

3140 Q ST. NW WASHINGTON DC 20007 REAR PARKING SPACE WITH SIDE RETAINING WALL

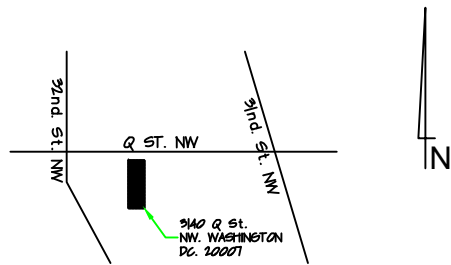
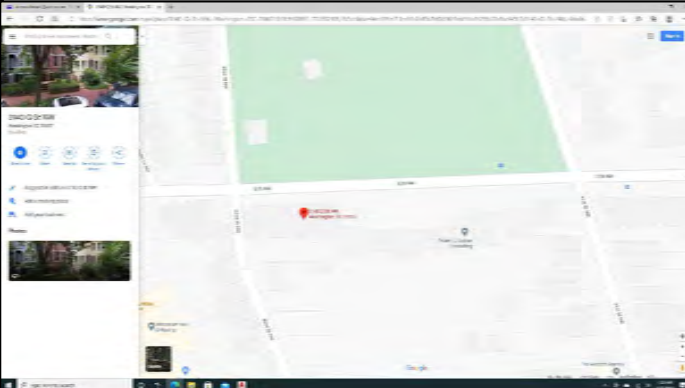
DAMAT SERVICES INC.
ARCHITECTURAL DWG
Interiors
P.O. BOX 4632 # CROFTON - MARYLAND
Tel: 240.535.0223 # damatinteriors.com

- General Notes:**
- DO NOT SCALE DRAWINGS. Verify all conditions in the field prior to construction. Notify the Designer of any discrepancies.
 - All dimensions are to face of drywall, unless otherwise noted.

REAR NEW PARKING AREA & RETAINING WALL 3140 Q. ST. NW. WASHINGTON DC. 20007

PROJECT
SHEET TITLE:
COVER SHEET
DATE:
PERMIT SEE: 11.01.2020
CLIENT:
MR. JAMES LINEN
3140 Q. ST. NW
WASHINGTON DC 20007
Scale: As Shown
Job No.:
Drawn by: JV
Checked by: JV
Sheet No.:
CS

VICINITY MAP



CONTACT INFORMATION

ENGINEERS:
DAMAT SERVICES INC.
GEORGE I. WORSLEY CONSULTANT ENGINEER
7304 GEORGIA AV. NW. WASHINGTON DC.
240.535.0223

OWNER:
MR. JAMES LINEN
3140 Q ST. NW.
WASHINGTON DC. 20007

DESIGN TEAM

DRAWINGS BY: DAMAT SERVICES INC.
JORGE VALVERDE
P.O BOX 3784
CROFTON MD. 21114
(240) 535-0223

ENGINEER: GEORGE I. WORSLEY ASSOCIATES
P.O BOX 3784
CROFTON MD. 21114
(240) 535-0223

SCOPE OF WORK

- REAR PARKING SPACE - 3'MAX H RETAINING WALL
- CONCRETE STAIRS & BRICK PAVER PARKING AREA

BUILDING CODE DESIGN INFORMATION

APPLICABLE CODES:
IBC 2012, IPC 2012, IMC 2012, NEC 2011, NFPA 2012, IECC 2012, DCRA REHABILITATION CODE, WASHINGTON DC ACCESSIBILITY CODE AND THE STATE OF WASHINGTON DC BUILDING STANDARDS

SYMBOLS

- NORTH ARROW
- ELEVATION
- PLAN DETAIL
- SECTION
- INTERIOR ELEVATIONS
- DOOR TYPE
- PARTITION TYPE
- FINISHES
- NOTE (PLAN OR ELEVATION)
- WINDOW TYPE
- REVISIONS

DRAWING INDEX

- C.S COVER SHEET
- A.1 EXISTING FLOOR PLANS & DEMO. PLANS
- A.2 NEW PARKING AREA - CONSTRUCTION DETAILS
- A.3 SITE PLAN DESIGN

ABBREVIATIONS

∠ AND ANGLE	MAS. MASONRY
AT	MAX. MAXIMUM
BASMT. BASEMENT	MECH. MECHANICAL
C CENTERLINE	MET. METAL
∅ DIAMETER OR ROUND	MFG. MANUFACTURER
⊥ PERPENDICULAR	MNL. MINIMUM
ACOUS. ACOUSTICAL	MIS. MISCELLANEOUS
A.F.F. ARCH. FINISH FLOOR	M.O. MASONRY OPENING
ALUM. ALUMINUM	MTD. MOUNTED
APPROX. APPROXIMATE	N.A. NOT APPLICABLE
ARCH. ARCHITECTURAL	N.L.C. NOT IN CONTRACT
BA BATHROOM	N.O./# NUMBER
BD. BOARD	O.A. OVERALL
B.H. BULKHEAD	O.C. ON CENTER
BLDG. BUILDING	O.D. OUTSIDE DIAMETER
BLDG. BLOCKING	O.F. OFFICE
BOT. BOTTOM	O.H. OFFSHOOT
BR BEDROOM	OPNS. OPENING
C CHANNEL	O.R. OUTSIDE RADIUS
CAB. CABINET	P.L. PROPERTY LINE
CER. CERAMIC	PL. PLATE
C.E. CEILING	P. LAM. PLASTIC LAMINATE
C.L. CLOSURE	P.L.W. PLYWOOD
CAU. CONCRETE MASONRY UNITS	PFD. PAINTED
COL. COLUMN	R RISER
CONC. CONCRETE	RAD. RADIUS
CONST. CONSTRUCTION	R.D. ROOF DRAIN
CORR. CORRUGATED	RECF. RECEPTACLE
D DEEP	RECF. RECEPTACLE
D.F. DRAINING FOUNTAIN	RECF. RECEPTACLE
D.S. DOWNPOUT	R.F. ROOM OPENING
DET. DETAIL	R.C. REINFORCED
DN. DOWN	S.C. SOLID CORE
D.O. DOOR OPENING	SCH. SCHEDULE
DR. DRAWING	S.D. SOAP DISPENSER
E.A. EACH	SECT. SECTION
E.L.C. ELECTRICAL	SHT. SHEET
E.L. EQUAL	SPEC. SPECIFICATIONS
E.L.C. ELECTRICAL	ST. STAINLESS STEEL
EXST. EXISTING	STL. STANDARD
EXP. EXPANSION	SUSP. SUSPENDED
EXT. EXTERIOR	T TREAD
F.E. FIRE EXTINGUISHER	TEL. TELEPHONE
F.E.C. FIRE EXTINGUISHER CABINET	THK. THICK
F.F. FIRE FLOOR	T.O. TOP OF
F.L.C. FIRE LUCE CABINET	T.O.D. TOP OF
F.F.T. FLOOR	TYP. TYPICAL
FLOOR. FLOORESENT	U.O.N. UNLESS OTHERWISE NOTED
FT. FOOT OR FEET	V.C.T. VENT. COMPOSITION TILE
GA. GAUGE	VERT. VERTICAL
GALV. GALVANIZED	W WIRE
GL. GLASS	W/ WITH
G.P. GIPSUM	W/O WITHOUT
H. HIGH	W/C WITHIN
H.W.D. HARDWOOD	W.F. WELDED WIRE FABRIC
H.M. HOLLOW METAL	
HORIZ. HORIZONTAL	
HR. HOUR	
HT. HEIGHT	
INSUL. INSULATION	
INT. INTERIOR	
JAN. JANITOR CLOSET	
JT. JOINT	
KIT. KITCHEN	
LAV. LAVATORY	

GENERAL NOTES

CODES, STANDARDS & PROCEDURES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE WASHINGTON DC. MD'S BUILDING CODE AND AMENDMENTS, AND ALL OTHER APPLICABLE FEDERAL, AND STATE LAWS AND ORDINANCES, ACCESSIBILITY CODES, STANDARDS, AND REGULATORY AGENCIES.
- ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS, MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPES OF DETAILING REQUIRED FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED.
- EACH CONTRACTOR SHALL KEEP ACCURATE RECORDS OF ALL WORK WHICH DIFFERS FROM CONTRACT DOCUMENTS SO THAT ACCURATE RECORD DRAWINGS AND SPECIFICATIONS CAN BE KEPT AND PROVIDED BY THE CONTRACTOR TO THE OWNER AT PROJECT CLOSEOUT.
- EACH CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF. FAILURE TO EXAMINE THE SITE AND DETERMINE EXISTING CONDITIONS OR NATURE OF NEW CONSTRUCTION, OR NATURE AND EXTENT OF WORK TO BE PERFORMED BY OTHER TRADES WILL NOT BE CONSIDERED A BASIS FOR GRANTING OF ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS, ADJACENT BUILDINGS AND STREETS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATIONS, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.

DIMENSIONS:

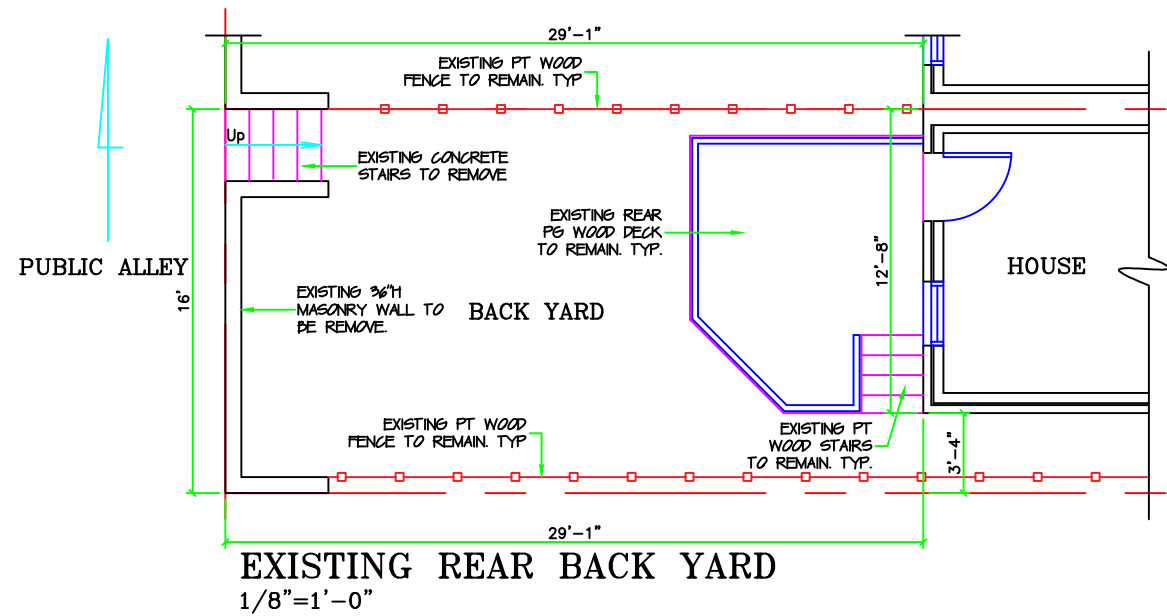
- DO NOT SCALE THE DRAWINGS, DIMENSIONS SHALL GOVERN. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE. WHERE A DISCREPANCY MAY EXIST BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE RESTRICTIVE OR EXPENSIVE REQUIREMENTS SHALL GOVERN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE, AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- ALL PARTITIONS ARE DIMENSIONED TO THE FACE, UNLESS NOTED OTHERWISE. WHERE SPECIFIC DIMENSIONS, DETAILS AND/OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT IN WRITING BEFORE PROCEEDING WITH WORK IN QUESTION.
- DOOR OPENINGS THAT ARE NOT DIMENSIONALLY LOCATED ARE TO BE CENTERED BETWEEN WALLS OR POSITIONED WITH ONE JAMB CASING TRIM AGAINST AN ADJACENT WALL OR COLUMN AS SHOWN ON THE PLANS AND/OR DETAILS.

COORDINATION:

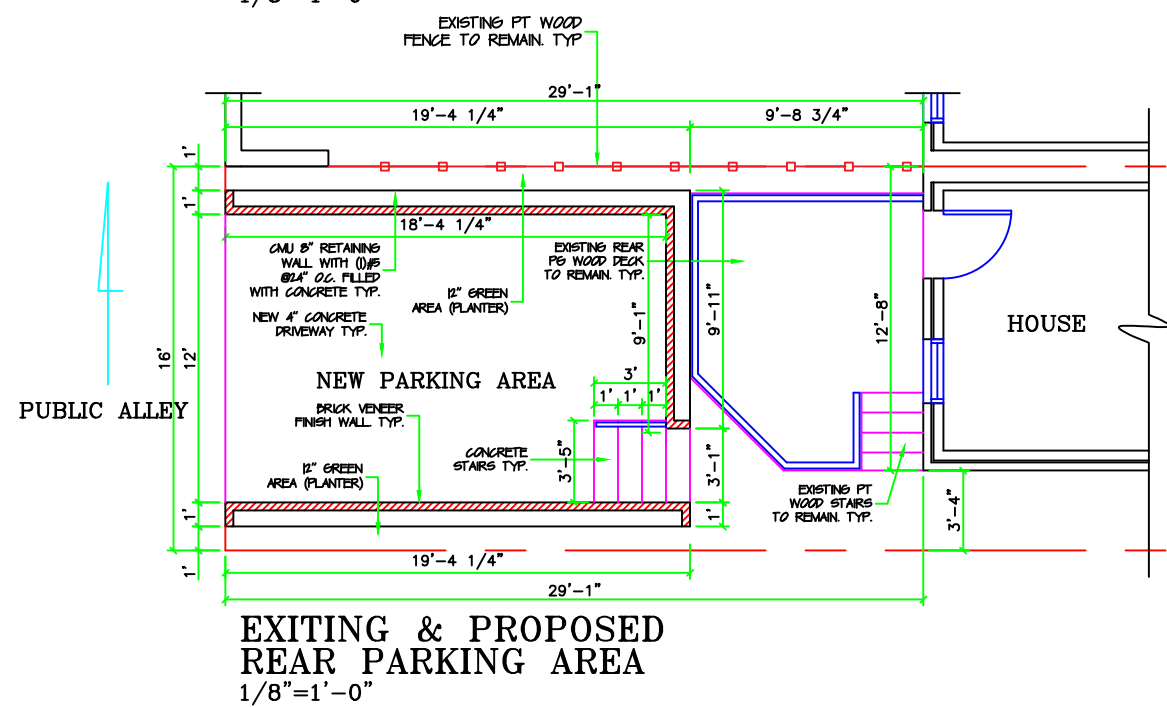
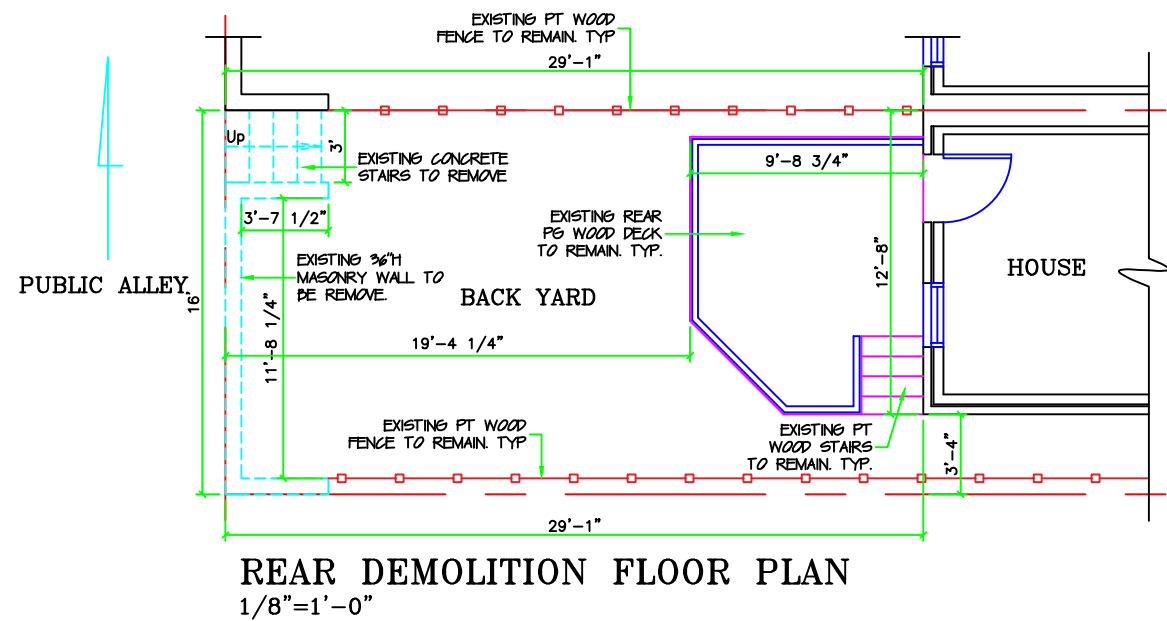
- REFER TO THE SPECIFICATIONS AND CIVIL, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR FULL COORDINATION OF THE WORK.
- THE CONTRACTOR SHALL COORDINATE ADDITIONAL SUPPORT OR CONCEALED BLOCKING REQUIRED FOR INSTALLATION OF HANDRAILS, MILLWORK, WALL PANELS, GRAB BARS, CABINETS AND ALL OTHER SURFACE MOUNTED COMPONENTS.
- THE CONTRACTOR SHALL COORDINATE AND VERIFY THE EXACT SIZE AND LOCATION OF ALL FLOOR PENETRATIONS AND WALL OPENINGS WITH EACH OF THE RESPECTIVE MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION TRADES. CONTRACTOR SHALL PROVIDE CONCRETE SLAB PENETRATION SHOP DRAWINGS SHOWING THE LOCATION OF ALL OPENINGS.
- THE CONTRACTOR SHALL COORDINATE LAYOUT OF CEILING MOUNTED FIXTURES, DEVICES, AND DUCTWORK, AND SHALL IDENTIFY POTENTIAL CONFLICTS INVOLVING ELEMENTS WITHIN THE CEILING CAVITY. ANY VARIATIONS OR CONFLICTS WITH LAYOUT OR CEILING HEIGHT SHOWN SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION.
- ALL CONDUIT, PIPING, DUCTWORK, AND MECHANICAL SYSTEMS SHALL BE INSTALLED WITHIN OR TIGHT TO THE UNDERSIDE OF STRUCTURE WHERE FEASIBLE, UNLESS NOTED OTHERWISE.
- REFER TO MEPPD DRAWINGS FOR EXTENT OF CONCRETE EQUIPMENT PADS. THE CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF THE CONCRETE PADS WITH THE EQUIPMENT INSTALLER.

DESIGN CRITERIA

- FLOOR LIVE LOAD = 40 POUNDS PER SQUARE FOOT (psf) except in sleeping rooms where the live load = 30 psf
- ROOF LIVE LOAD = 30 psf, with additional load for roof areas subjected to drifting.
- BASIC WIND SPEED = 115 mph, 3-second gusts, Seismic Design Category = B
- FROST/FOOTING DEPTH = 30 INC.



NOTE: THESE PLANS ARE FOR THE USE OF THE BUILDER IN FACILITATING CONSTRUCTION. ALL DIMENSIONS INDICATED ARE APPROXIMATE AND MAY VARY DUE TO ADJUSTMENTS REQUIRED IN THE FIELD. OPTIONAL FEATURES, FINISHES, ELECTRICAL AND H.V.A.C. EQUIPMENT MAY OR MAY NOT BE INDICATED ON PLANS.



APPROVAL STAMP

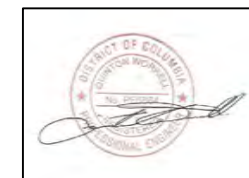
DATE: OCTOBER 30-2020

OWNER: MR. JAMES LINEIN
BUILDER:

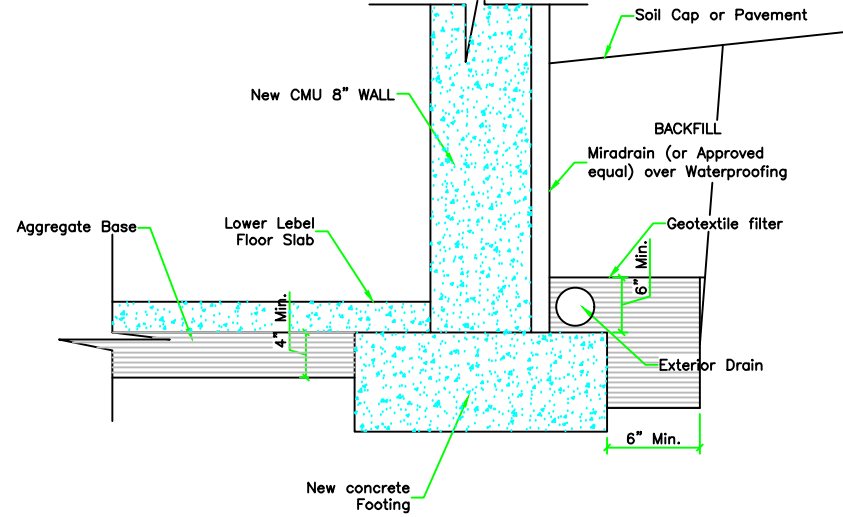
DESIGN BY: DAMAT SERVICES INC.
DRAWING BY: JORGE VALVERDE

3140 Q ST. NW
WASHINGTON DC 20007
REAR PARKING SPACE
WITH SIDE RETAINING WALL

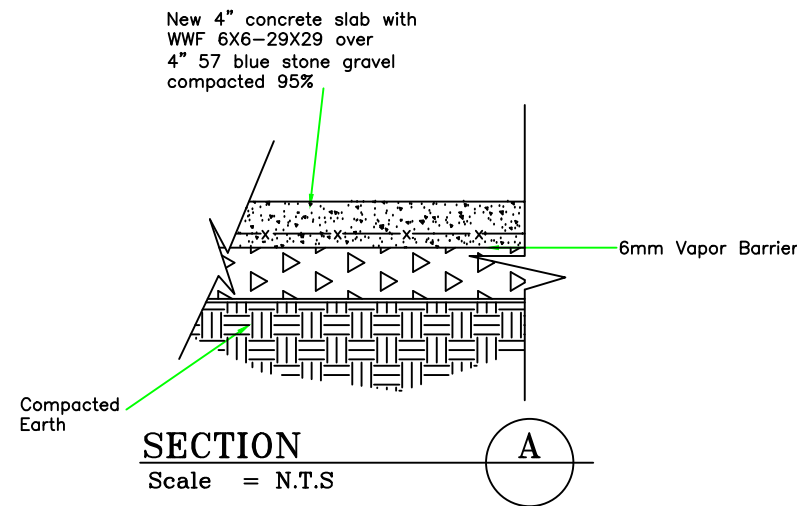
EXISTING FLOOR PLANS
& DEMOLITION FLOOR
PLANS



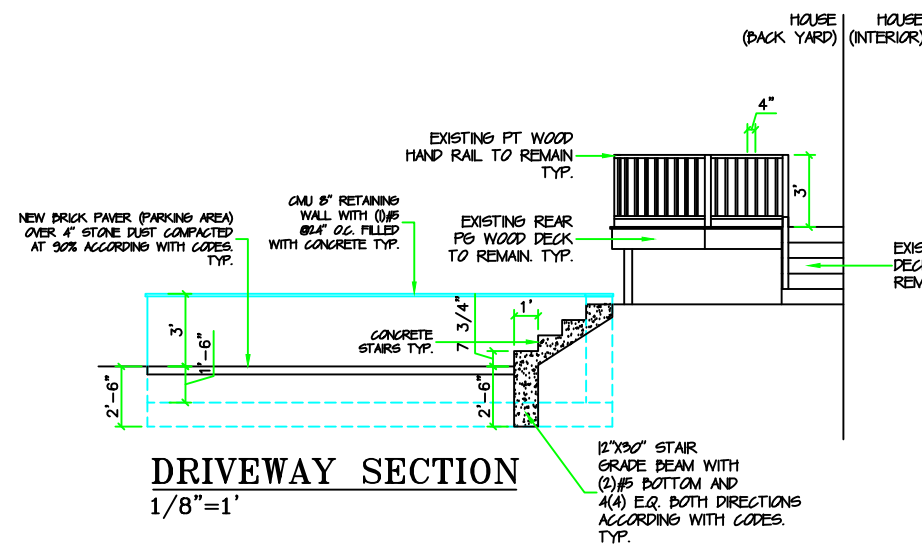
A1



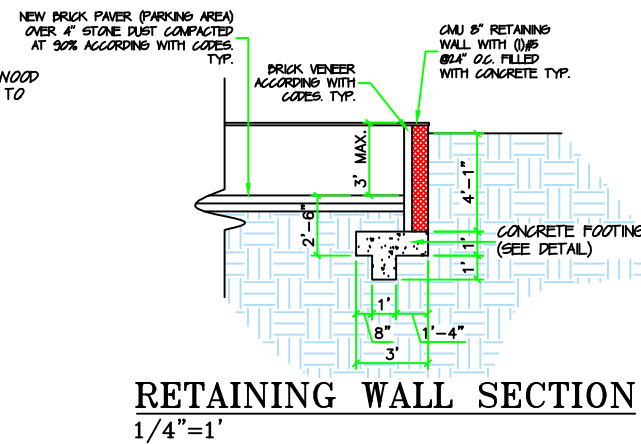
DRAIN WALL SECTION (TYP)
SCALE = N.T.S.



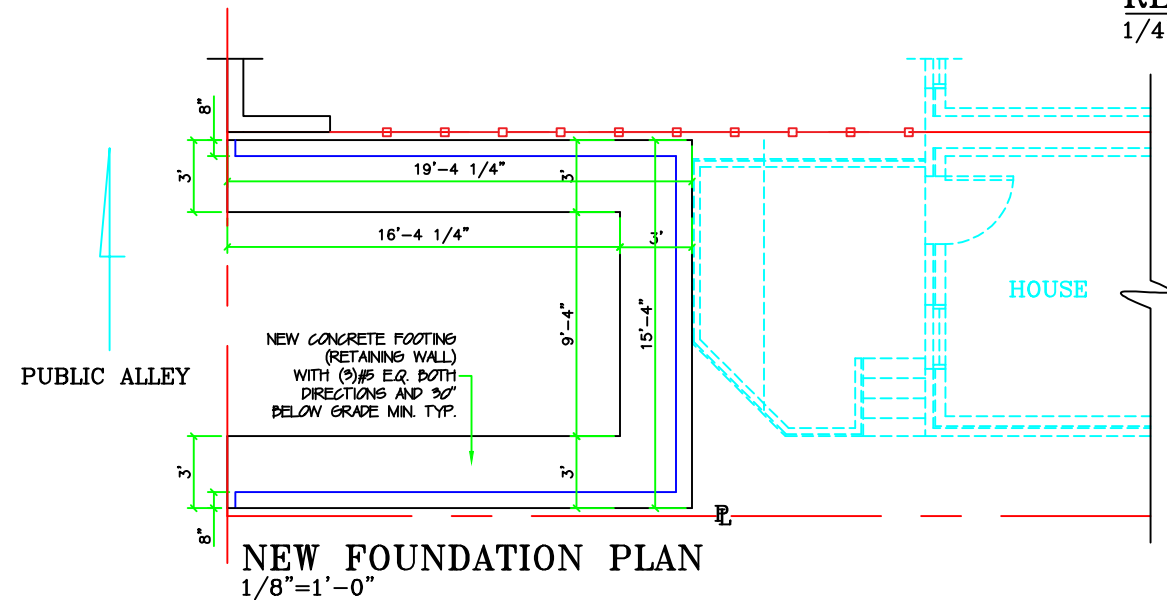
SECTION A
Scale = N.T.S.



DRIVEWAY SECTION
1/8"=1'



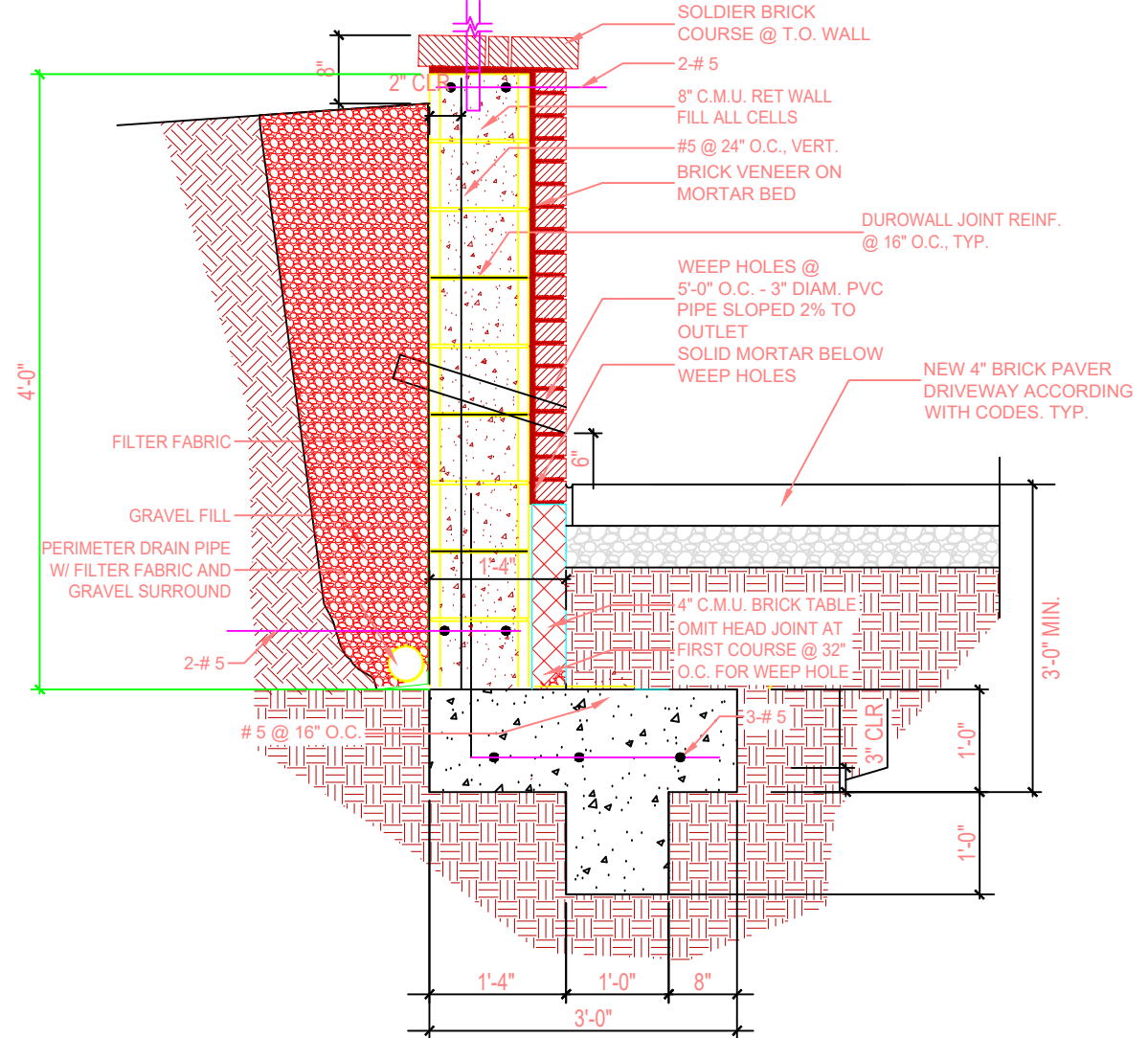
RETAINING WALL SECTION
1/4"=1'



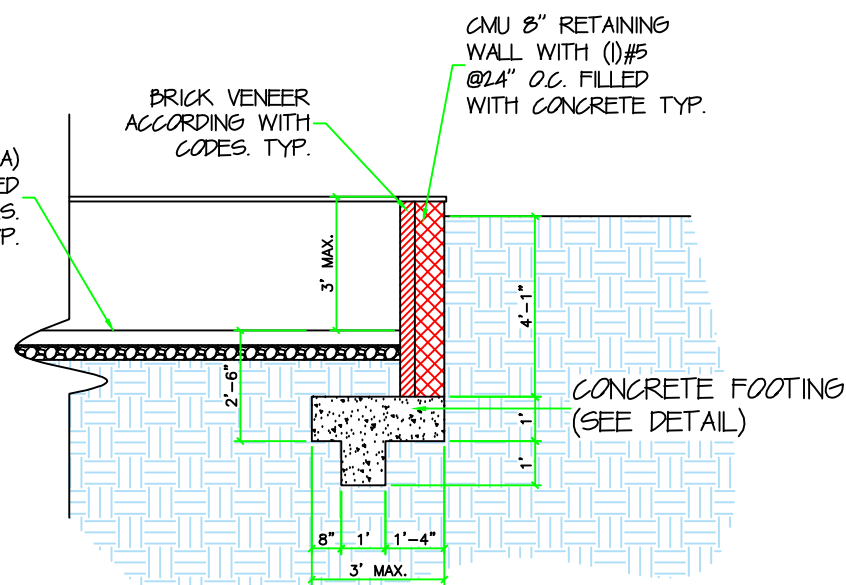
NEW FOUNDATION PLAN
1/8"=1'-0"

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2. ROOF LIVE LOAD = 30 psf, with additional load for roof areas subjected to drifting.
3. BASIC WIND SPEED = 90 mph, 3-second gusts, Seismic Design Category = B
4. FROST/FOOTING DEPTH = 30 INC.



NEW RETAINING WALL (TYP)
SCALE=N.T.S.



RETAINING WALL SECTION
SCALE = N.T.S.

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BUILDER:

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JORGE VALVERDE

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REAR PARKING SPACE
WITH SIDE RETAINING WALL

FOUNDATION FLOOR
PLAN, WALL SECTION
CONSTRUCTION DETAILS



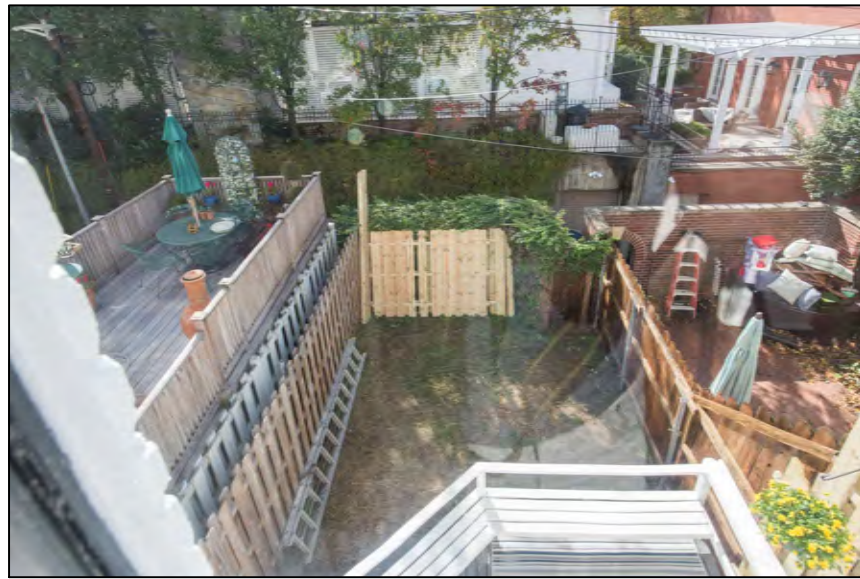
A2



FRONT ELEVATION



REAR ELEVATION



BACK YARD VIEW



BACK YARD VIEW



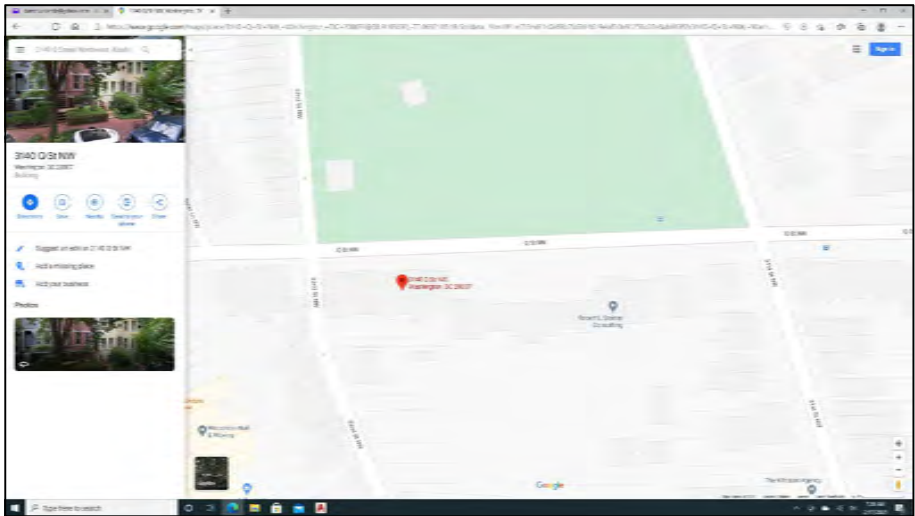
ENTRANCE FROM EXISTING ALLEY (REAR)



ENTRANCE FROM EXISTING ALLEY (REAR)



HOUSE LOCATION (AERIAL VIEW)



HOUSE LOCATION MAP

4x8 HOLLAND PAVER

USE & CARE GUIDE

A timeless classic, the Holland Paver is a versatile product ideal for walkways, patios and garden paths. The traditional brick shape gives a classic look that can be used in a variety of patterns, including herringbone, basket weave and running bond.

Unit Dimensions:
1.77" H x 7.75" L x 3.88" D
(44.95mm x 196.85 mm x 98.55 mm)

Weight: 4 lbs. (1.8 kg)

Units/sq.ft.: 4.8 units

FEATURES & BENEFITS

Use for:

- Walkways, patios, pool areas, edging
- A timeless look due to the traditional brick shape that can be used in a variety of patterns
- Adding curb appeal
- A unique edging for garden flower beds when installed at a 45 degree angle

Installation & Versatility

- DIY friendly due to light weight, modular sized unit
- Small concrete spacer bars on sides of paver provide consistent gap for polymeric sand.
- Modular shape allows for many varied installation patterns

Aesthetics & Performance

- Blended color simulates traditional brick shades
- Economical choice for paving larger areas
- Segmental design allows for easy removal and replacement if underground repairs are ever necessary

Note: Unit color, dimensions, weight & availability may vary by region and by manufacturer

4x8 HOLLAND PAVER

A timeless classic, the Holland Paver is a versatile product ideal for walkways, patios and garden paths. The traditional brick shape gives a classic look that can be used in a variety of patterns, including herringbone, basket weave and running bond.

INSTALLATION INSTRUCTIONS

Refer to www.488.com before digging or excavation begins. Do not excavate where pavers are planned or approximately 4" deep and 2" longer and wider than desired final dimensions. Remove any grass, mud, roots, large rocks and/or organic material.

Use a vibratory plate compactor or hand tamper to compact the new prepared area. Add approximately 2" of paver base material, ensuring it will water to keep moist while compacting. Repeat this process until desired thickness of base is reached. Slightly wet the 4" base to moist that any voids or inconsistencies on the compacted base will be evident on finished paver surface.

Use a vibratory plate or use hand tamper to compact pavers into loose sand setting bed. Care should be taken in this step not to pull or shove any pavers. Use of cardboard sheets or rubber mats under tamper plate are suggested.

Ensure the polymeric sand fits into joints between pavers after initial compaction, being sure to follow manufacturer's recommended installation techniques. You are now ready to enjoy your 4x8 Holland Paver project.



APPROVAL STAMP

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DRAWING BY: DAMAT SERVICES INC. Jorge Valverde

OWNER: MR. JAMES LINEN
BUILDER:
OWNER: DAMAT SERVICES INC.
DESIGN BY: JORGE VALVERDE
240.636.0223

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REAR PARKING SPACE
WITH SIDE RETAINING
WALL

HOUSE PICTURES &
BRICK PAVER
SPECIFICATIONS



A3



ADJACENT NEIGHBOR PARKING AREA (REAR)



ADJACENT NEIGHBOR PARKING AREA (REAR)



A4

NEIGHBORS
EXISTING REAR
PARKING PADS

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