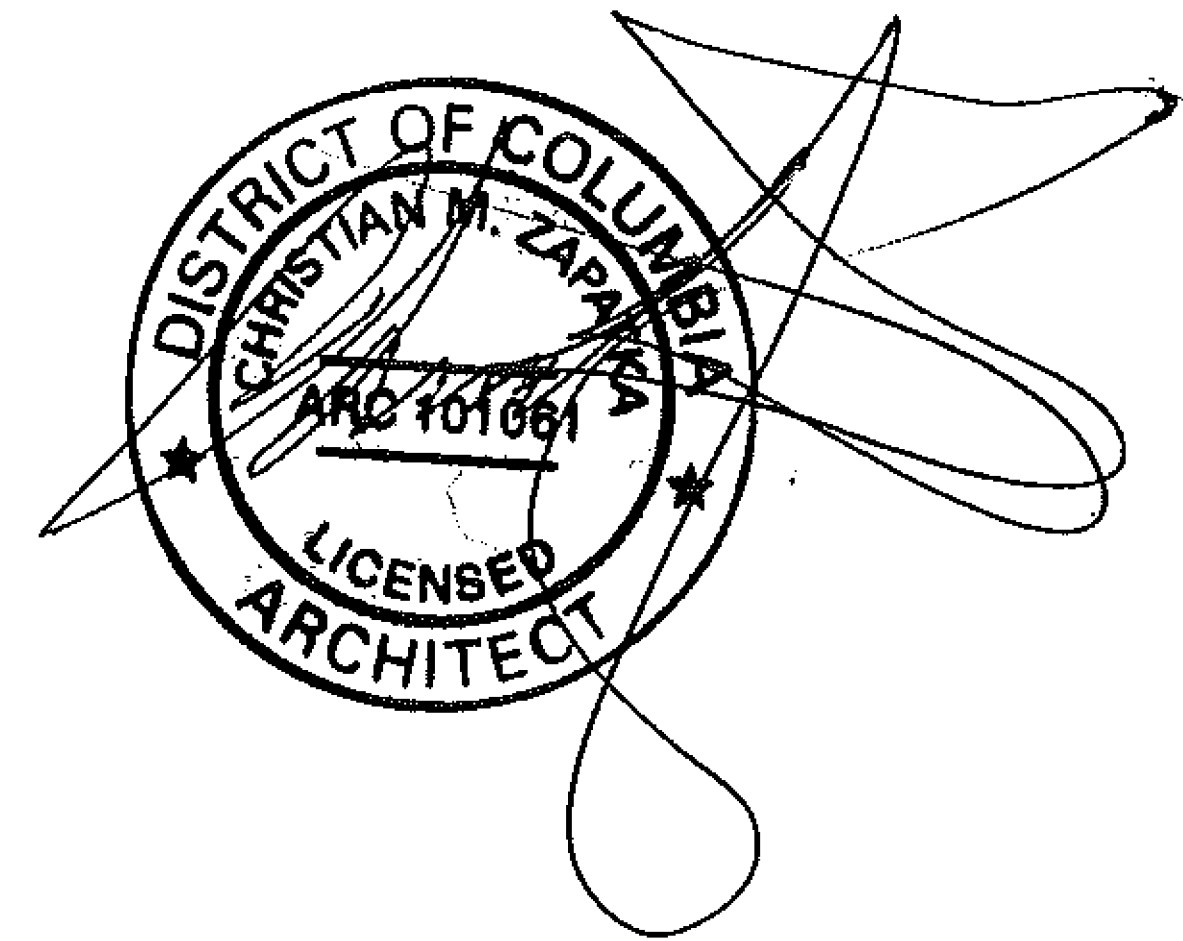
3 DORMERS OF NEIGHBORING HOUSES



4 DORMERS OF NEIGHBORING HOUSES



5 NEIGHBORING HOUSES



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PROJECT:

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RESIDENCE
3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

PHOTO SHEET

DRAWING TITLE:

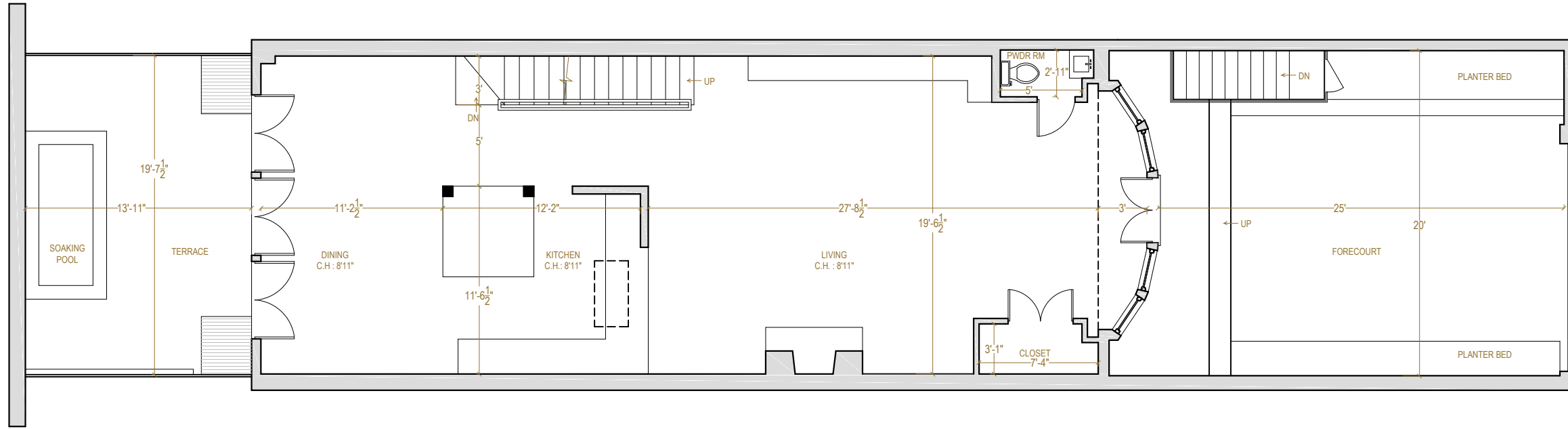
SUBMISSION:

PERMIT

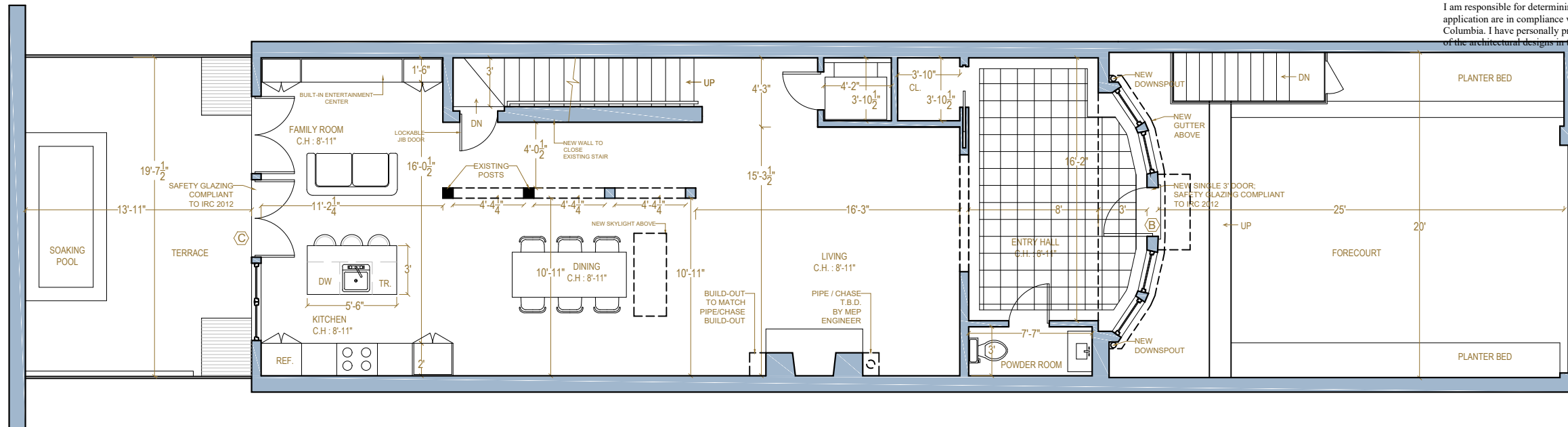
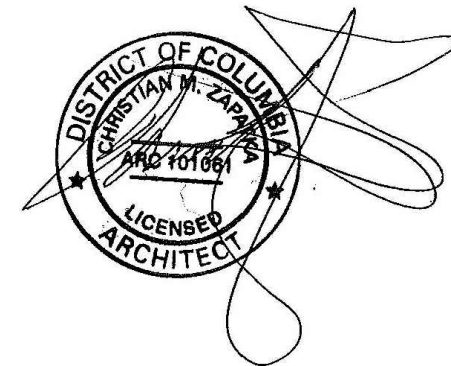
DATE: MAY 14, 2020

SCALE: NA = 1'-0"

0002



1 EXISTING



2 PROPOSED

DATE : JULY 30, 2019

Architect Attestation Statement

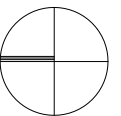
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WASHINGTON, DC 20007
SQ: 1269 LOT: 0350



DRAWING TITLE:

EXISTING AND
PROPOSED
SITE PLANS

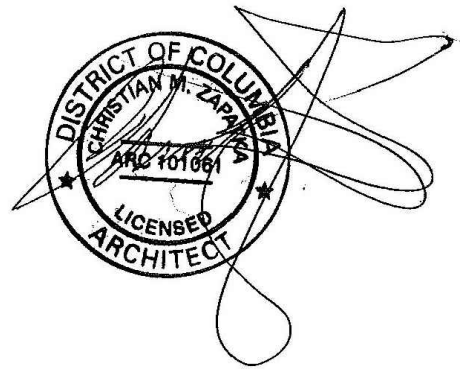
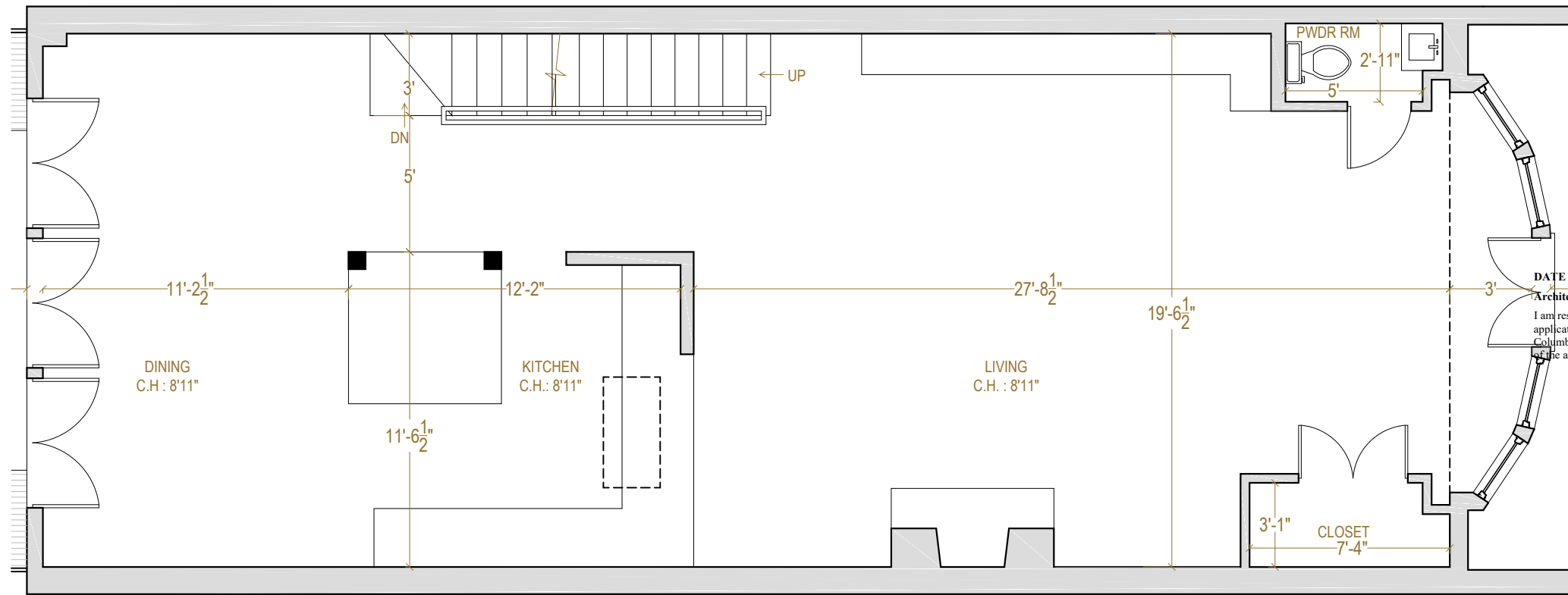
SUBMISSION:

PERMIT

DATE: MAY 14, 2020

SCALE: 1/8" = 1'-0"

A000

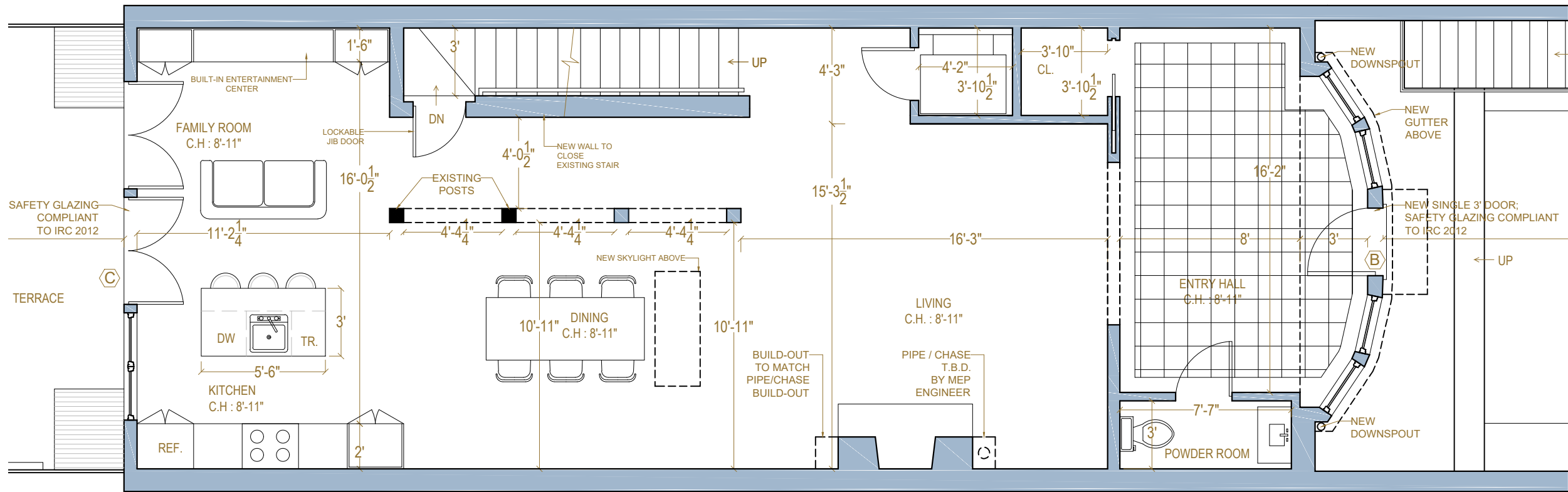


DATE : JULY 30, 2019

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1 EXISTING



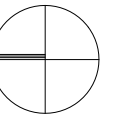
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PROJECT:

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WASHINGTON, DC 20007
SQ: 1269 LOT: 0350



DRAWING TITLE:

EXISTING AND
PROPOSED FIRST
FLOOR PLANS

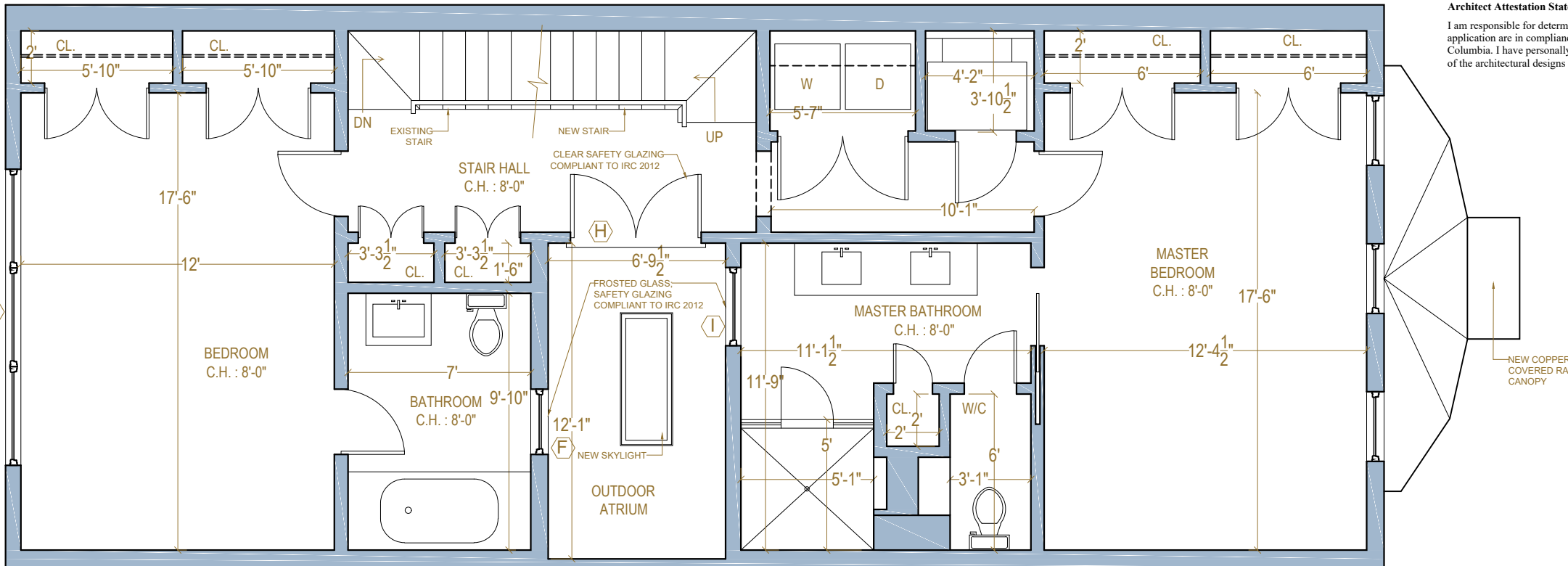
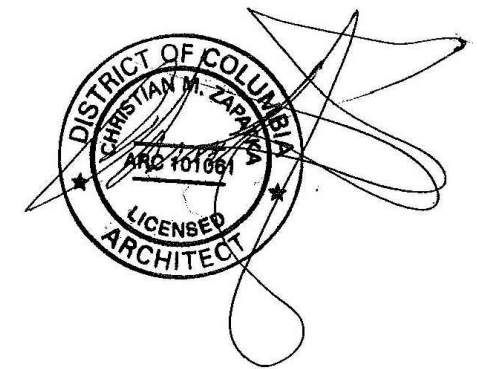
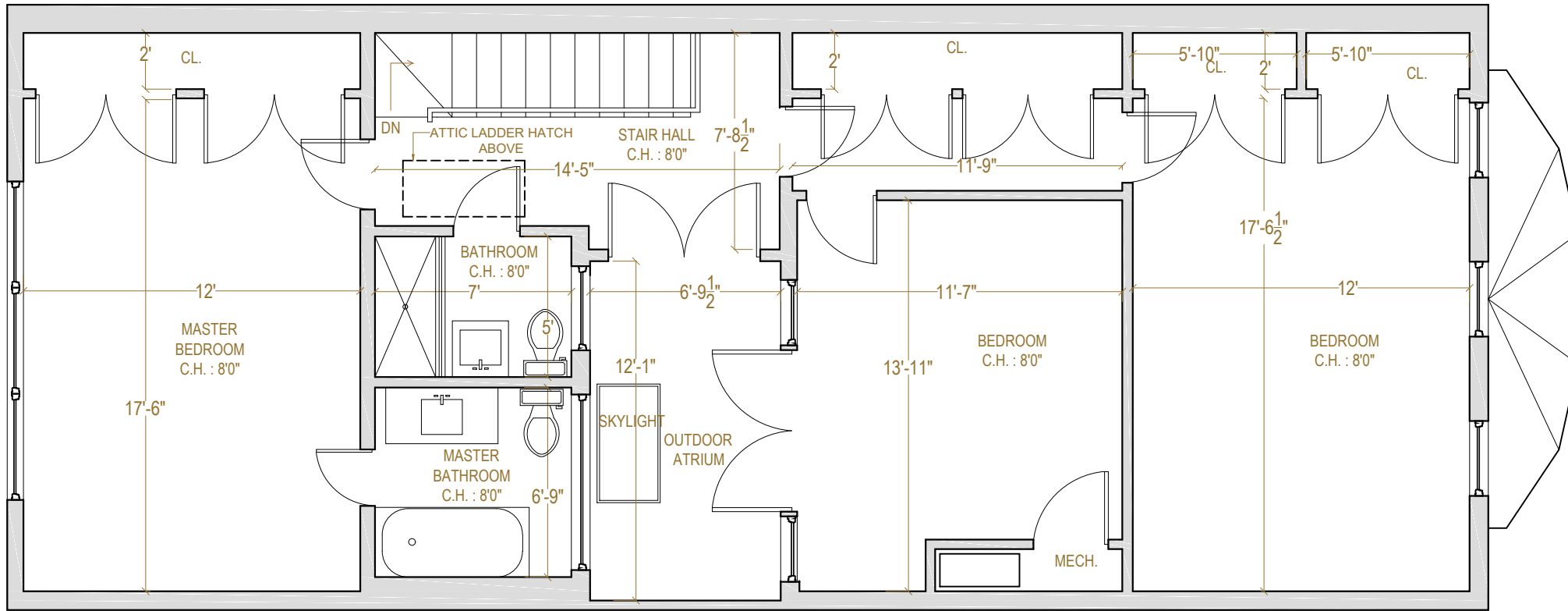
SUBMISSION:

PERMIT

DATE: MAY 14, 2020

SCALE: 3/16" = 1'-0"

A100



DATE : JULY 30, 2019

Architect Attestation Statement

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WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

EXISTING AND
PROPOSED
SECOND FLOOR
PLANS

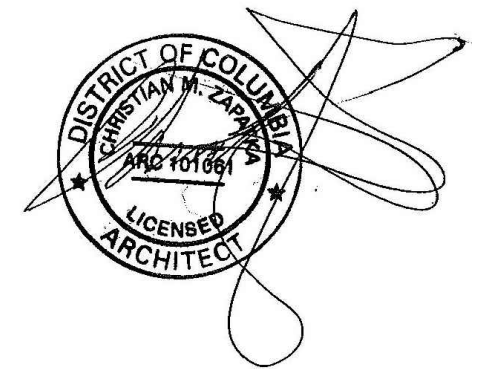
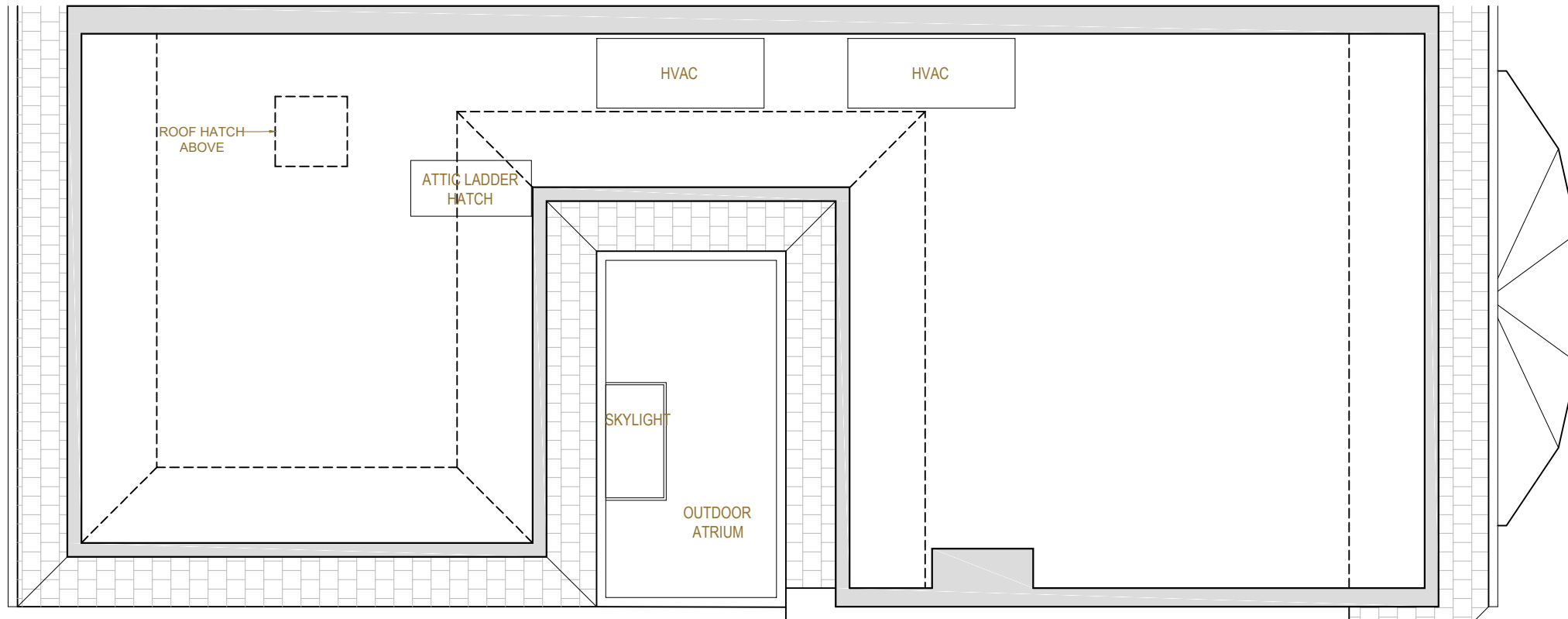
SUBMISSION:

PERMIT

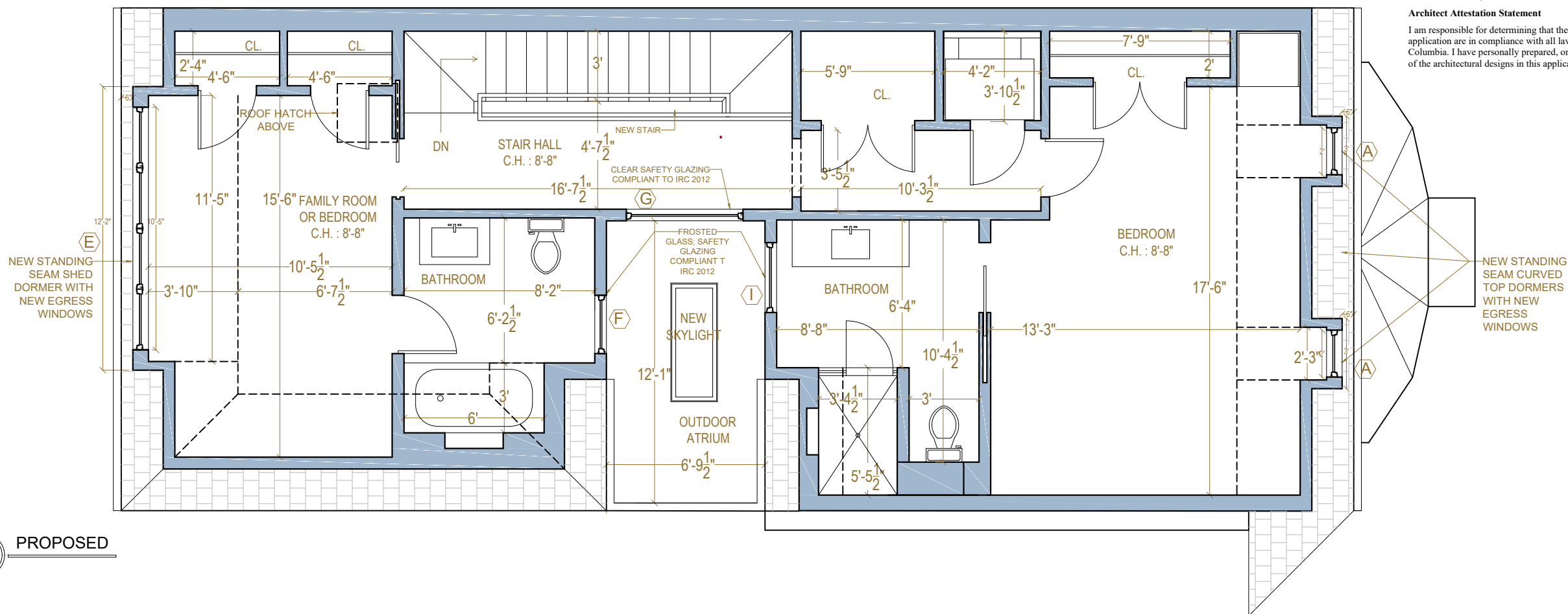
DATE: MAY 14, 2020

SCALE: 3/16" = 1'-0"

A101



1 EXISTING



DATE : JULY 30, 2019

Architect Attestation Statement

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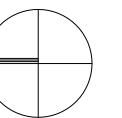
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PROJECT:

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WASHINGTON, DC 20007
SQ: 1269 LOT: 0350



DRAWING TITLE:

EXISTING ATTIC
AND PROPOSED
THIRD FLOOR
PLANS

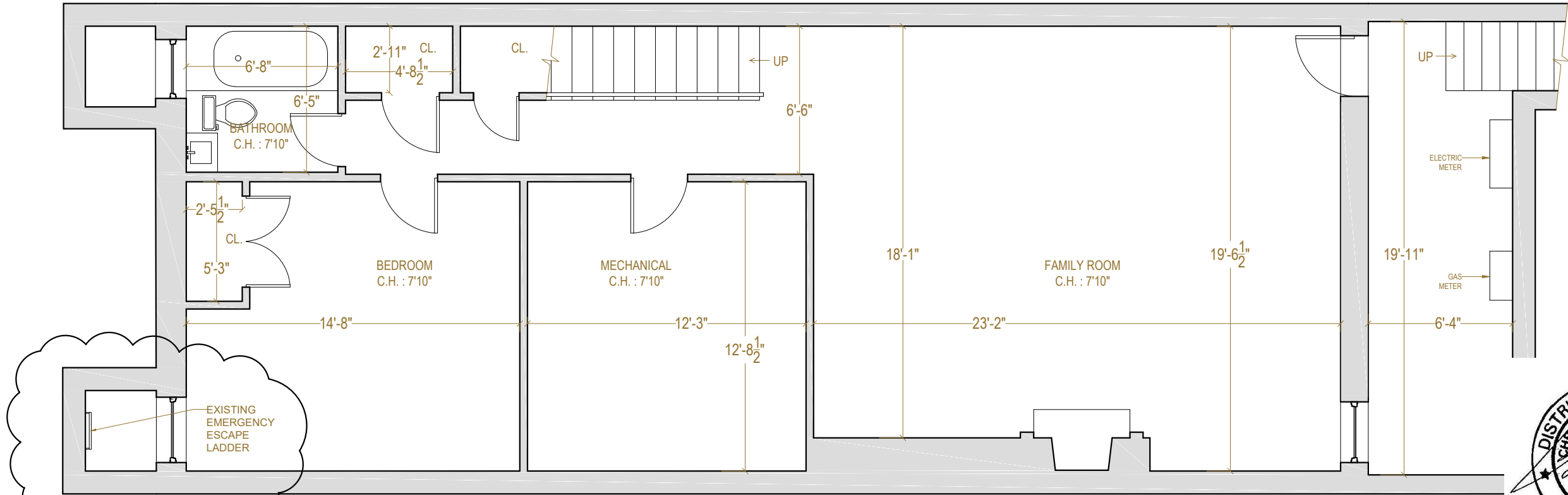
SUBMISSION:

PERMIT

DATE: MAY 14, 2020

SCALE: 3/16" = 1'-0"

A102

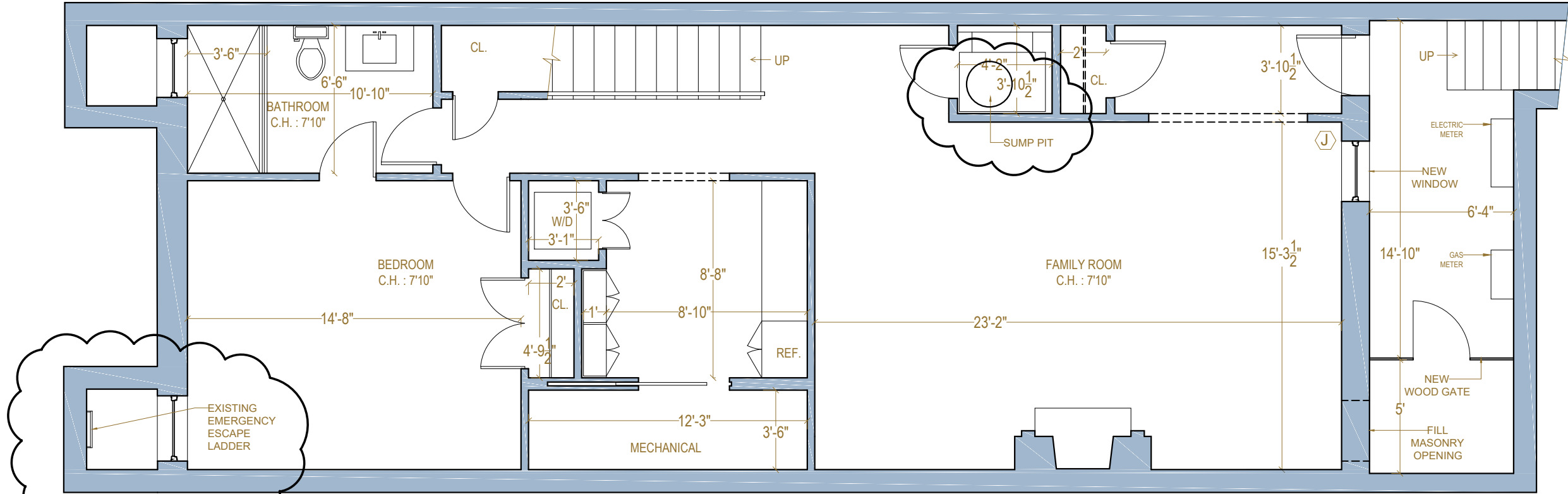
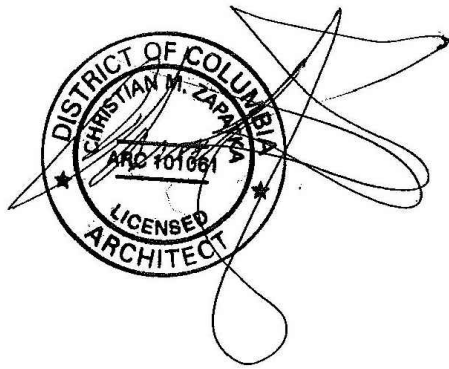


1 EXISTING

DATE : JULY 30, 2019

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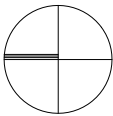
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**KASSUM
RESIDENCE**
3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT: 0350



DRAWING TITLE:

**EXISTING AND
PROPOSED
BASEMENT PLANS**

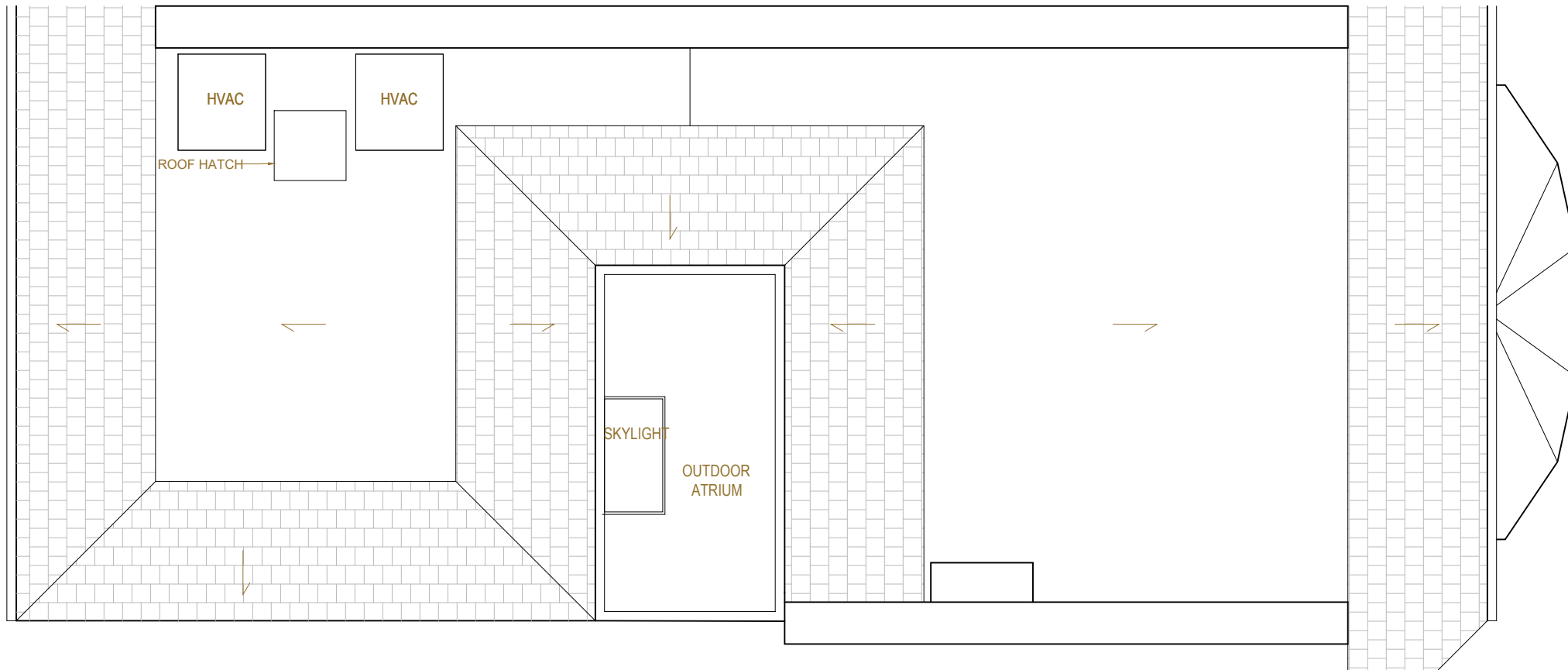
SUBMISSION:

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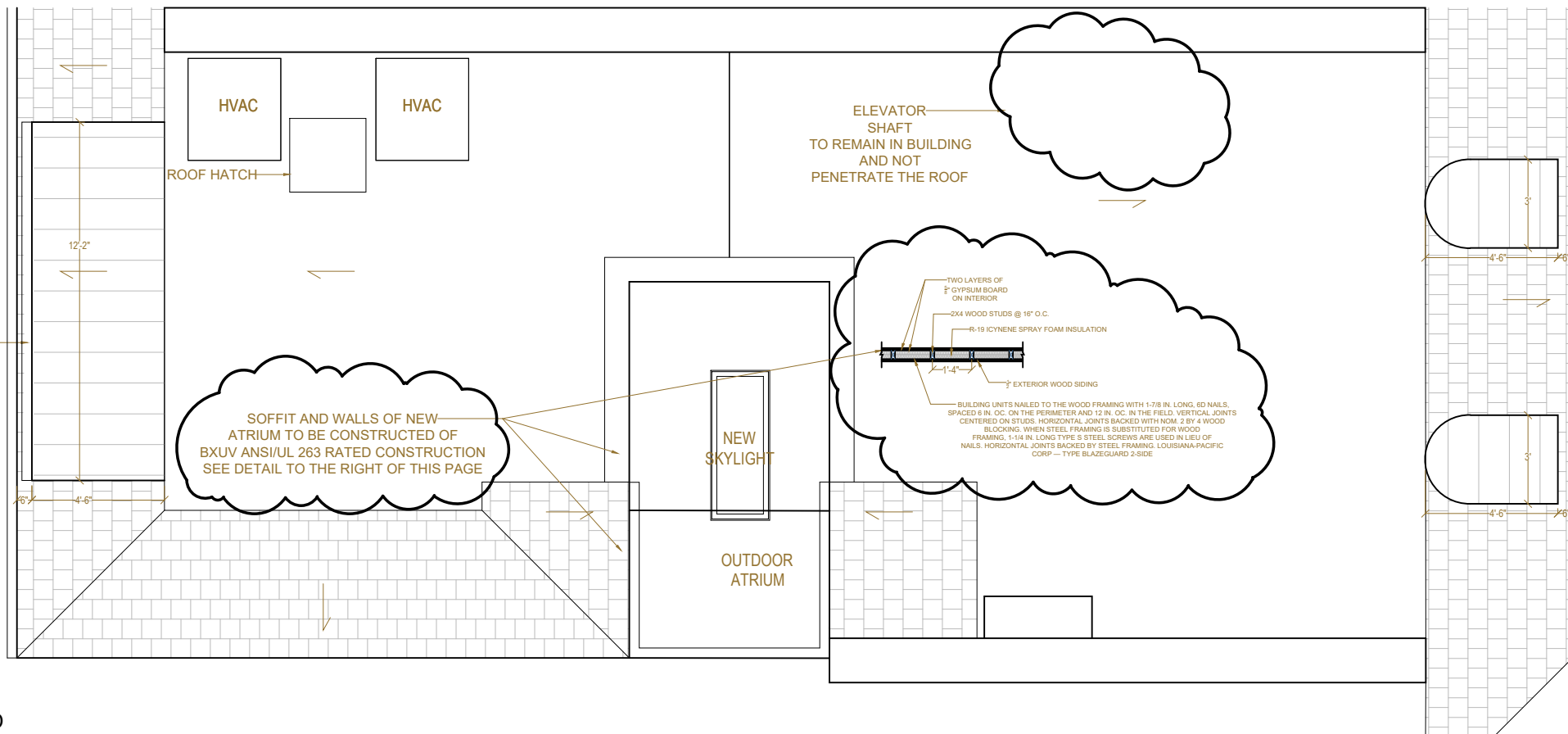
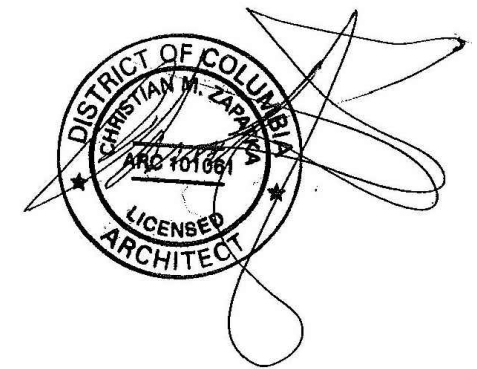
DATE: MAY 14, 2020

SCALE: 3/16" = 1'-0"

A103



1 EXISTING



2 PROPOSED

DATE : JULY 30, 2019

Architect Attestation Statement

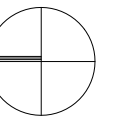
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WASHINGTON, DC 20007
SQ: 1269 LOT: 0350



DRAWING TITLE:

EXISTING AND
PROPOSED
ROOF PLANS

SUBMISSION:

PERMIT

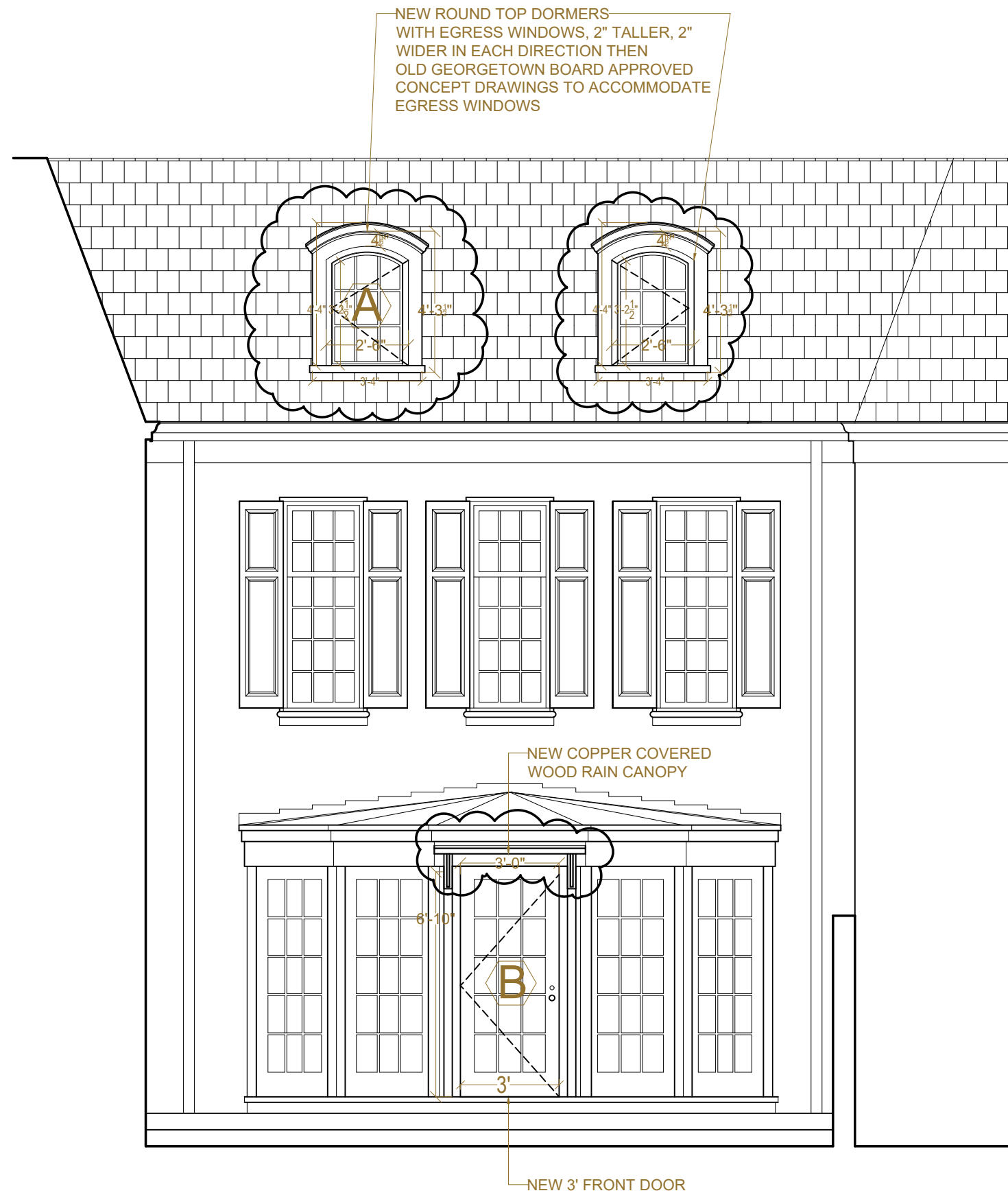
DATE: MAY 14, 2020

SCALE: 3/16" = 1'-0"

A104



1 EXISTING SOUTH ELEVATION



2 PROPOSED SOUTH ELEVATION

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3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

EXISTING AND
NEWLY
PROPOSED
SOUTH
ELEVATIONS

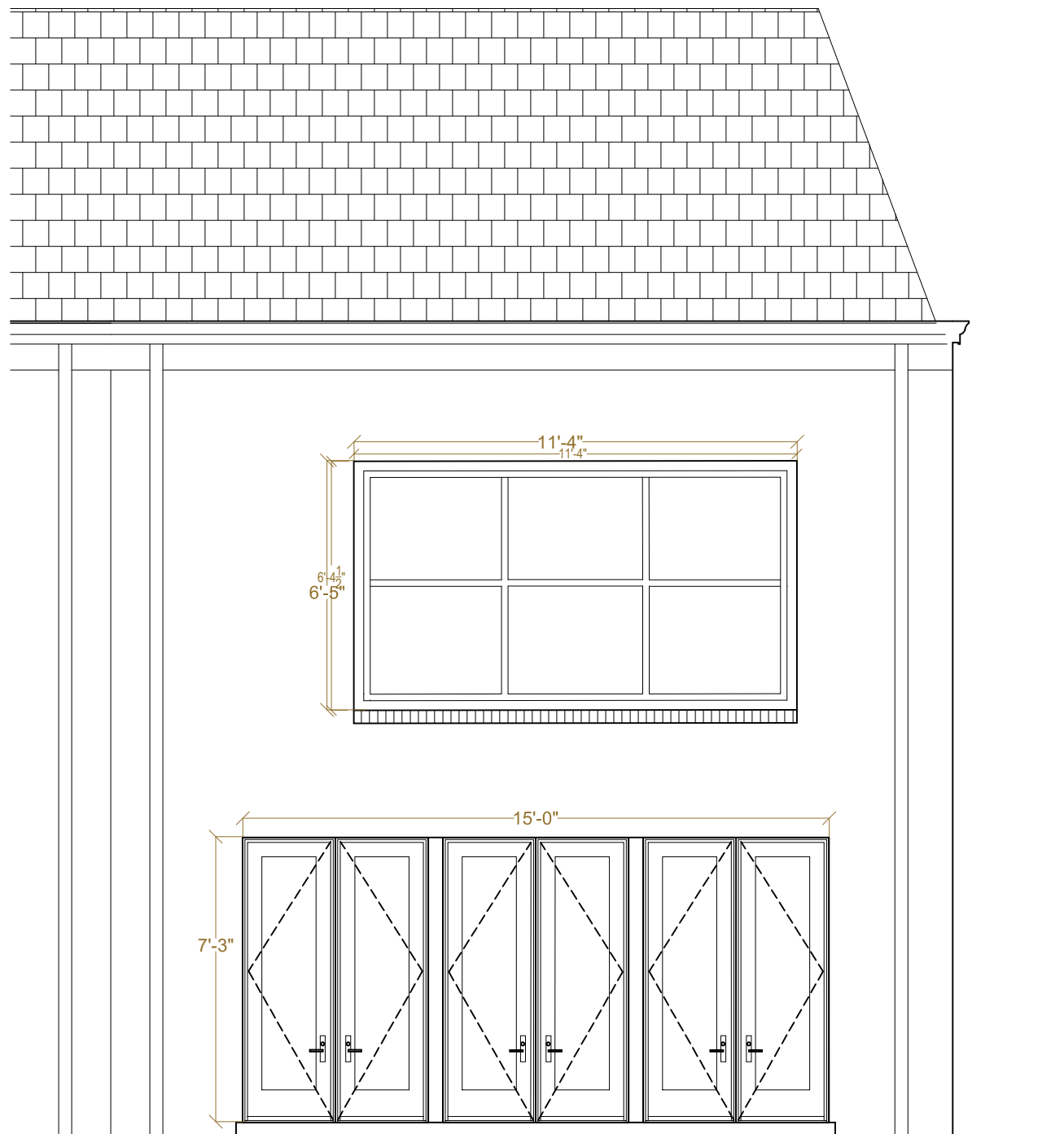
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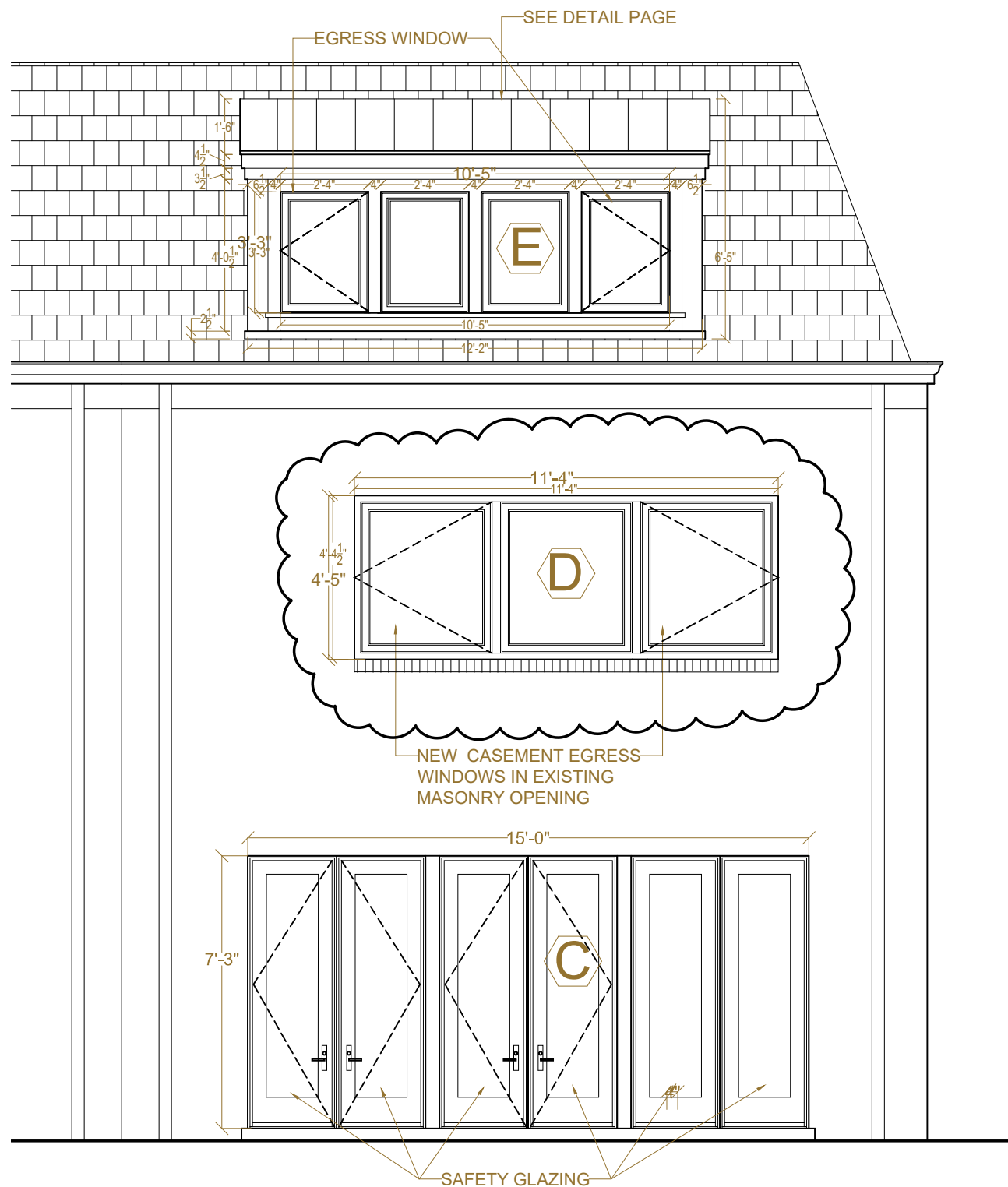
DATE: MAY 4, 2020

SCALE: 1/4" = 1'-0"

A200



1 EXISTING NORTH ELEVATION



2 PROPOSED NORTH ELEVATION

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PROJECT:

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RESIDENCE
3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

EXISTING AND
NEWLY
PROPOSED
NORTH
ELEVATIONS

SUBMISSION:

PERMIT

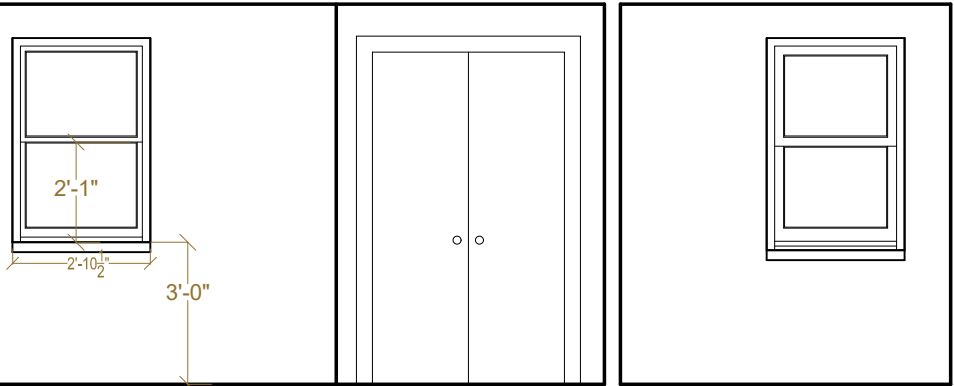
DATE: MAY 4, 2020

SCALE: 1/4" = 1'-0"

A201



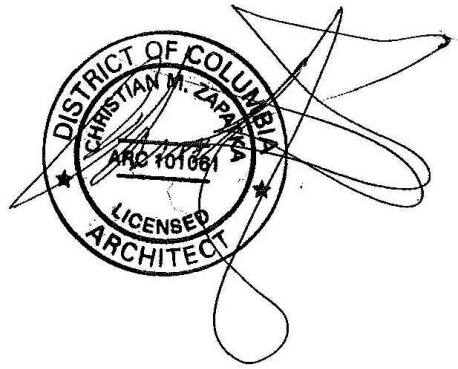
1 EXISTING EGRESS WINDOW AND LADDER



1 EXISTING NORTH BASEMENT ELEVATION

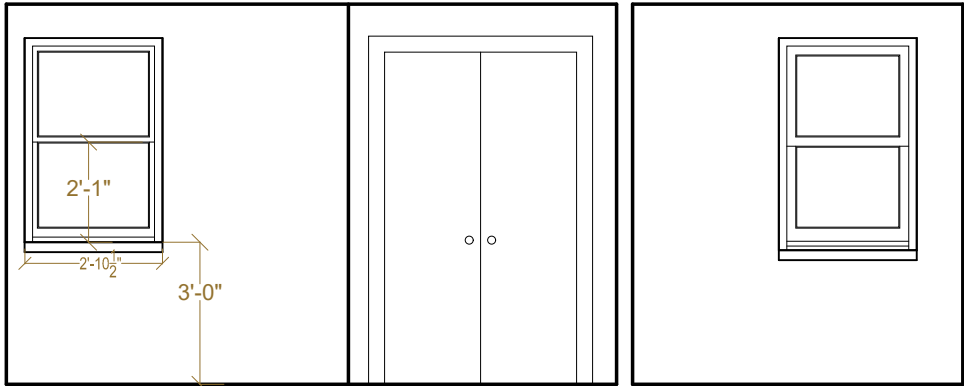


1 EXISTING SOUTH BASEMENT ELEVATION

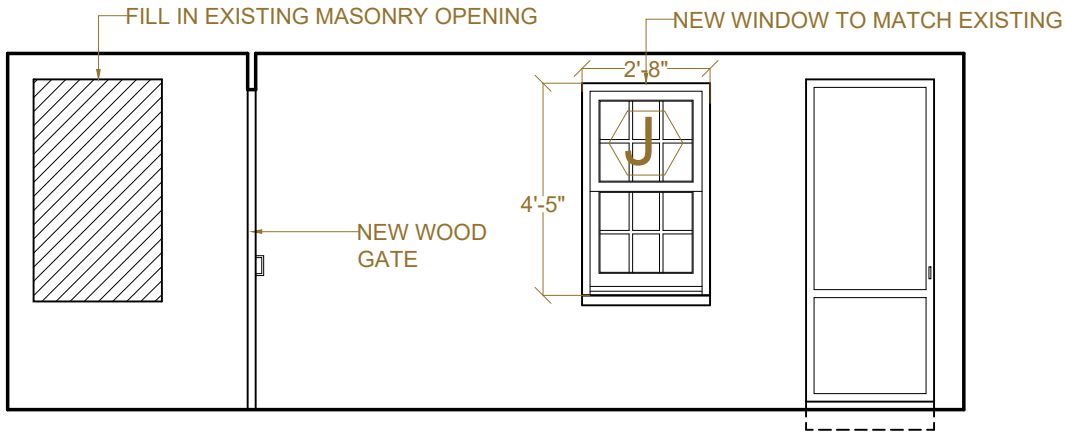


DATE: JULY 30, 2019
Architect Attestation Statement

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2 PROPOSED NORTH BASEMENT ELEVATION



2 PROPOSED SOUTH BASEMENT ELEVATION

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WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

EXISTING AND
PROPOSED
NORTH
ELEVATIONS

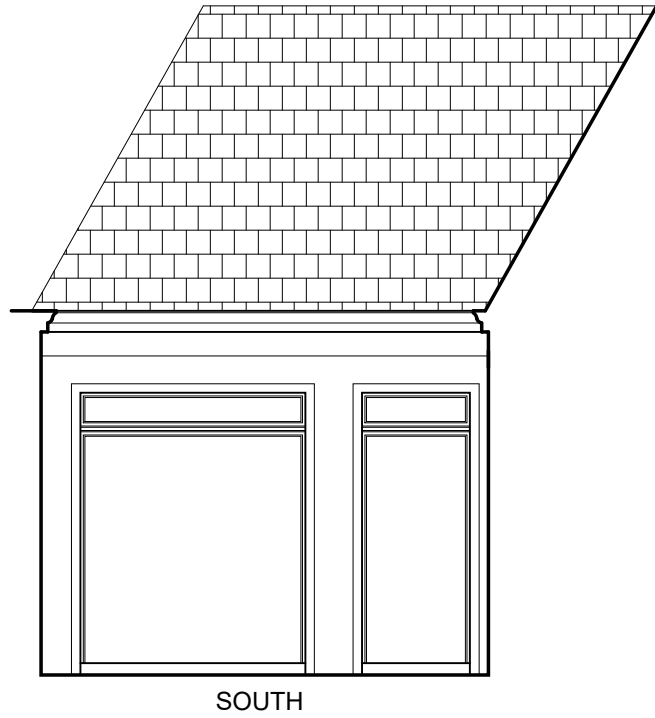
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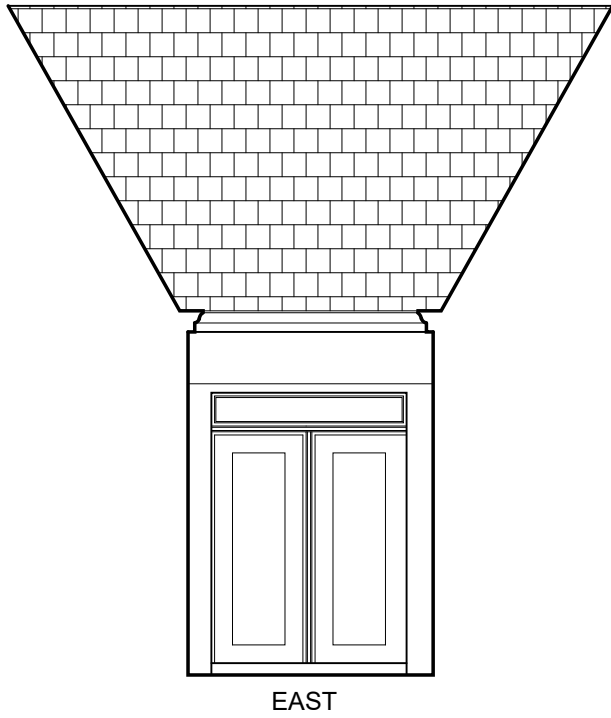
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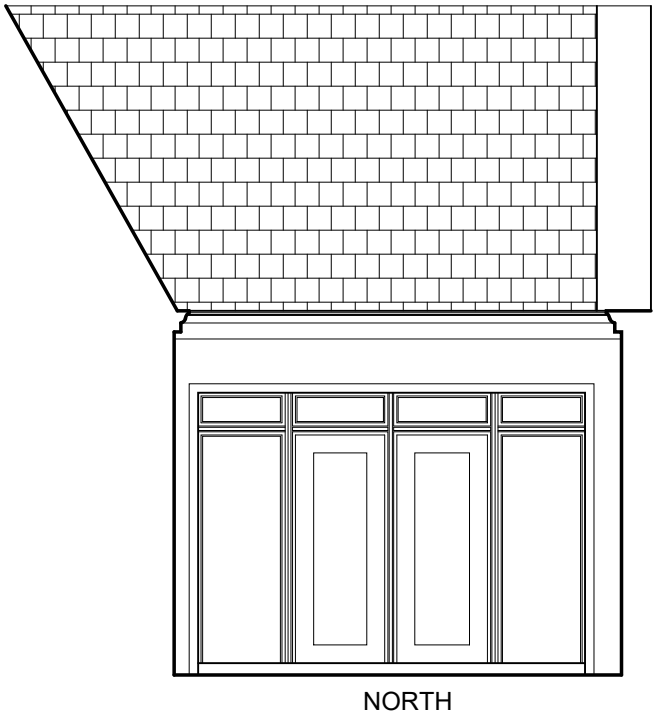
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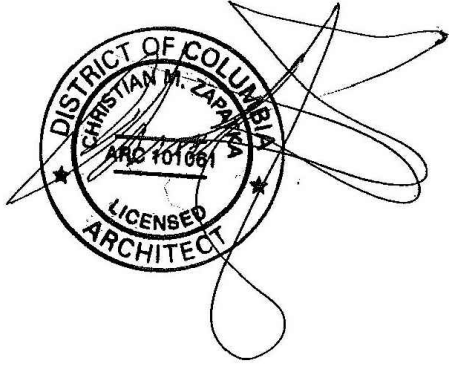
SOUTH



EAST

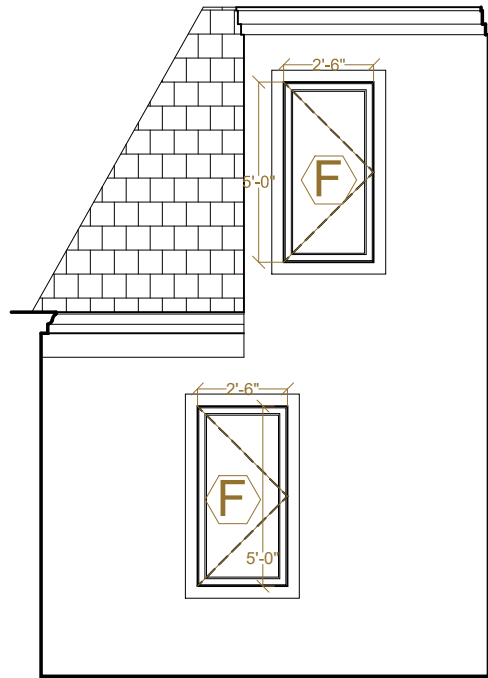


NORTH

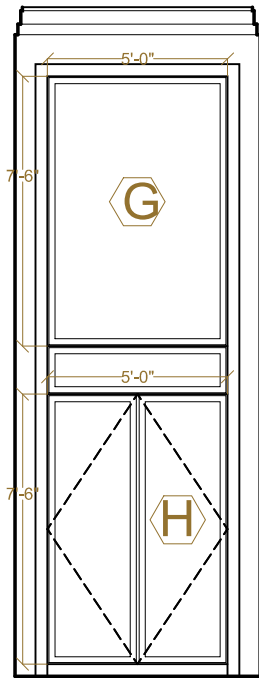


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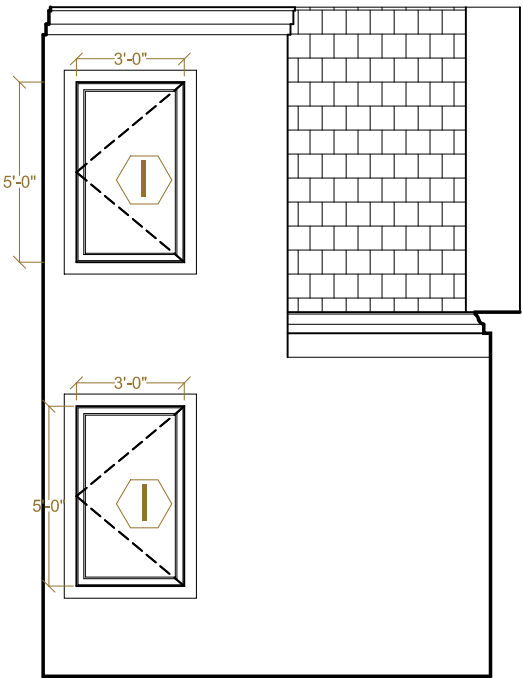
1 EXISTING ELEVATIONS



SOUTH



EAST



NORTH

2 PROPOSED ELEVATIONS

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KASSUM
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WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

EXISTING AND
PROPOSED
OUTDOOR
ATRIUM
ELEVATIONS

SUBMISSION:

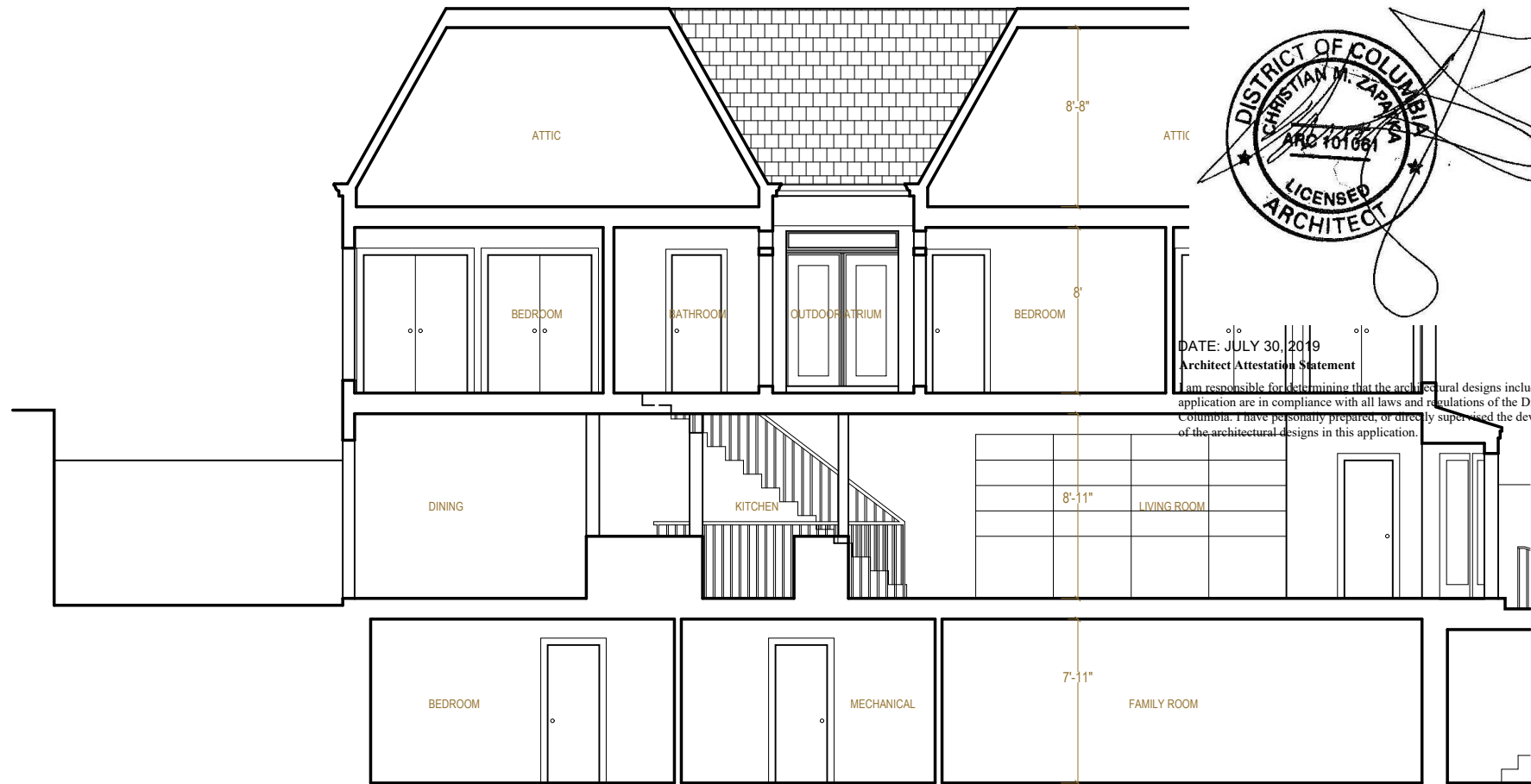
PERMIT

DATE: MAY 4, 2020

SCALE: 3/16" = 1'-0"

A203

1 EXISTING BUILDING SECTION



2 PROPOSED BUILDING SECTION



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PROJECT:

KASSUM
RESIDENCE
3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

EXISTING AND
PROPOSED
BUILDING
SECTIONS

SUBMISSION:

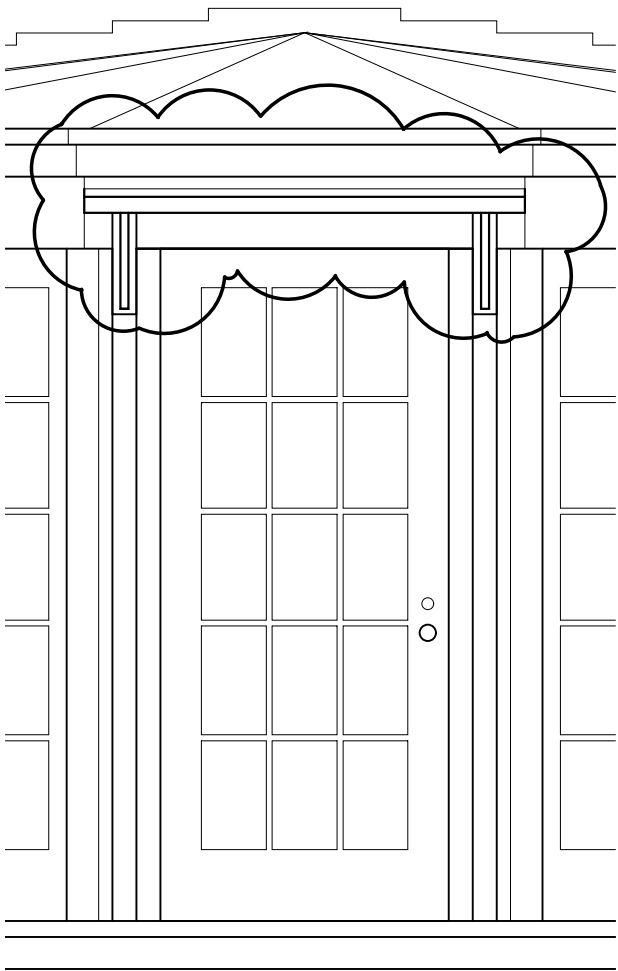
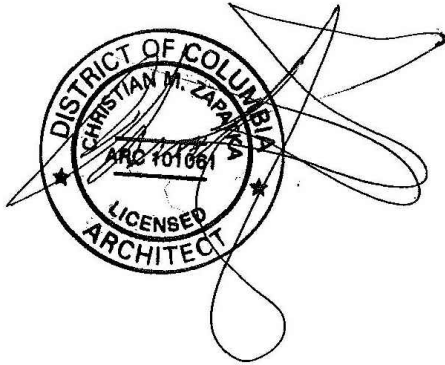
PERMIT

DATE: MAY 4, 2020

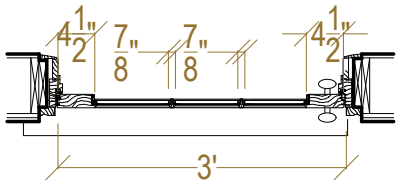
SCALE: 1/8" = 1'-0"

A300

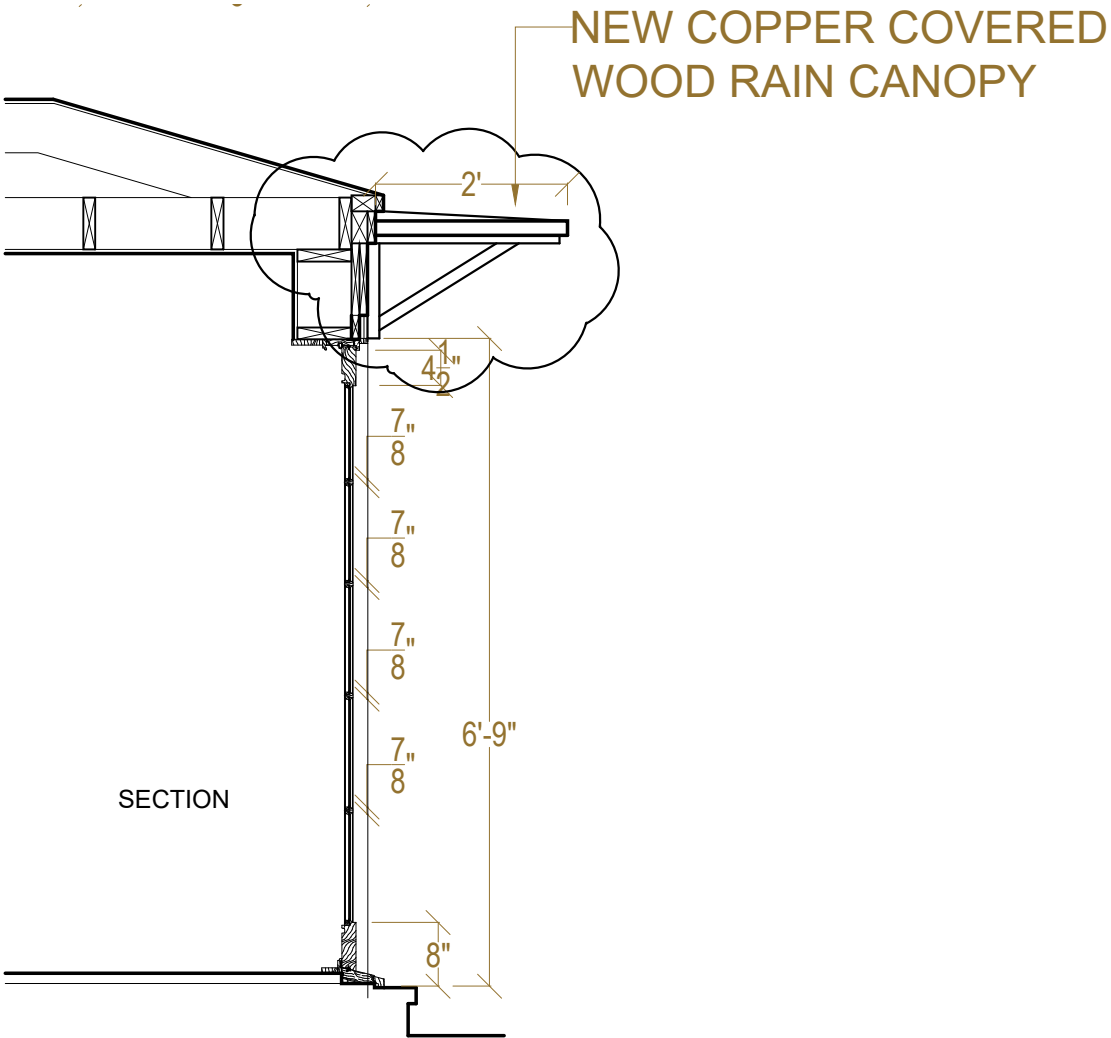
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ELEVATION



PLAN



SECTION

CHRISTIAN ZAPATKA ARCHITECT, PLLC
1656 33rd STREET NW WASHINGTON DC 20007 202 333 2735

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PERMISSION FROM CHRISTIAN ZAPATKA ARCHITECT, PLLC.

PROJECT:

KASSUM
RESIDENCE
3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

PROPOSED
FRONT DOOR
PLAN, SECTION,
AND ELEVATION

SUBMISSION:

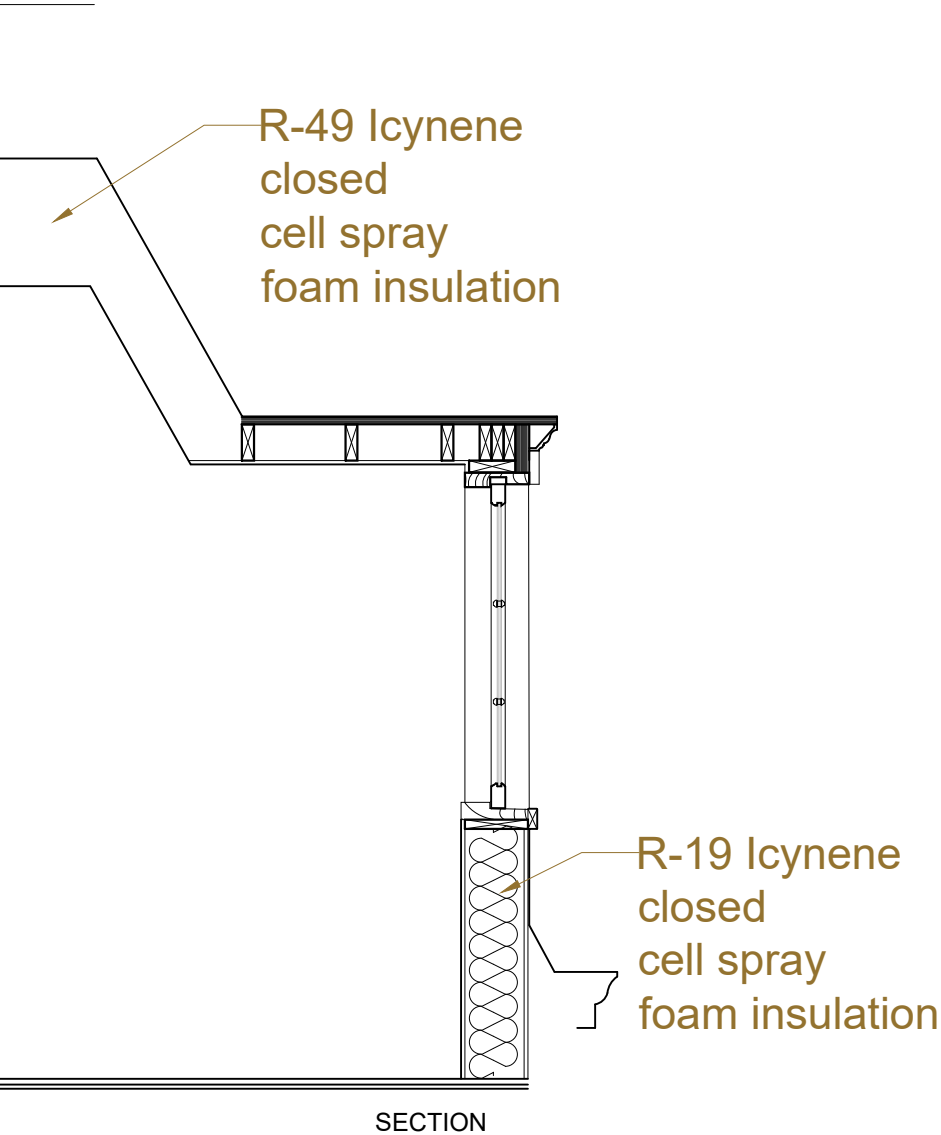
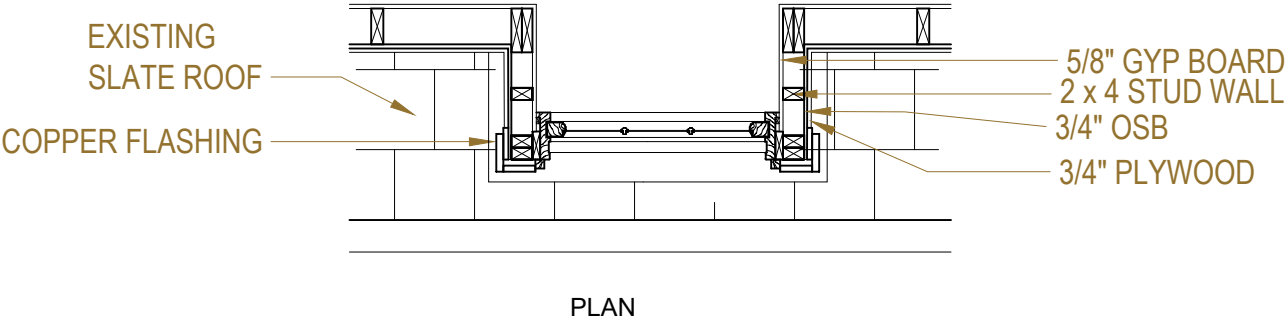
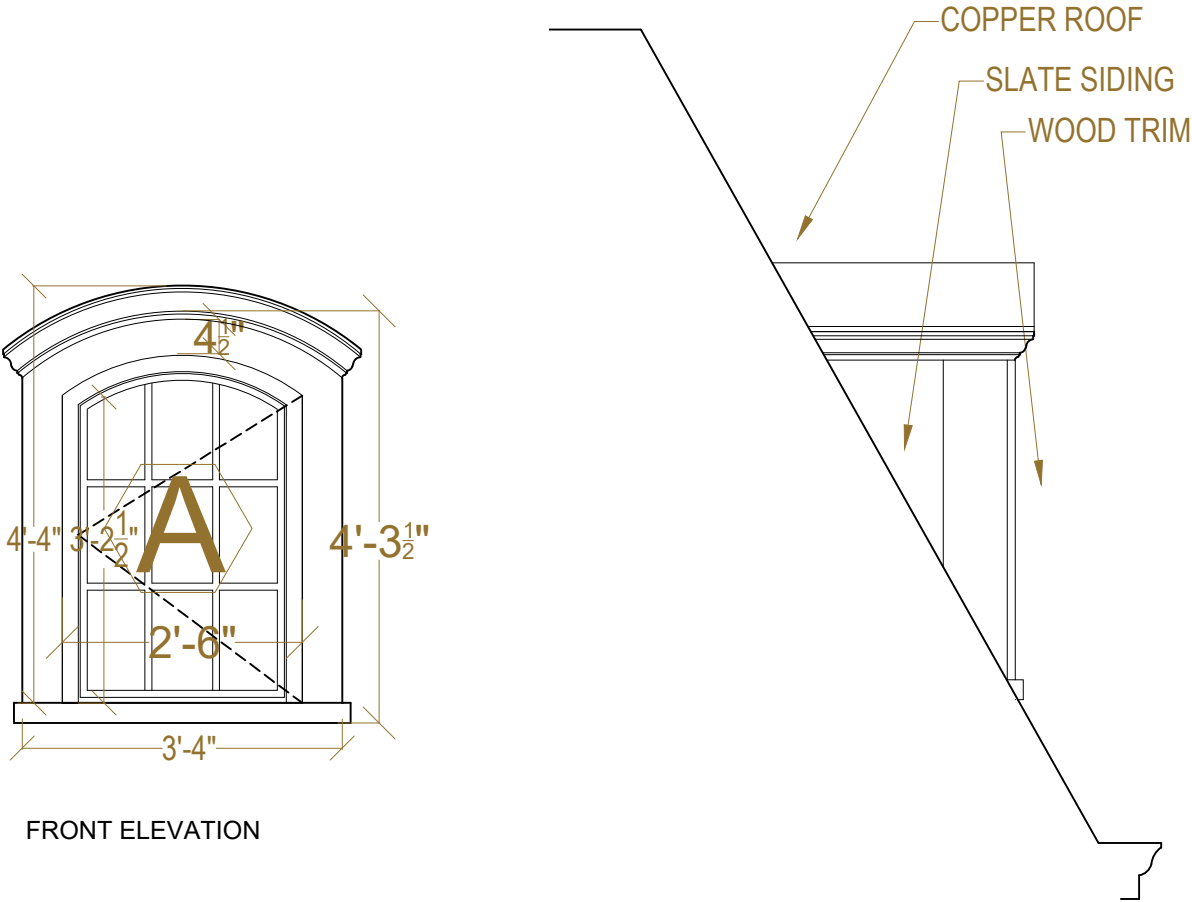
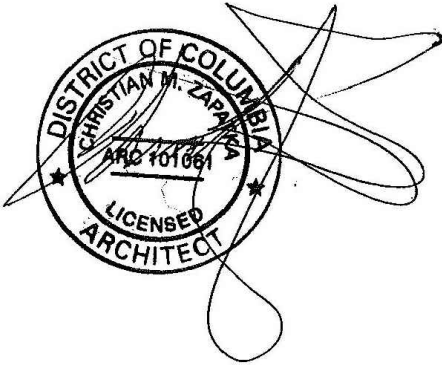
PERMIT

DATE: MAY 4, 2020

SCALE: $\frac{1}{2}" = 1'-0"$

A400

DATE: JULY 30, 2019
Architect Attestation Statement
I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of the architectural designs in this application.



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PROJECT:

KASSUM
RESIDENCE
3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

PROPOSED
FRONT DORMER
PLAN, SECTION,
AND ELEVATIONS

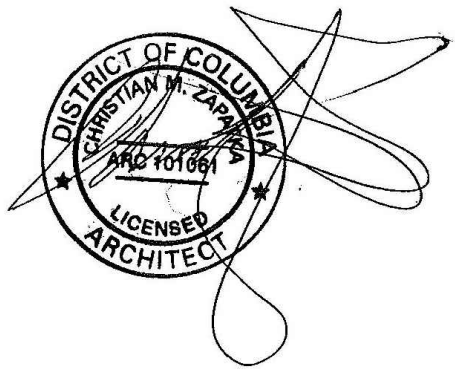
SUBMISSION:

PERMIT

DATE: MAY 4, 2020

SCALE: 1/2" = 1'-0"

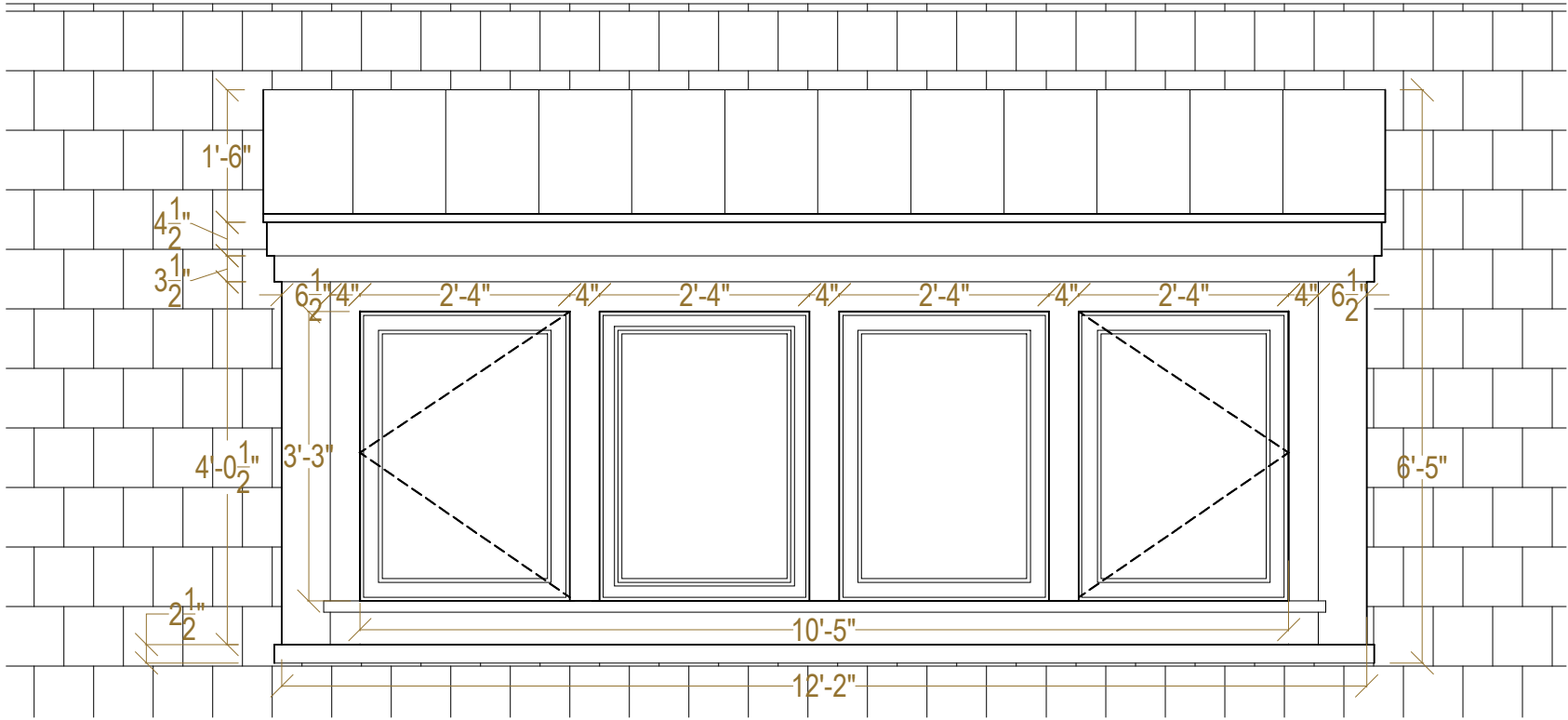
A401



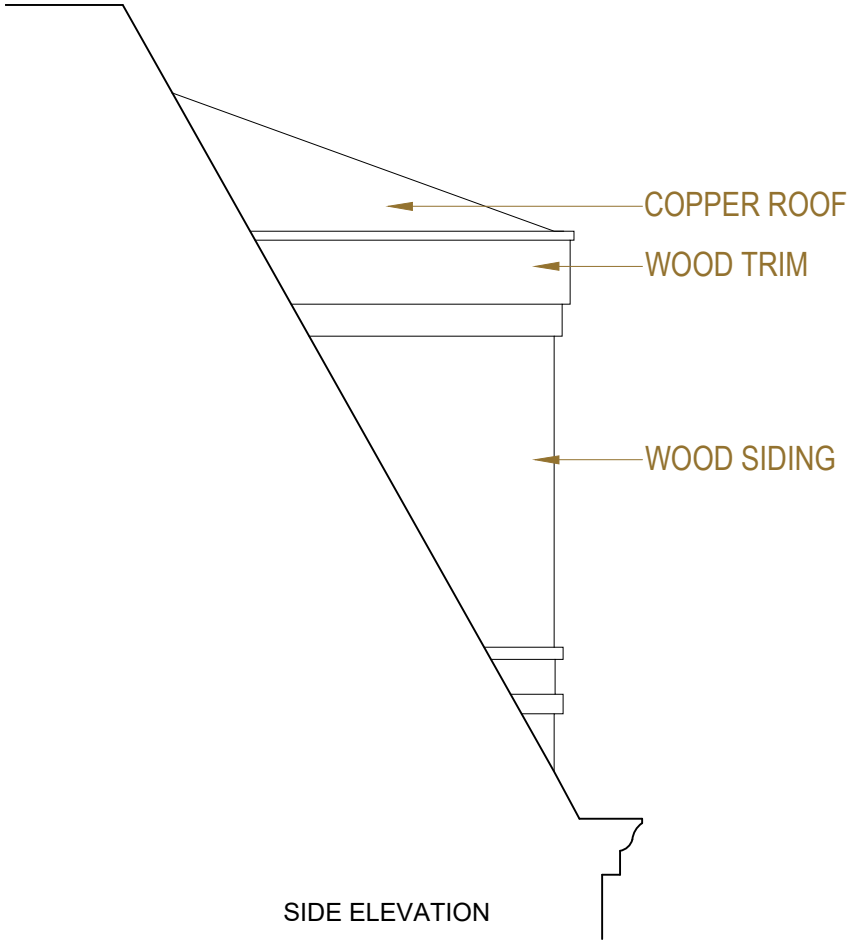
DATE: JULY 30, 2019

Architect Attestation Statement

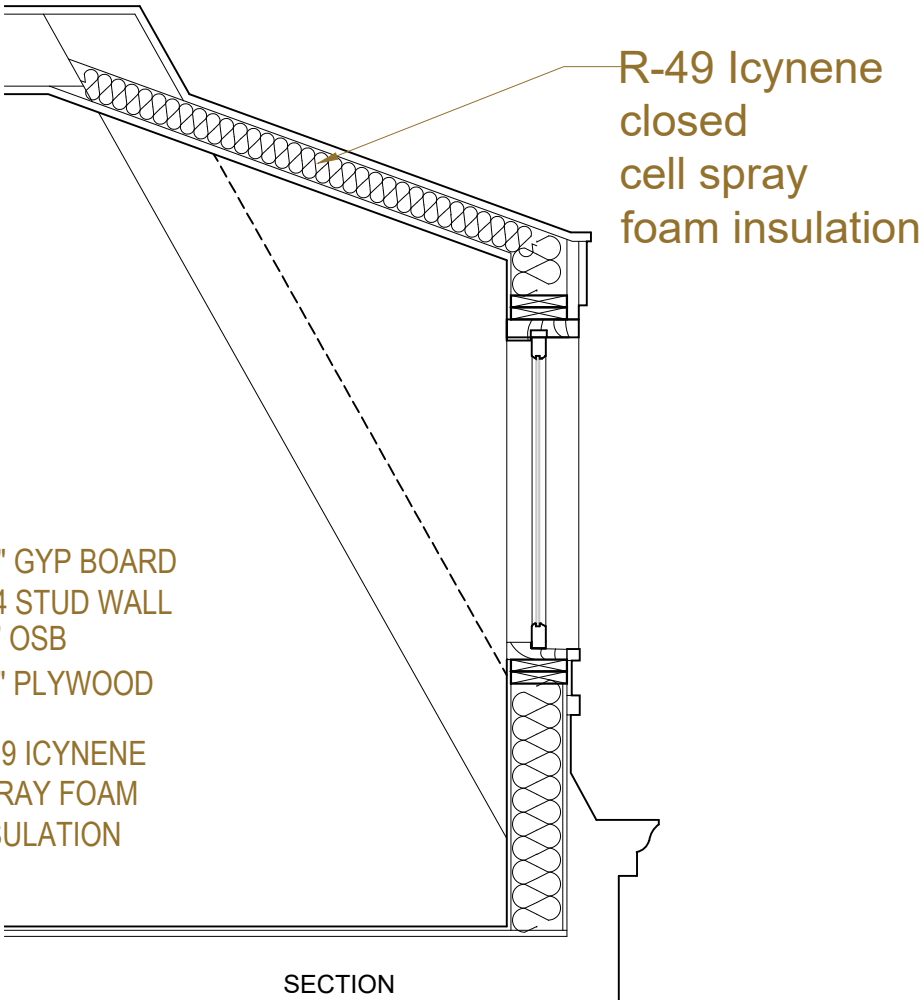
I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of the architectural designs in this application.



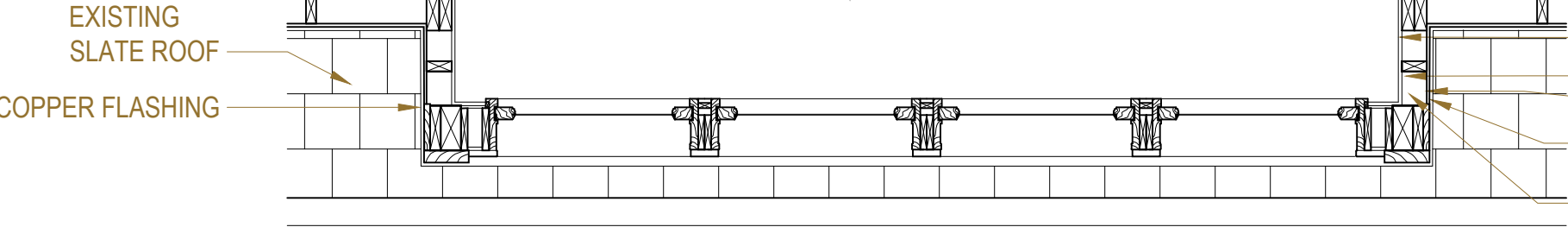
FRONT ELEVATION



SIDE ELEVATION



SECTION



PLAN

- 5/8" GYP BOARD
- 2 x 4 STUD WALL
- 3/4" OSB
- 3/4" PLYWOOD
- R-19 ICYNENE SPRAY FOAM INSULATION

CHRISTIAN ZAPATKA ARCHITECT, PLLC

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PROJECT:

KASSUM
RESIDENCE
3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

PROPOSED
REAR DORMER
PLAN, SECTION,
AND ELEVATIONS

SUBMISSION:

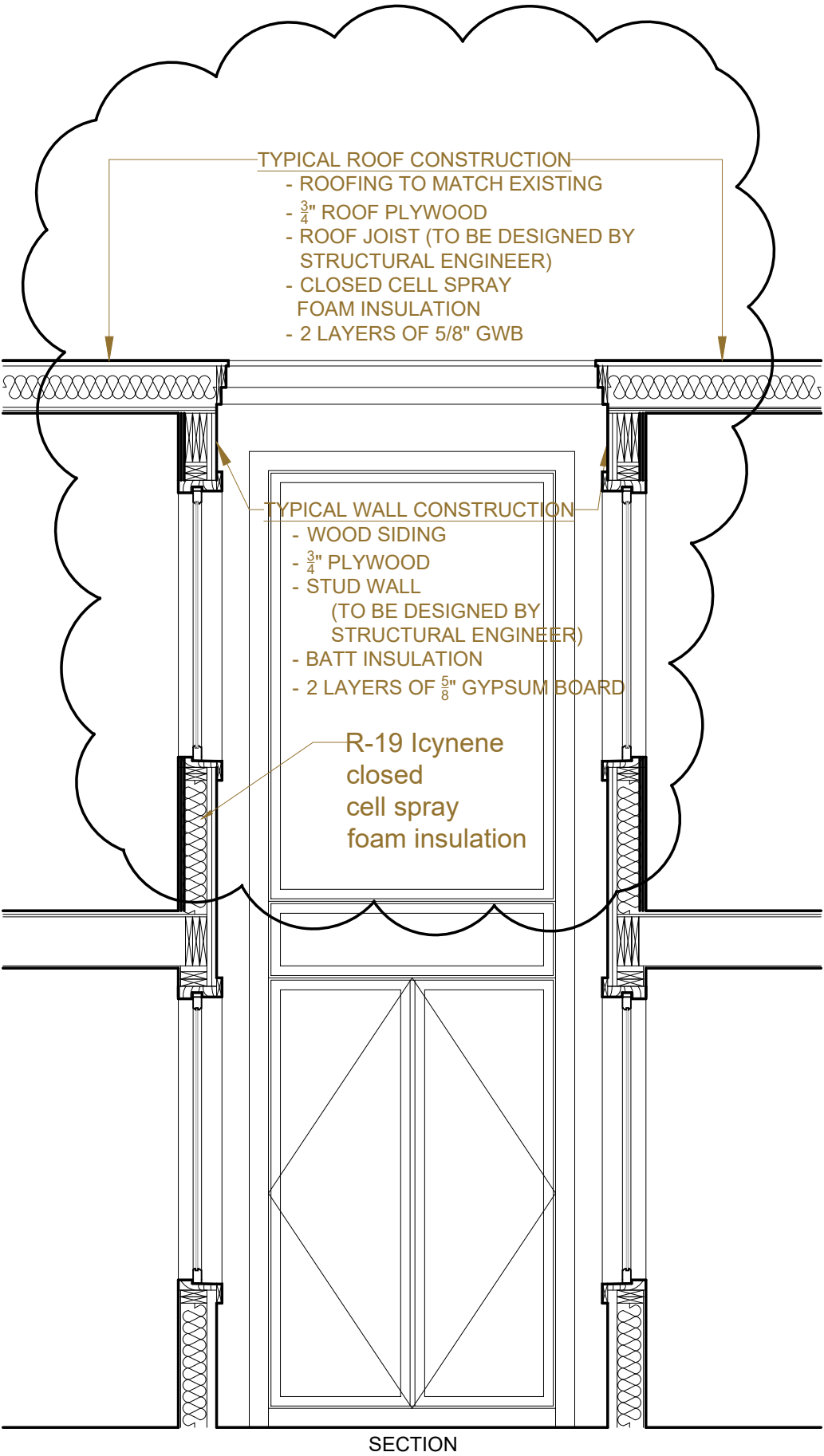
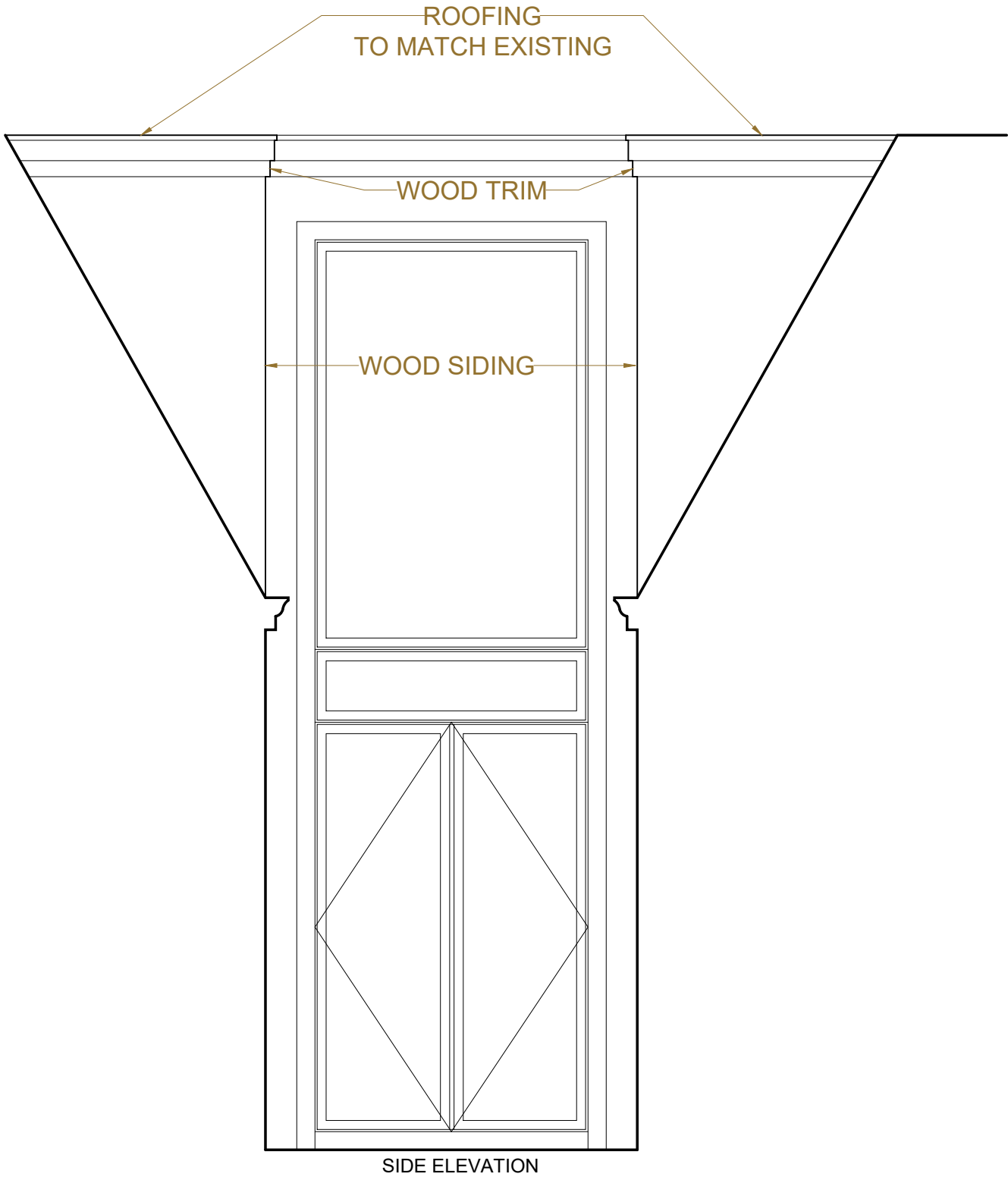
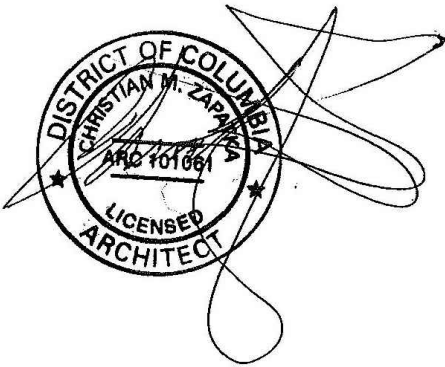
PERMIT

DATE: MAY 4, 2020

SCALE: 1/2" = 1'-0"

A402

DATE: JULY 30, 2019
Architect Attestation Statement
I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of the architectural designs in this application.



CHRISTIAN ZAPATKA ARCHITECT, PLLC
1656 33rd STREET NW WASHINGTON DC 20007 202 333 2735

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PROJECT:

KASSUM
RESIDENCE
3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

PROPOSED
OUTDOOR
ATRIUM
ELEVATION AND
SECTION

SUBMISSION:

PERMIT

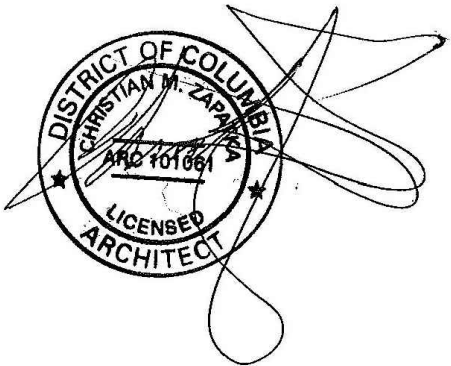
DATE: AUGUST 8, 2019

SCALE: $\frac{3}{8}$ " = 1'-0"

A403

DATE: JULY 30, 2019
Architect Attestation Statement

I am responsible for determining that the architectural designs included in this application are in compliance with all laws and regulations of the District of Columbia. I have personally prepared, or directly supervised the development of the architectural designs in this application.



| WINDOW/ DOOR | QUANTITY | WINDOW / DOOR MANUFACTURER | WINDOW / DOOR TYPE | (R.O.) ALL DIMENSIONS TO BE VERIFIED IN FIELD | | FINISH | | FIRE RATING | GLAZING | U-VALUE | SHGC | EMERGENCY ESCAPE |
|-----------------|----------|-------------------------------|---|--|--------|---------|--------|----------------|---|---------|------|---------------------|
| | | | | WIDTH | HEIGHT | EXT | INT | | | | | |
| A | 2 | | WOOD, SINGLE GLAZED, MULTI-LIGHT, ROUND TOP, OPERABLE CASEMENT WINDOW | 2'-6" | 3'-6" | PAINTED | PRIMED | | DOUBLE | 0.30 | 0.40 | YES |
| B | 1 | | WOOD, MULTI-LIGHT, SWING DOOR | 3'-0" | 6-9" | PAINTED | PRIMED | | DOUBLE, SAFETY GLAZING COMPLIANT TO IRC 2012 | 0.30 | 0.40 | |
| C | 1 | | WOOD, DOUBLE SWING DOORS (2); FIXED FRENCH WINDOWS (1) | 15'-0" | 7'-8" | PAINTED | PRIMED | | DOUBLE, SAFETY GLAZING COMPLIANT TO IRC 2012 | 0.30 | 0.40 | YES |
| D | 1 | | WOOD, FIXED (1) & OPERABLE (2) HOPPER WINDOWS | 11'-4" | 4'-5" | PAINTED | PRIMED | | DOUBLE, SAFETY GLAZING COMPLIANT TO IRC 2012 | 0.30 | 0.40 | YES |
| E | 1 | | WOOD, FIXED (2) & OPERABLE (2) CASEMENT WINDOWS | 10'-5" | 3'-3" | PAINTED | PRIMED | | DOUBLE | 0.30 | 0.40 | YES |
| F | 2 | | WOOD, OPERABLE CASEMENT WINDOW | 2'-6" | 5'-0" | PAINTED | PRIMED | | DOUBLE, FROSTED, SAFETY GLAZING COMPLIANT TO IRC 2012 | 0.30 | 0.40 | |
| G | 1 | | WOOD, FIXED CASEMENT WINDOW | 5'-0" | 7'-6" | PAINTED | PRIMED | | DOUBLE, SAFETY GLAZING COMPLIANT TO IRC 2012 | 0.30 | 0.40 | |
| H | 1 | | WOOD, FRENCH DOORS | 5'-0" | 7'-6" | PAINTED | PRIMED | | DOUBLE, SAFETY GLAZING COMPLIANT TO IRC 2012 | 0.30 | 0.40 | |
| I | 1 | | WOOD, OPERABLE CASEMENT WINDOW | 3'-0" | 5'-0" | PAINTED | PRIMED | | DOUBLE, FROSTED, SAFETY GLAZING COMPLIANT TO IRC 2012 | 0.30 | 0.40 | |
| J | 1 | | WOOD, OPERABLE DOUBLE HUNG WINDOW | 2'-8" | 4'-5" | PAINTED | PRIMED | | DOUBLE | 0.30 | 0.40 | |

NOTE: ALL GLAZING TO BE LOW-E 270 ARGON

CHRISTIAN ZAPATKA ARCHITECT, PLLC
1666 33rd STREET NW WASHINGTON DC 20007 202 333 2735

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PROJECT:

KASSUM
RESIDENCE
3045 WEST LANE KEYS, NW
WASHINGTON, DC 20007
SQ: 1269 LOT: 0350

DRAWING TITLE:

EXTERIOR
WINDOW
AND DOOR
SCHEDULE

SUBMISSION:

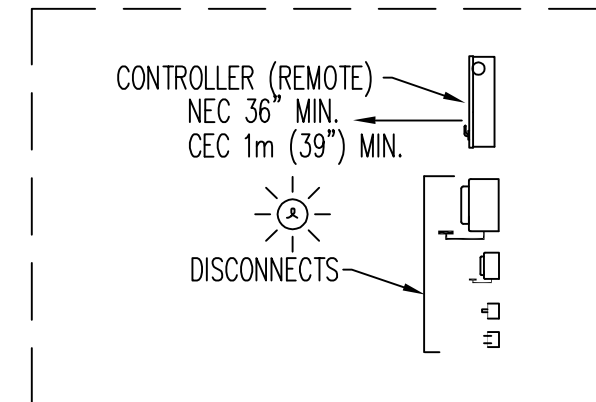
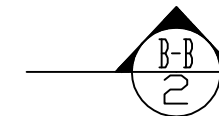
PERMIT

DATE: MAY 14, 2020

SCALE: = 1'-0"

A500

- OVERALL HOISTWAY LENGTH AND WIDTH DIMENSIONS ARE FROM DRYWALL TO DRYWALL (WHERE APPLICABLE)
- XX" GATE CLEAR OPENING, CONSULT FACTORY





DISCONNECTS AND CONTROLLER (REMOTE)

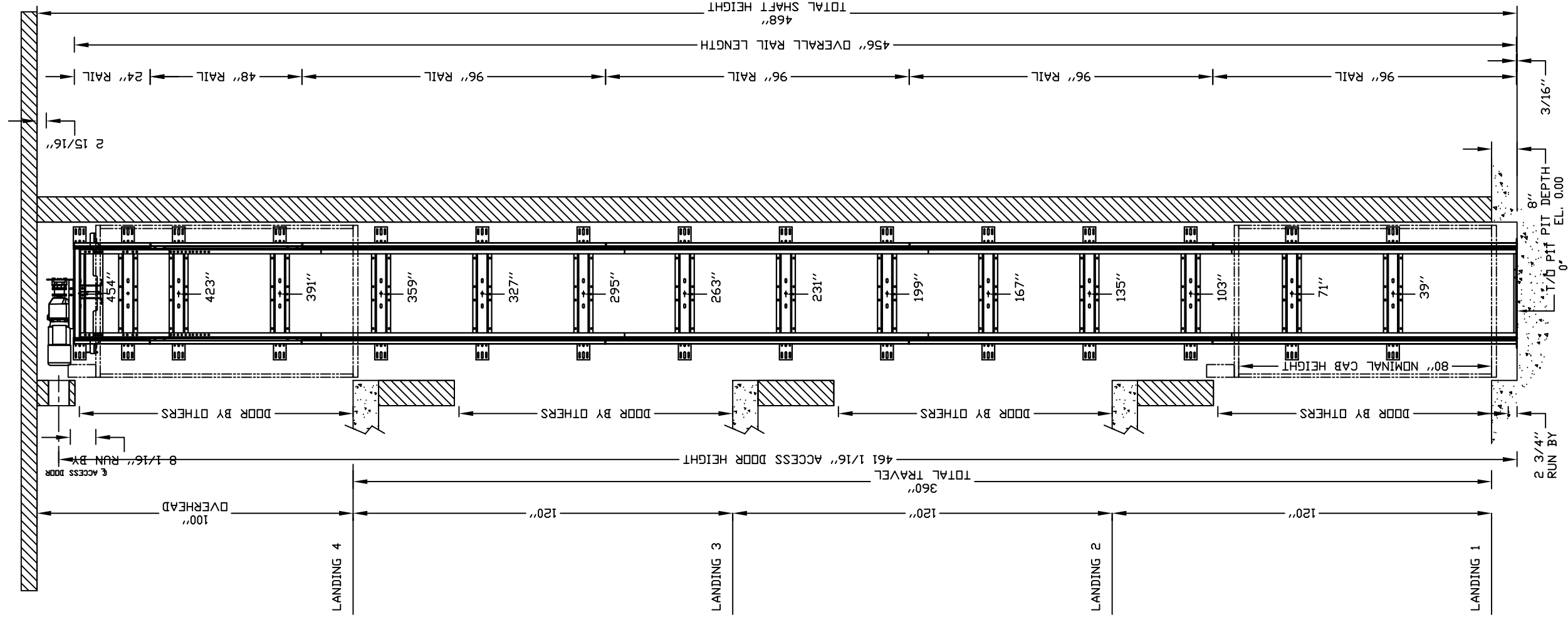
THIS DRAWING REFLECTS OUR INTERPRETATION OF THE INFORMATION PROVIDED BY THE DEALER ON THE ORDER FORM. THIS INFORMATION IS THE DEALER'S RESPONSIBILITY, AND IS THE BASIS FROM WHICH THIS LIFT IS DESIGNED AND MANUFACTURED. PLEASE INDICATE THE REQUESTED ACTION BY CHECKING ONE OF THE FOLLOWING BOXES AND SIGNING BELOW TO AUTHORIZE COMPLETION OF THIS ORDER.

- ☐ APPROVED WITH NO EXCEPTIONS
MANUFACTURE PRODUCT AS PER DRAWING
- ☐ APPROVED WITH EXCEPTIONS, NO REAPPROVAL
REQUIRED
MAKE CHANGES AS NOTED, NO REAPPROVAL DRAWING REQUIRED
- ☐ CHANGE AS NOTED, REAPPROVAL REQUIRED
MAKE CHANGES AS NOTED, SEND CORRECTED DRAWING FOR
REAPPROVAL BEFORE MANUFACTURE

4. _____

CAUTION: ONCE THE DRAWING IS APPROVED, JOB CANCELLATION FEES WILL APPLY

| | | |
|------------------------------|---|---|
| OFFICE USE ONLY: | | Part No. |
| CONFIGURATION VERSION STAMP: | 0.0 | Variant No. 159661 |
| MODULE VERSION STAMP: | E-S-73187 | |
| AVARIA USA | DATE: 07/05/19 |  |
| Residence | REVISION DATE: 07/05/19 | |
| ane Keys | COMPLETED BY: VINCE RUSSO/Printer | |
| DC 20007 |  | |
| | | JOB No. P-0000001 OF 3 |



OFFICE USE ONLY:
CONFIGURATION VERSION STAMP: 0.0
MODULE VERSION STAMP: E-S-73187

Part No.
Variant No. 159661

CUSTOMER: PREMIER LIFTS-SAVARIA USA
PROJECT: KOSSUM RESIDENCE
ADDRESS: 3045 West Lane Keys
Washington, DC 20007
DATE: 07/05/19
REVISION DATE: 07/05/19
COMPLETED BY: WILCOUSON
SHEET No. 2 OF 3

ELEVATION VIEW B-B

savaria™
JOB No. P-0000002 OF 3

PROVISIONS BY OTHERS

*HOISTWAY, CONSTRUCTION SITE, CLEARANCE

- 1- HOISTWAY CONSTRUCTION AND PIT BY OTHERS. DUE TO LIMITED SPACE WITHIN THE HOISTWAY IT IS ESSENTIAL THAT THE PIT IS LEVEL AND WALLS ARE SQUARE AND PLUMB THROUGHOUT THE HOISTWAY. THE HOISTWAY FRAMING MUST BE WITHIN 1/2" [13mm] OF PLUMB AND SQUARE FROM TOP TO BOTTOM FOR PROPER OPERATION OF THE ELEVATOR THROUGHOUT THE HOISTWAY.
- 2- DISTANCE BETWEEN THE HOISTWAY SIDE OF THE LANDING DOOR AND THE CAR DOOR OR GATE SHALL NOT EXCEED 4"(102 MM) USING THE CODE MEASURING TOOL. FOR ACCORDION (PANEL FOLD) GATES, YOU MUST HAVE FLUSH DOORS (NOT THE 3/4" SETBACK). 3/4" SETBACK IS POSSIBLE ONLY WHEN THE CAR DOORS ARE BIFOLD OR SLIM DOORS. RECOMMEND SOLID CORE DOOR SLAB
- 3- HOISTWAY MUST HAVE A MINIMUM LOCKABLE ACCESS HATCH (PROVIDED BY SAVARIA CONCORD) LOCATED AT THE TOP OF THE HOISTWAY. LOCATION MUST BE IN AN AREA WHICH WILL PROVIDE ACCESS TO THE ELEVATOR DRIVE ASSEMBLY BY THE MANUAL LOWERING HANDLE. MANUAL LOWERING HANDLE WILL ENABLE USER TO OVERPOWER BRAKE AND LOWER CAR WITHOUT BODILY ENTRY TO THE HOISTWAY
- 4- THE PIT FLOOR SHALL BE CONSTRUCTED TO WITHSTAND AN IMPACT LOAD OF 6400 LBS [2903kg]. REF. CSA B44 SECTION 2.11 (ASME/ANSI A17.1 SECTION 106.)
- 5- HOISTWAY TO BE FREE OF ALL PIPES, WIRING AND OBSTRUCTIONS NOT RELATED TO THE OPERATION OF THE ELEVATOR. FOR COMPLYING WITH LOCAL CODES.
- 6- HOISTWAY CONSTRUCTION REQUIREMENTS MAY VARY FROM REGION TO REGION. DIMENSIONS GIVEN ARE MANUFACTURERS RECOMMENDED CLEARANCES. THEY REFLECT THE RUNNING AND ACCESS CLEARANCES. CONSULT YOUR LOCAL AUTHORITY TO ASSURE COMPLIANCE WITH LOCAL CODES.

DIMENSIONS WARNING

CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.

*STRUCTURAL

- 7- A LOAD BEARING WALL IS REQUIRED TO SUSTAIN RAIL REACTIONS AS SPECIFIED ON DRAWING. BUILDING CONTRACTOR TO DETERMINE IF SUPPORTING WALL WILL SUSTAIN RAIL REACTIONS FOR COMPLYING WITH LOCAL CODES. STRUCTURE TO ANCHOR A CRANK SHAFT AND SAFETY HARNESS, WHERE APPLICABLE/NEEDED, TO BE PROVIDED BY CONTRACTOR.
- 8- SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT. DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.
- 9- SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT. ALL FULL HEIGHT DOORS MUST BE ALIGNED WITH THE DOOR CENTERLINE SHOWN ON PLAN DETAIL. DOOR WITH THE CORE IS BETTER THAN THE HOLLOW DOOR.
- 10- DOOR HANDLES ARE REQUIRED FOR ALL FULL SIZE DOORS.
- 11- SEE INSTALLATION MANUAL FOR DETAILS ON THE INTERLOCKS. INTERLOCKS ARE REQUIRED FOR ALL FULL SIZE DOORS.

*ELECTRICAL

- 12- THE ELEVATOR CONTROLLER IS 24.4" [620mm] WIDE X 23" [584mm] HIGH X 6.7" [170mm] DEEP. THE CONTROLLER IS PROVIDED BY SAVARIA CONCORD AND IS EITHER :
- A : ATTACHED TO THE RAIL WALL INSIDE THE HOISTWAY BETWEEN THE "T" RAILS WITH ACCESS EITHER UNDER THE CAB OR THROUGH THE CAB OF THE ELEVATOR; OR
- B : IN A REMOTE LOCATION EXTERNAL TO HOISTWAY, THAT NEEDS PROPER STRUCTURAL WALL TO SUPPORT THE CONTROLLER ON ALL 4 CORNERS. HOLE POSITIONS ARE = 23.5" [597mm] WIDE BY 21.5" [546mm] HIGH.
- 13- ARRANGE FOR A POWER SUPPLY WITHIN SIGHT OR NEXT TO THE ELEVATOR CONTROLLER PRIOR TO DELIVERY OF THE UNIT (BOTH 240 VOLT AND 115 VOLT). THE 240 VOLT, SINGLE PHASE, DEDICATED CIRCUIT (WITH GROUND) SHALL ORIGINATE FROM A LOCKABLE 2 POLE FUSED DISCONNECT (20 AMP RK 5 RATED FUSES) WITH AUXILIARY CONTACT. THE 115 VOLT, SINGLE PHASE, DEDICATED CIRCUIT (WITH GROUND) SHALL ORIGINATE FROM A LOCKABLE DISCONNECT (15 AMP FUSE). ALL ELECTRICAL TO DISCONNECTS SHALL BE PROVIDED AND INSTALLED BY OTHERS AND MUST COMPLY WITH APPLICABLE CODES.

| | DISCONNECT SIZE | TIME DELAY FUSE SIZE | VOLTS | PHASE | AMPERAGE |
|----------------|-----------------|----------------------|---------|-------|-----------|
| MOTOR & EQUIP. | 30 AMPS | 20 AMPS | 230-240 | 1 | 20.2 AMPS |
| CAB LIGHTS | 15 AMPS | 15 AMPS | 115 | 1 | |

- 14- FIELD ELECTRICAL WIRING AND CONNECTIONS TO HALL-CALLS, PIT SWITCH AND INTERLOCKS ARE PROVIDED.
- 15- LIGHTING SHALL BE A MINIMUM OF 10 FOOT CANDLES (100 LUX) IN CONTROLLER SPACE. THE SWITCH FOR THE LIGHT MUST BE WITHIN 18" [457mm] OF THE HOISTWAY ACCESS . THE LIGHT MUST BE GUARDED TO PREVENT ACCIDENTAL BREAKAGE OR CONTACT WITH THE HOT BULB. THE SWITCH, LIGHT, AND GUARD ARE PROVIDED AND INSTALLED BY OTHERS. (MUST COMPLY WITH APPLICABLE CODES) .LIGHTING OF 100 LX MIN. AT PLATFORM AND LANDINGS . LIGHTING WITH SWITCH AND ELECTRICAL GFCI OUTLET IN HOISTWAY PIT.
- 16- IF A TELEPHONE CIRCUIT IS REQUIRED (OPTION FOR ELEVATOR) JACK IS PROVIDED AND INSTALLED BY OTHERS. THIS CIRCUIT SHALL BE BROUGHT TO A LOCATION NEXT TO THE CONTROLLER AND BE AVAILABLE TO CONNECT AND TEST UPON ELEVATOR INSTALLATION.
- 17- THE APPROPRIATE ENVIRONMENT FOR THE ECLIPSE IS BETWEEN 0C TO +40C (32F TO 104F), 20-80% HUMIDITY (NON-CONDENSING). VF DRIVE RELIABILITY IMPROVES IN ENVIRNMENTS WITHOUT WIDE TEMPERATURE FLUCTUATIONS.

WHEN CONTROLLER EXTERNAL

- 18- LOCATION / ACCESS- "CONTROLLER ROOM" LOCATED AT THE LOWEST LEVEL ADJACENT TO HOISTWAY, UNLESS SHOWN OTHERWISE ON THE LAYOUT DRAWINGS. FIELD ADJUSTMENT BY INSTALLER MAY BE NECESSARY TO MEET JOB SITE CONDITIONS OR REGULATIONS. ACCESS TO CONTROLLER ROOM TO BE THROUGH A SELF CLOSING LOCKABLE DOOR WHERE CODE CONSIDER IT AS A MACHINE ROOM. WHEN APPLICABLE SLEEVES FOR ELECTRIC LINES.

*CODE

- 19- ALTHOUGH THE ELEVATOR IS DESIGNED TO MEET CSA B44 [ANSI A17.1], LOCAL CODES MAY VARY. DEALER IS RESPONSIBLE FOR COMPLYING WITH LOCAL CODES.

GENERAL

CLASSIFICATION: _____ Residential Building

APPLIED CODE: _____ ASME 17.1-2010 SEC. 5.3

MODEL: _____ Eclipse

CAPACITY: _____ 950lbs

NOMINAL SPEED: _____ 40 fpm [0.20 m/s] UP AND DOWN

TRAVEL: _____ 360 "

PIT DEPTH: _____ 8 "

POWER SUPPLY: _____ 60 HzSingle Phase 240 volt

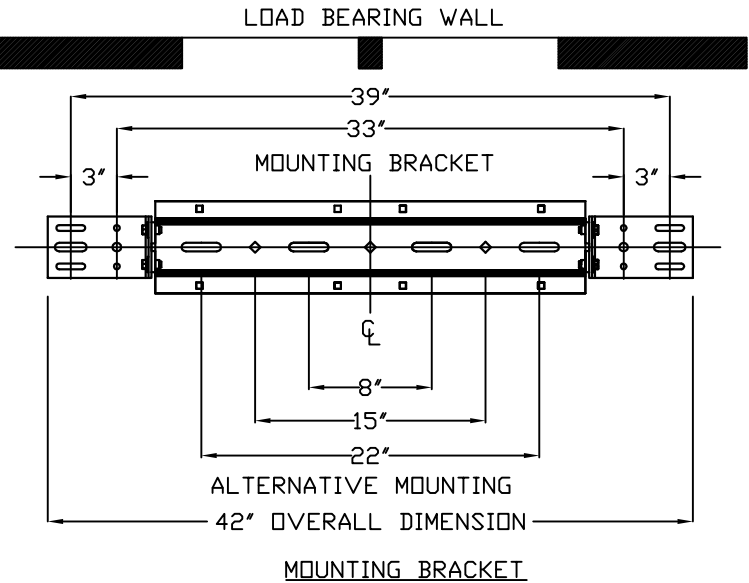
DRIVE UNIT

DRIVE ASSEMBLY MFR. _____ CONCORD

MOTOR: _____ 2.0 Hp W/Integral Brake FROM NORD

GEAR MODEL: _____ 42.17:1 Ratio Gear Box

MOTOR CONTROLLER: _____ Preprogrammed VF Drive.



FIRST DOOR BY LANDING CHART

| | LANDING 1 | LANDING 2 | LANDING 3 | LANDING 4 |
|----------------------|------------------|------------------|------------------|------------------|
| DOOR TYPE | Doors By Others | Doors By Others | Doors By Others | Doors By Others |
| ENTRANCE SIDE | Side A | Side A | Side A | Side A |
| DOOR SWING | Right Hand Swing | Right Hand Swing | Right Hand Swing | Right Hand Swing |
| LOCK TYPE | Porta Lock | Porta Lock | Porta Lock | Porta Lock |
| AUTO DOOR OPENER | | | | |
| HALL CALL KEY SWITCH | | | | |
| FLOOR MARKING | 1 | 2 | 3 | 4 |

| RAIL FORCES | |
|---|-------------------|
| | |
| *R1 | *R2 |
| 138.2 kg [304 lbf] | 88.2 kg [194 lbf] |
| RAIL WEIGHT : 24.5 kg / m [18.0 lbs / ft] | |

| R3 NOTE: |
|---|
| PIT FLOOR TO SUPPORT LOAD OF: 2909 kg [6400 lbs] * (INCLUDES IMPACT) |

4 WALL ANCHOR POINTS MIN. PER BRACKET
2 PER SIDE OF RAIL BRACKET CENTER LINE
PULL OUT FORCE PER FASTENER 69 kg [152 lbs]

CAR FINISH DETAILS

CAB PANEL SELECTION: _____ To Be Determine

CAB SPECIAL FINISH: _____ Not applicable

CEILING SELECTION: _____ standard (white)

POT LIGHT FINISH: _____ Stainless Steel

TRIM COLOUR: _____ Clear Anodized Aluminum

CAR STATION PLATE: _____ Clear Anodized Alum. with PI

HAND RAIL TYPE: _____ Clear Anodized Aluminum

CAB FLOORING: _____ Plywood Floor 3/4"

FINISHED FLOOR THICKNESS: _____ 3/4" finish

TELEPHONE BOX: _____ Telephone Box Required

HALL CALL STATIONS: _____ Call Stations are the Same

HALL CALL FINISH: _____ Rect. Clear Anodized Aluminum

TELEPHONE CABINET: _____ Telephone Box Required

CAR DIMENSIONS/PLATFORM GATES

CAB TYPE: _____ Type 1 Left Hand

CAB OPERATION: _____ auto

GATES REQUIRED: _____ Manual Gates

GATE TYPE: _____ Panel Fold(Clear)WHT 3 Plexi

GATE FINISH: _____ Gate Finish : Hard Hinges /locking mechanism

LANDING DOOR FINISH: _____ N/A

SUSPENSION

TYPE: _____ DUAL #60 ROLLER CHAIN RATIO 1:1

CONSTRUCTION: _____ ANSI B29.1

NOMINAL STRENGTH: _____ 9020 LBS PER CHAIN

CHAIN LENGTH: _____ 405 "

SAFETIES: _____ TYPE A

OPTIONS

FASTENERS: _____ Lag Bolts

ADDITIONAL CABLE: _____ Additional Cable Not Required

TEMP. RUN BUTTON: _____ Temp Run Button not included

DISCONNECT: _____ By Others

BUFFER SPRING: _____ no

PHONE: _____ Standard Phone Provided

TRAVELING CABLE: _____ Flat Travelling Cable provided

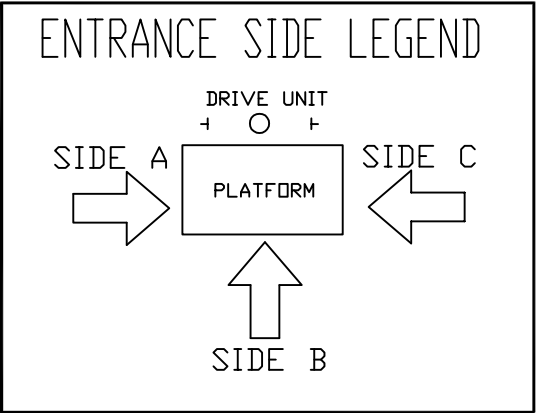
LED POT LIGHT: _____ LED Pot Light

FLOOD SWITCH: _____ Not Required

ECLIPSE WHEELS UPGRADE: _____ Guide shoe

CW SAFETY REQUIRED: _____ No

NY CAM KIT: _____ No



| OFFICE USE ONLY: | |
|------------------------------|-----------|
| CONFIGURATION VERSION STAMP: | 0.0 |
| MODULE VERSION STAMP: | E-S-73187 |

| | |
|-------------|--------|
| Part No. | |
| Variant No. | 159661 |

| | |
|-----------|----------|
| | |
| JOB No. | P-000000 |
| SHEET No. | 3 OF 3 |

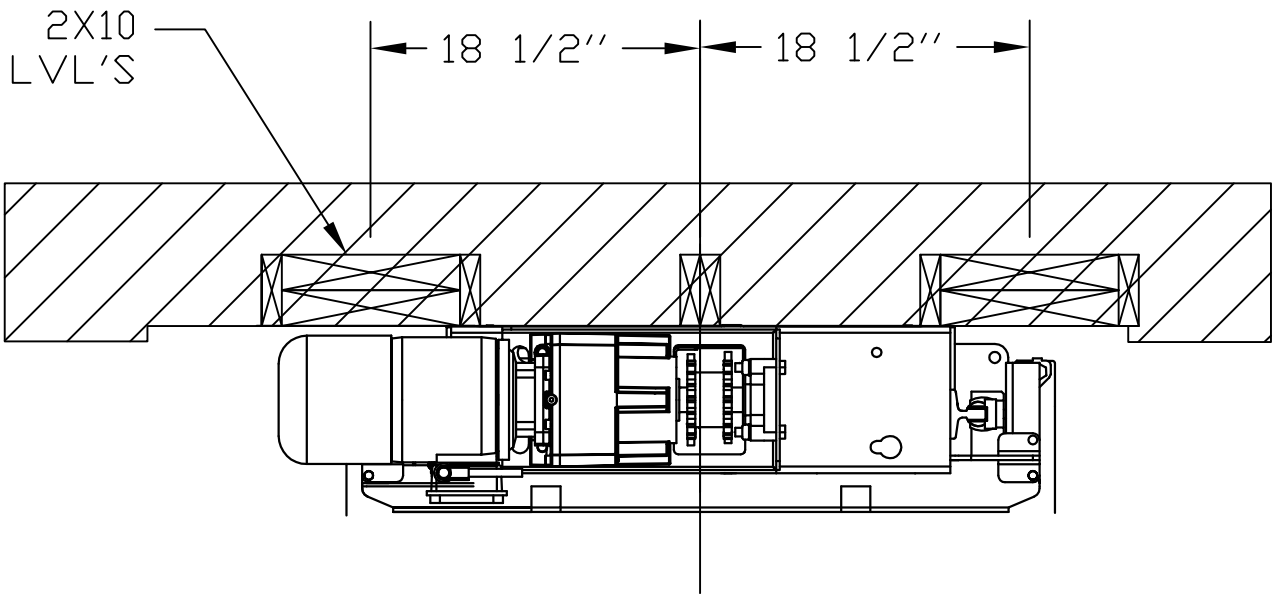
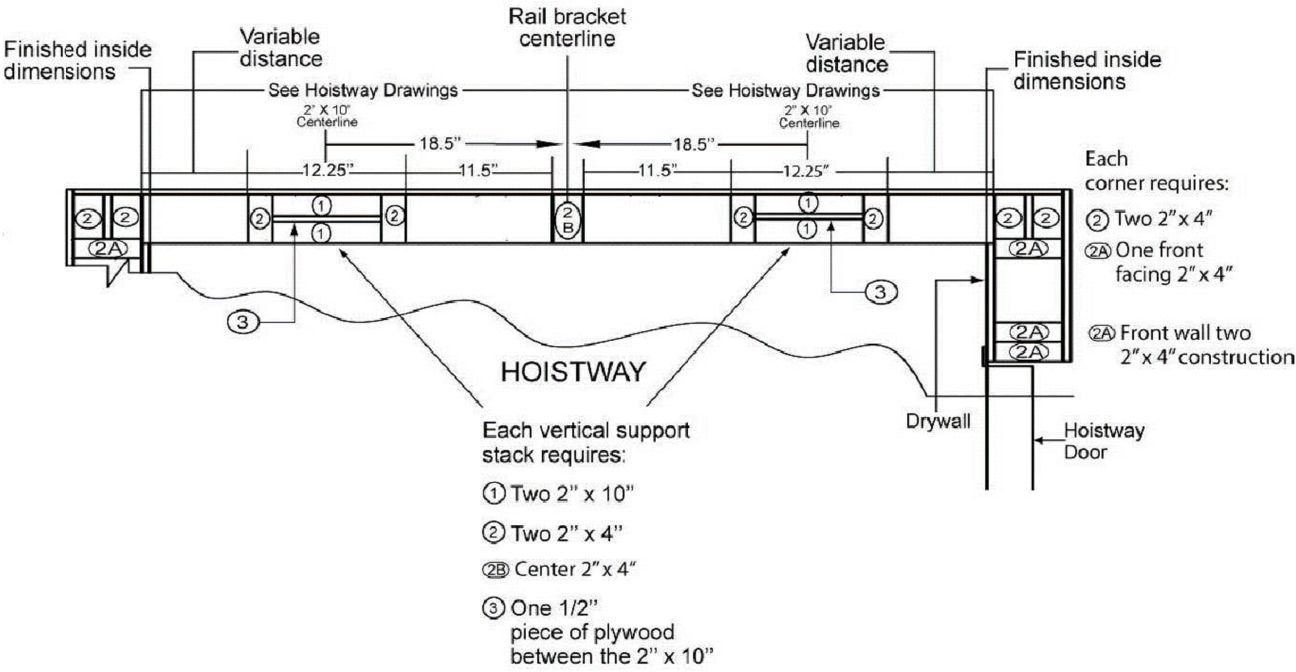
DATA SHEET

| | |
|-----------|---|
| CUSTOMER: | PREMIER LIFTS-SAVARIA USA |
| PROJECT: | Kassum Residence |
| ADDRESS: | 3045 West Lane Keys Washington, DC 20007 |

| | |
|----------------|-------------|
| DATE: | 07/05/19 |
| REVISION DATE: | 07/05/19 |
| COMPLETED BY: | Vince Russo |

- NOTE:
- 1. THIS DRAWING IS FOR REFERENCE ONLY. BUILDING STRUCTURAL ENGINEER TO ENSURE THAT THE BUILDING AND HOISTWAY WILL SAFELY SUPPORT ALL LOADS IMPOSED BY THE LIFT EQUIPMENT
 - 2. FIRE RATING OF HOISTWAY IS SUBJECT TO LOCAL BUILDING CODES.

EXAMPLE OF MINIMUM SUPPORT WALL IN WOOD



| RAIL FORCES | |
|--|----------------------|
| | |
| * R1 | * R2 |
| 138.2 kg [304 lbf] | 88.2 kg [194 lbf] |
| RAIL WEIGHT : 24.5 kg / m [18.0 lbs / ft] | |

| R3 NOTE: |
|--|
| PIT FLOOR TO SUPPORT LOAD OF: 2909 kg [6400 lbs] * (INCLUDES IMPACT) |

4 WALL ANCHOR POINTS MIN. PER BRACKET
2 PER SIDE OF RAIL BRACKET CENTER LINE
PULL OUT FORCE PER FASTENER 69 kg [152 LBS]

FASTNERS PROVIDE WITH ELEVATOR ARE:
1/2" X 3" ZINC GRADE 5 CARBON STEEL
HEX HEAD LAG FOR WOOD BLOCKING OR
1/2" X 3" HEX NUT SLEEVE ANCHOR
STEEL ZINC FOR CONCRETE BLOCKING

