

March 2021

	EXISTING INTERMEDIATE CONTOUR		MATERIAL OR DETAIL CALLOUT
	EXISTING INDEX CONTOUR		ELEVATION CALLOUT
	PROPOSED INTERMEDIATE CONTOUR		SECTION CALLOUT
	PROPOSED INDEX CONTOUR		
	EXISTING SPOT GRADE		
	PROPOSED SPOT GRADE		
	EASEMENT		EXISTING TREE TO REMOVE
	SILT FENCE		EXISTING PLANT TO REMAIN
	PROPERTY LINE		TRANSPLANT PLANT
	LIMIT OF DISTURBANCE		PROPOSED PLANT
	EXISTING FENCE		PROPOSED PLANT MASSES
	TREE PROTECTION FENCE		
	PROPOSED FENCING		
	STEP		
	SLOPE ARROW		

	CONCRETE		SOIL / COMPACTED SOIL / UNDISTURBED SUBGRADE		MORTAR NEXT TO SAND SETTING BED
	COMPACTED AGGREGATE SUB-BASE		STEEL / IRON		BRICK / PAVER
	SAND		WOOD		DRAINAGE GRAVEL
	MORTAR		MULCH		RIGID INSULATION W/ OPEN JOINTS FOR DRAINAGE
	STRUCTURAL / PLANTING / LIGHTWEIGHT SOIL		STONE		ASPHALT CONCRETE W/ NEOPRENE TACK COAT

1. DO NOT SCALE THESE DRAWINGS.
2. DIMENSIONS ARE FROM BACK OF CURB, TO FACE OF WALL, TO OUTSIDE EDGE OF PAVEMENTS; FROM COLUMN CENTERLINES TO HARDSCAPE CENTERLINES, TO CENTERLINE OF PAVEMENTS, TO OUTSIDE EDGE OF PAVEMENTS, TO CENTERLINES OF STAIRS; FROM EDGE OF PAVEMENT TO FACE OF WALL UNLESS OTHERWISE SPECIFIED.
3. ALL CURVES TO BE TRUE RADII WITHOUT STRAIGHT SEGMENTS.
4. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
5. CHANGES IN LAYOUT MAY BE MADE TO ACCOMMODATE DESIGN INTENT OR FIELD CONDITIONS. NO ADDITIONAL PAYMENT WILL BE MADE TO THE CONTRACTOR FOR THIS WORK.
6. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES FOUND IN PLANS AND ANY CONFLICTS ENCOUNTERED IN FIELD.
7. QUANTITIES REFERENCED IN PLANS ARE SHOWN AS A COURTESY ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
8. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
9. ALL WALLS, SIDEWALKS, PATHWAYS, FENCES, AND STAIRWAYS SHALL BE COMPLETELY LAID OUT AND STAKED WITH VISIBLE MARKERS. THE STAKES SHALL BE APPROVED IN THE FIELD BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO SITE VISIT.
10. CONTRACTOR IS RESPONSIBLE FOR ALL WIRING, CONDUIT, FOOTINGS, PERMITS, ETC. NECESSARY TO COMPLETE SITE LIGHTING INSTALLATION. CONTRACTOR TO COORDINATE POWER CONNECTIONS WITH ELECTRICAL ENGINEER AND OWNER.

NUMBER	SHEET NAME
L-001	COVER SHEET
L-101	EXISTING CONDITIONS
L-202	LAYOUT PLAN
L-203	FENCE & GATE LAYOUT
L-401	DETAILS
L-801	SITE SECTIONS

SEAL:



#	Date:	Description:	By:

	DESIGN:	JH
	DRAFTED:	AW
	CHECKED:	JH

SCALE: $\frac{1}{8}'' = 1'-0''$

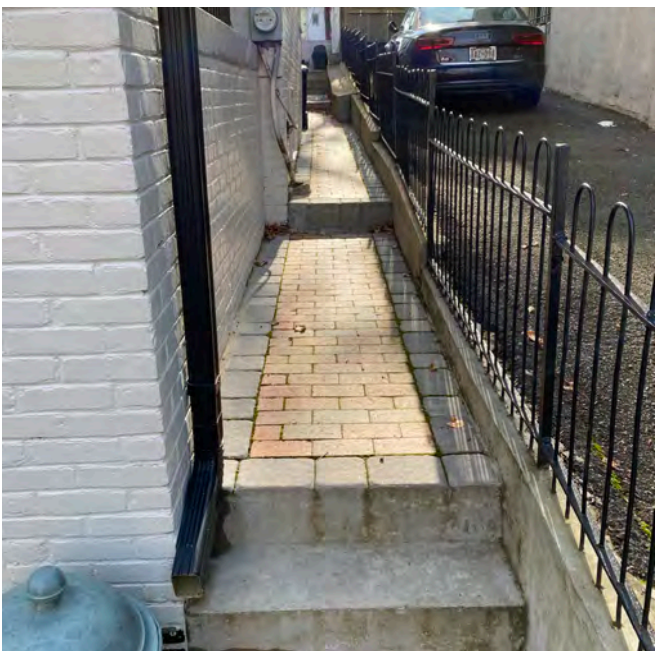
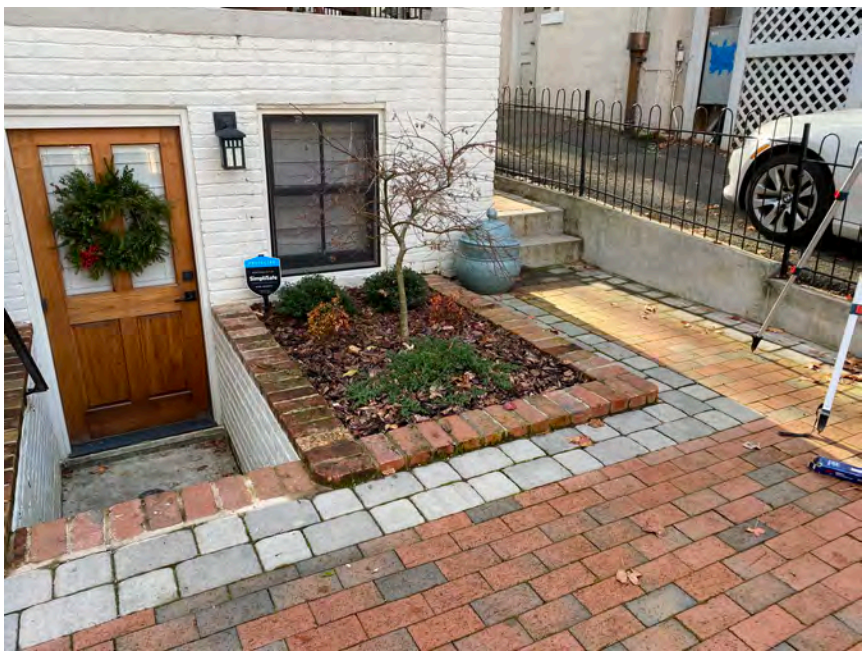
0 4' 8' 16' 24'

ISSUED DATE:	2021-03-17
PROJECT NO:	BREN

L-001



Images of Front of House



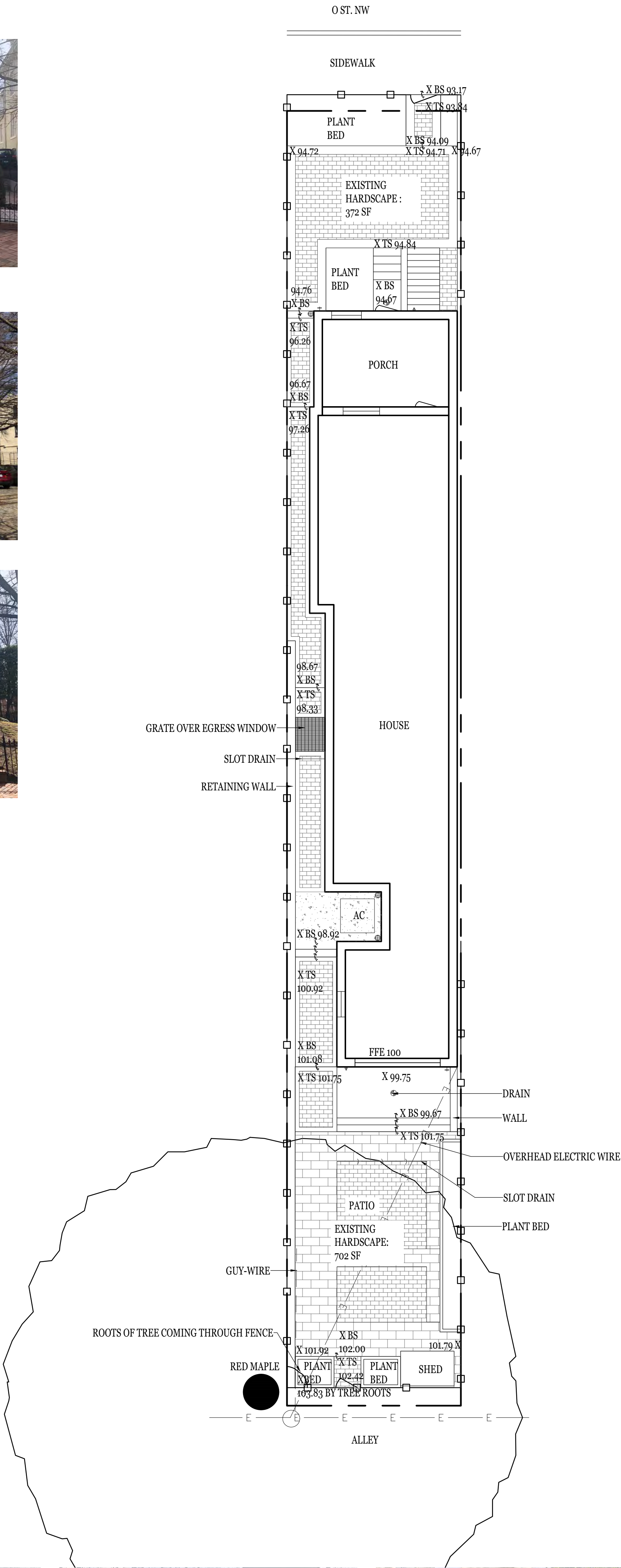
House Connects to Rowhouses on East



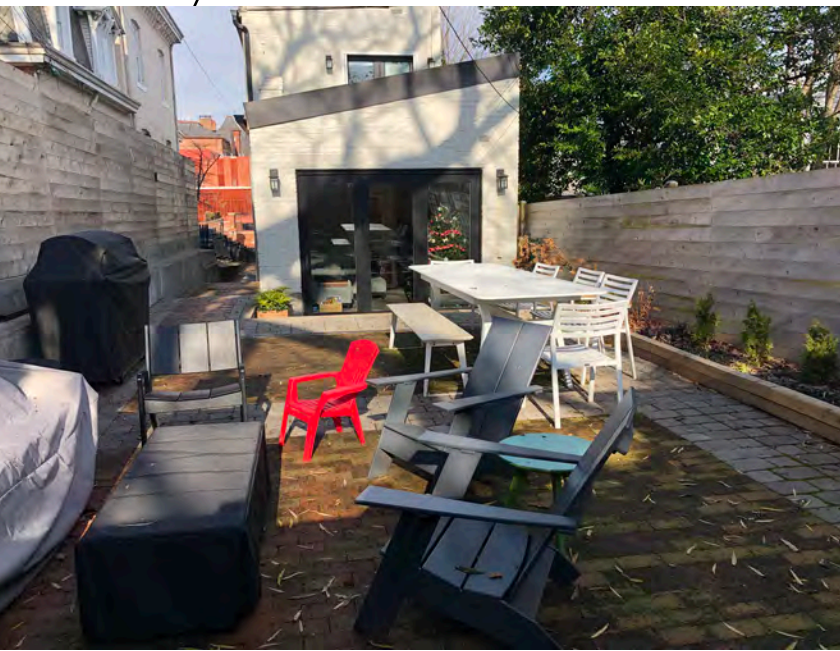
Hyde-Addison Elementary School to the North



St. John's Episcopal Church to the West



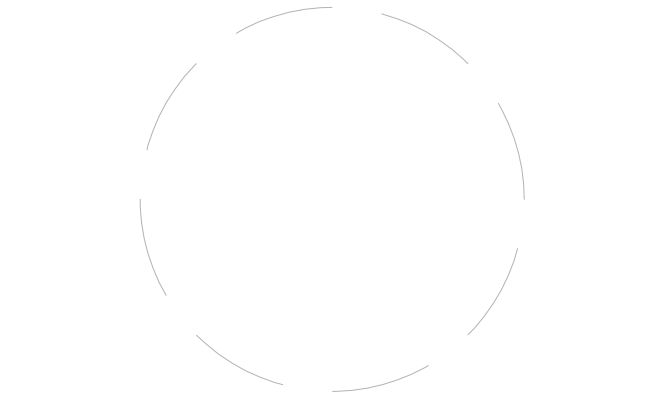
Images of Backyard



Brenneman Residence

3232 O St. North West
Washington, DC 20007

SEAL:



#	Date:	Description:	By:

All designs and ideas contained in these drawings are the sole property of JHLA | Jennifer Horn Landscape Architecture and are not to be duplicated or put to bid without express written consent. Graphic representations are for illustrative purposes; field adjustments may be made during installation in keeping with the design intent.

	DESIGN:	JH
	DRAFTED:	AW
	CHECKED:	JH

SCALE: 3/8" = 1'-0"

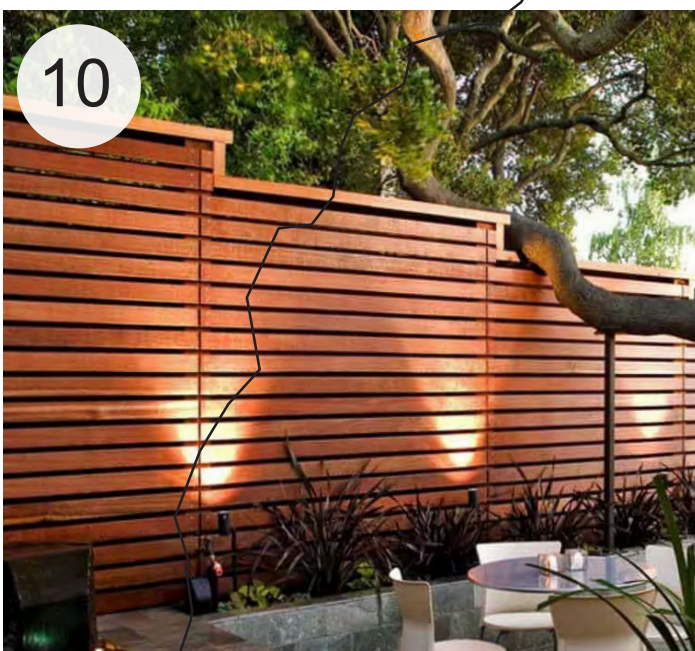


ISSUED DATE:	2021-03-17
PROJECT NO:	BREN

EXISTING
CONDITIONS

L-101

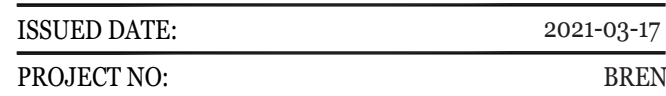
Storage



Fencing



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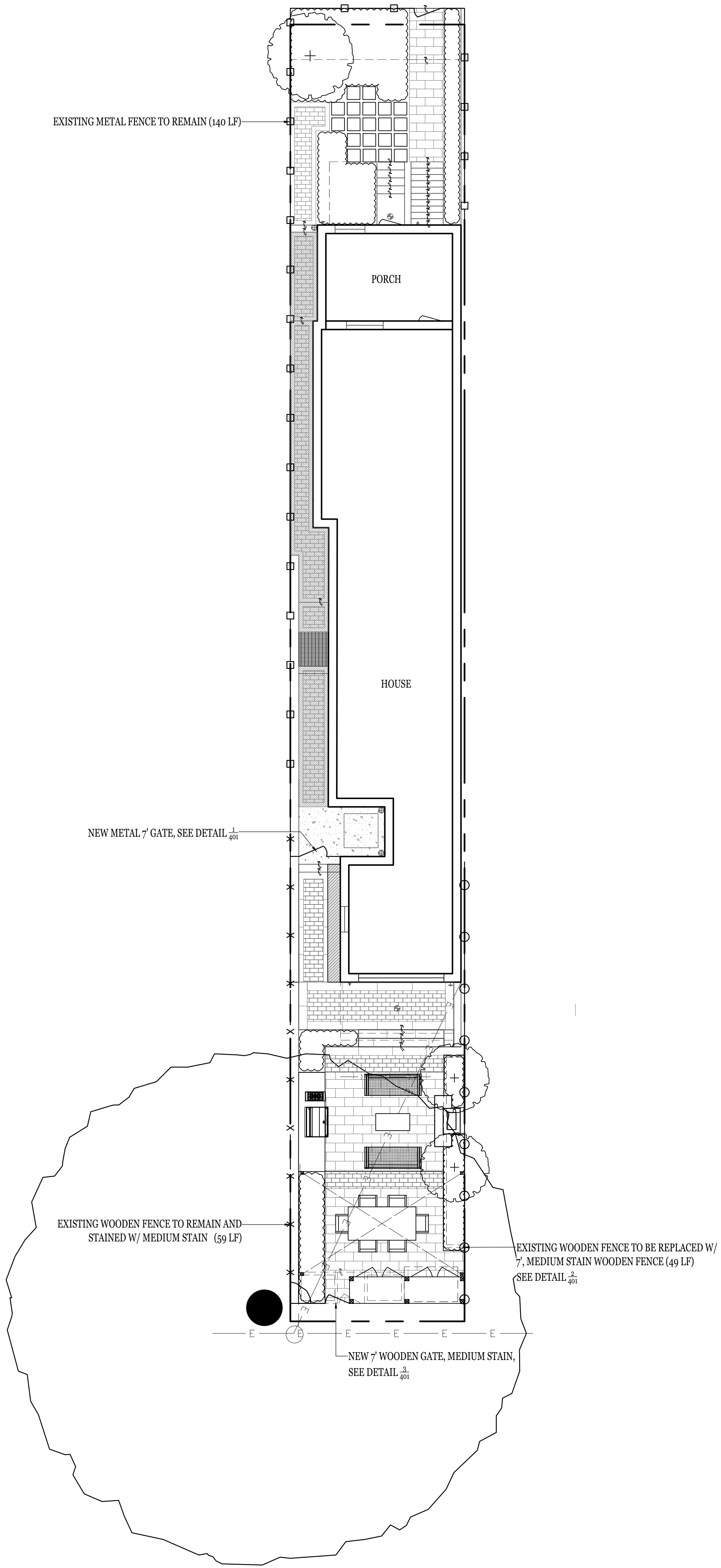


L-202

NOT FOR CONSTRUCTION

Brenneman Residence

3232 O St. North West
Washington, DC 20007



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DESIGN:	JH
DRAFTED:	AW
CHECKED:	JH

SCALE: 1/8" = 1'-0"



ISSUED DATE: 2021-03-17
PROJECT NO: BREN

**FENCE & GATE
LAYOUT PLAN**

L-203

Brenneman Residence

3232 O St. North West
Washington, DC 20007

SEAL:

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	DESIGN:	JH
	DRAFTED:	AW
	CHECKED:	JH

SCALE: 1/2" = 1'-0"

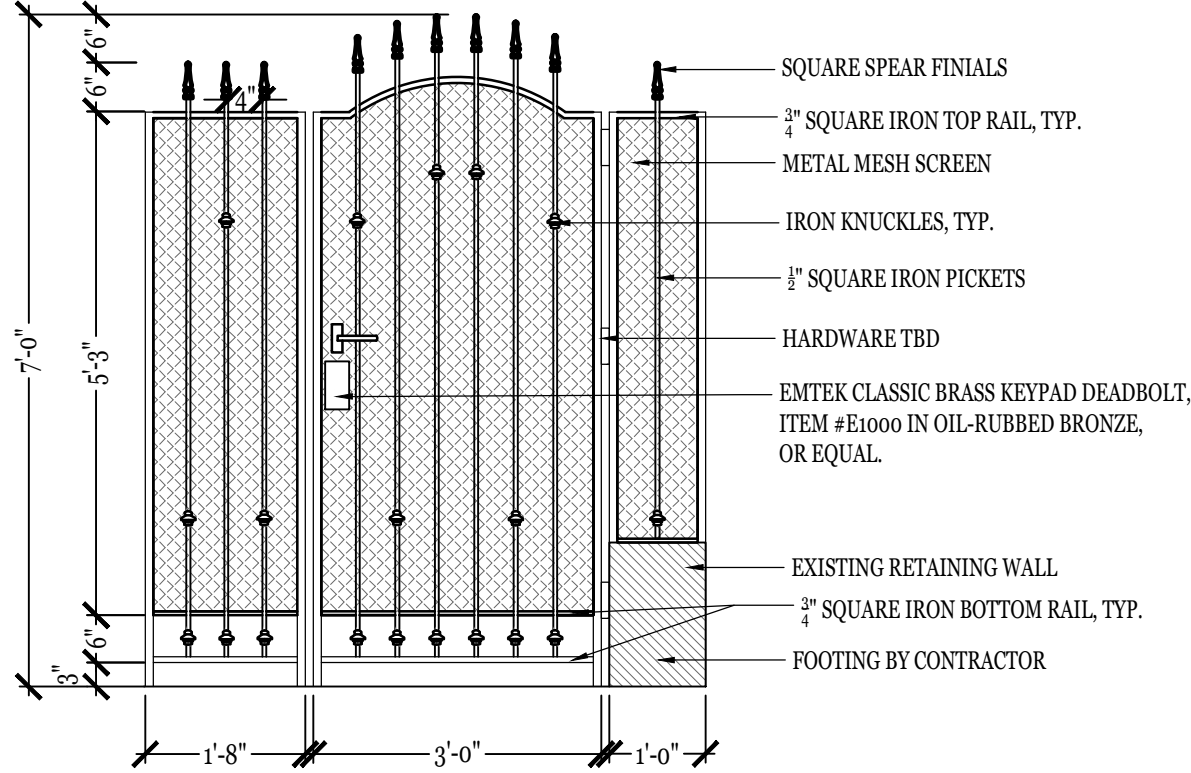


ISSUED DATE: 2021-03-17
PROJECT NO: BREN

FENCE & GATE
DETAILS

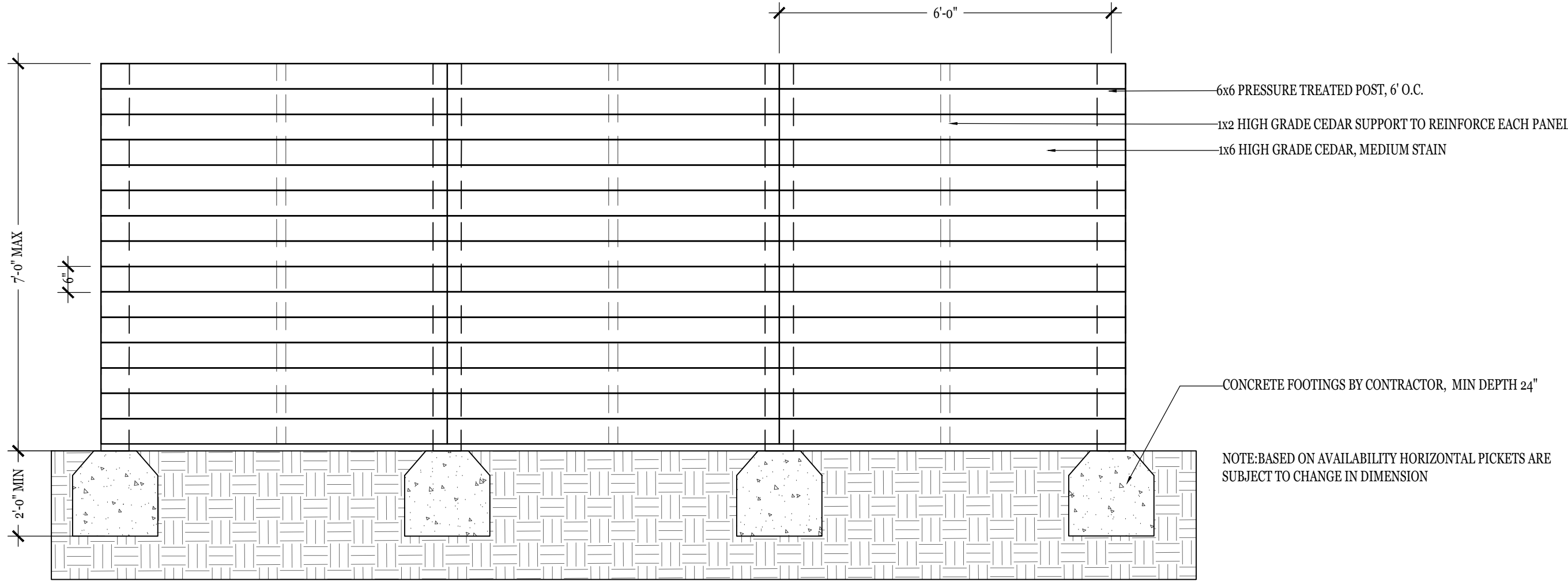
L-401

NOT FOR CONSTRUCTION

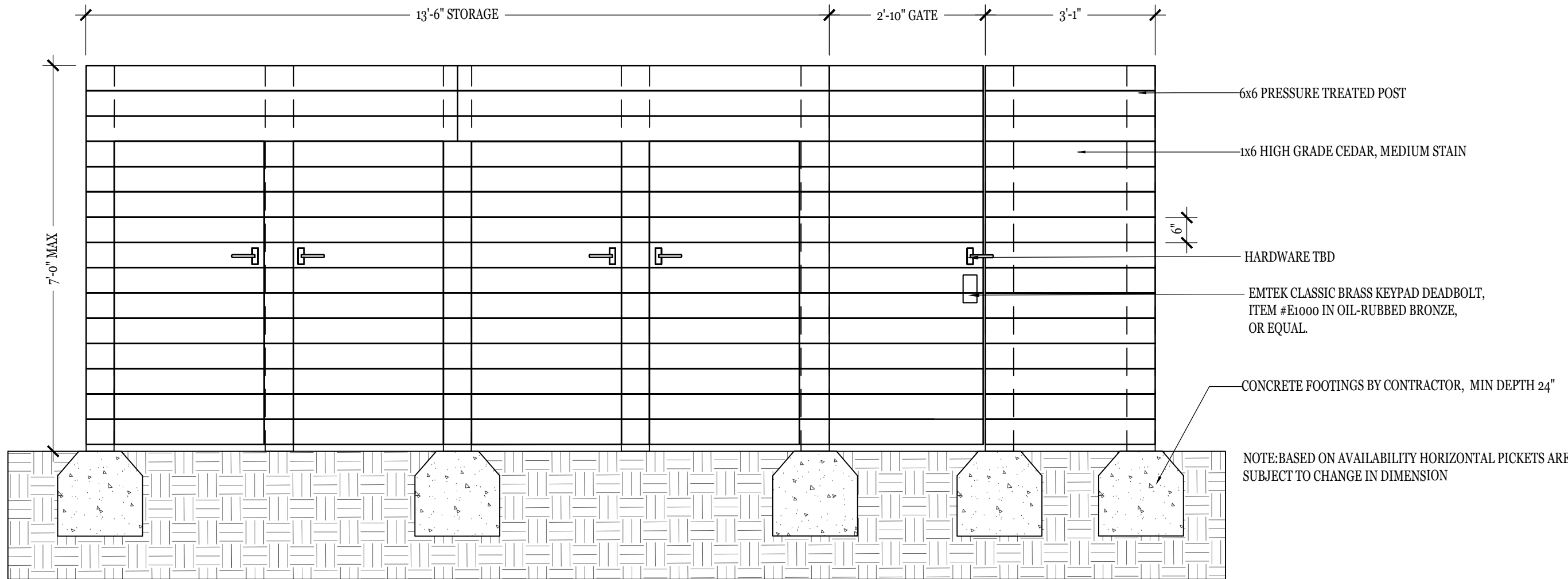


1
401
SIDE GATE
SCALE: 1/2" = 1'-0"

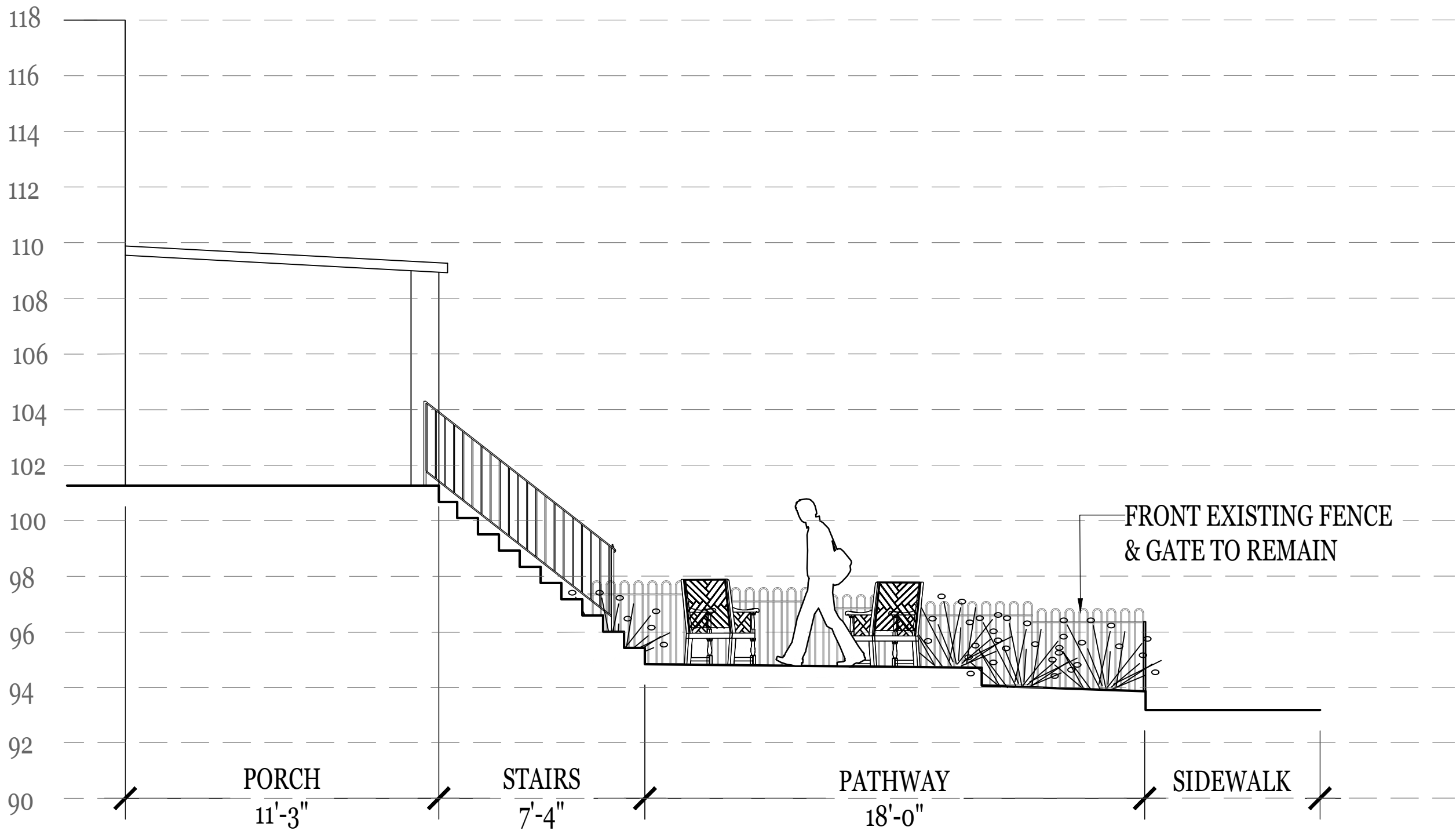
PRECEDENT IMAGE OF GATE



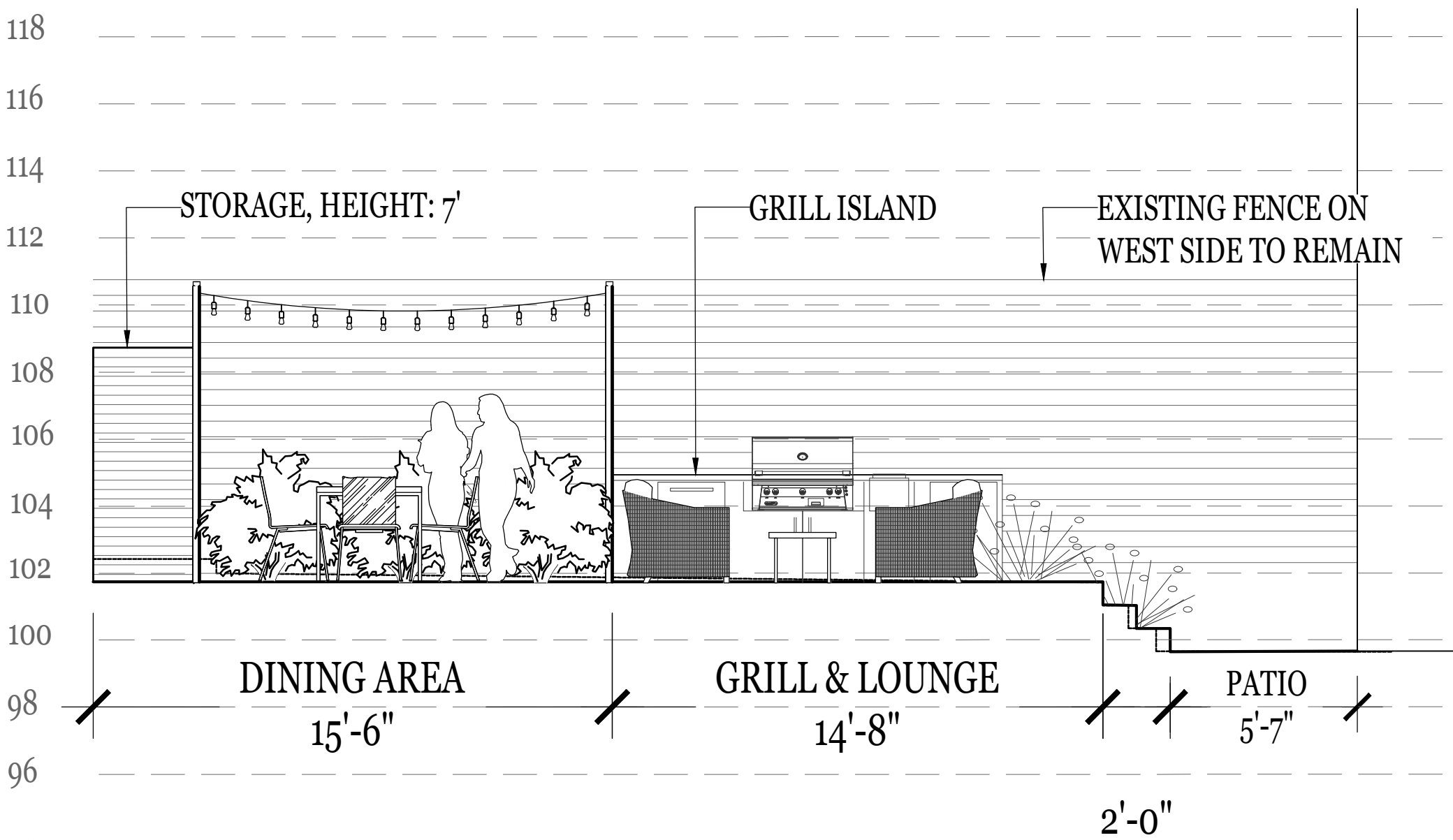
2
401
WOODEN FENCE
SCALE: 1/2" = 1'-0"



3
401
REAR GATE, FENCE, & STORAGE
SCALE: 1/2" = 1'-0"



1
801 FRONT SECTION
SCALE: 1/4" = 1'-0"

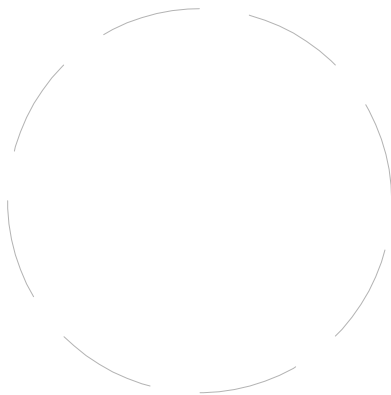


2
801 REAR SECTION
SCALE: 1/4" = 1'-0"

Brenneman Residence

3232 O St. North West
Washington, DC 20007

SEAL:



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	DESIGN:	JH
	DRAFTED:	AW
	CHECKED:	JH

SCALE: 1/4" = 1'-0"



ISSUED DATE: 2021-03-05
PROJECT NO: BREN

SECTIONS

L-801