

PROJECT SUMMARY

ADDRESS: 1231-35 31ST ST NW
APPLICABLE CODES: IRC 2012
IECC 2012
DCMR 12B 2013 RES. CODE SUPPLEMENT

SQUARE / SUFFIX / LOT: 1209 / N/A / 0046
ZONING DISTRICT: R-3
OVERLAY DISTRICT: N/A
WARD: 2
ANC: 2E
SMD: 2E06

PREVIOUSLY PERMITTED WORK (#B1508708, #B1608994, #B1701991)
NEW 1-STORY + BASEMENT MASONRY ADDITION. ENCLOSE EXISTING
COVERED PORCH. LOWER EXISTING BASEMENT LEVEL / REAR YARD
GRADE BY 24" INTERIOR / 28.75" EXTERIOR. NEW 1-STORY FRAME DORMER
ADDITION. NEW SUB-BASEMENT. INTERIOR RENOVATIONS AND RE-MODELING.

OGB PERMIT SUBMISSION: PERMIT REVISION TO #B1508708,
#B1608994, #B17071991 EXTEND PREVIOUSLY
APPROVED STEEL BALCONY W/ STONE PAVERS AT
EAST FACADE, AND ADD SUPPORT COLUMNS BELOW
WITH RETRACTABLE SCREENS AT GROUND FLOOR LEVEL.
USE PREVIOUSLY APPROVED CABLE RAILING DETAIL

CHANGES TO LANDSCAPE NOT INCLUDED IN THIS
SCOPE OF WORK - PERMITTED SEPARATELY BY
LANDSCAPE DESIGNERS

APPLICABLE ZONING

MAXIMUM LOT OCCUPANCY: 40%
MAXIMUM RESIDENTIAL FAR: 1.8
MAXIMUM STORIES: 3
MAXIMUM HEIGHT: 40 FT.
SIDE YARD SETBACK: 8 FT.
REAR YARD SETBACK: 20 FT.

EXISTING / PROPOSED ZONING DATA

LOT AREA: 7,306.04 S.F.
EXISTING LOT COVERAGE: 2,439.83 S.F.
EXISTING LOT OCCUPANCY: 33.4%
EXISTING FAR: 0.972
EXISTING STORIES: 2 + BASEMENT
EXISTING HEIGHT: 30'-9"
EXISTING REAR YARD SETBACK: 50'-10"
EXISTING SIDE YARD SETBACK: 6'-2"
EXISTING GROSS FLOOR AREA: 7,105.06 S.F.

PREV. PERMITTED LOT COVERAGE: 2,719.83 S.F.
PREV. PERMITTED LOT OCCUPANCY: 37.2%
PREV. PERMITTED FAR: 1.183
PREV. PERMITTED STORIES: 2 + BASEMENT + CELLAR
PREV. PERMITTED HEIGHT: 30'-9"
PREV. PERMITTED REAR YARD SETBACK: 54'-10"
PREV. PERMITTED SIDE YARD SETBACK: 6'-2"
PREV. PERMITTED GROSS FLOOR AREA: 8,649.26 S.F.
PREV. PERMITTED INCREASE IN LOT COVERAGE: 3.8%

DIMENSIONS / CALCULATIONS ON PREVIOUSLY
PERMITTED DRAWING SET MAY HAVE CHANGED
IN AMENDED SET BASED ON AS-BUILT DIMENSIONS
CONFIRMED ON-SITE.

AMENDED LOT COVERAGE: 2,873.63 S.F.
AMENDED LOT OCCUPANCY: 39.3%
AMENDED FAR: 1.2
AMENDED STORIES: 2 + BASEMENT + CELLAR
AMENDED HEIGHT: 30'-9"
AMENDED REAR YARD SETBACK: 54'-10"
AMENDED SIDE YARD SETBACK: 6'-2"
AMENDED GROSS FLOOR AREA: 8,803.06 S.F.
AMENDED INCREASE IN LOT COVERAGE: 5.8%

USE GROUP: R-3 SINGLE-FAMILY DWELLING
SPRINKLERED: NONE
SMOKE DETECTORS: HARD-WIRED AND
INTER-CONNECTED
WITH BATTERY BACKUP

TABLE OF CONTENTS:

0001 VICINITY PLAN / COVER SHEET
A000 EXISTING SITE PLAN
A001 AMENDED SITE PLAN
A002 EXISTING BASEMENT PLAN
A003 AMENDED BASEMENT PLAN
A004 EXISTING FIRST FLOOR PLAN
A005 AMENDED FIRST FLOOR PLAN
A006 EXISTING SOUTH EXTERIOR ELEVATIONS
A007 AMENDED SOUTH EXTERIOR ELEVATIONS
A008 EXISTING EAST EXTERIOR ELEVATIONS
A009 AMENDED EAST EXTERIOR ELEVATIONS
A010 EXISTING SECTIONS
A011 AMENDED SECTIONS
A012 SCREEN DETAILS

S001 DESIGN NOTES
S002 SECTIONS AND DETAILS
S003 SECTIONS AND DETAILS
S100 BASEMENT FOUNDATION PLANS
S101 FIRST FLOOR FRAMING PLAN
S202 SECTIONS AND DETAILS

P1 PHOTOS



3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

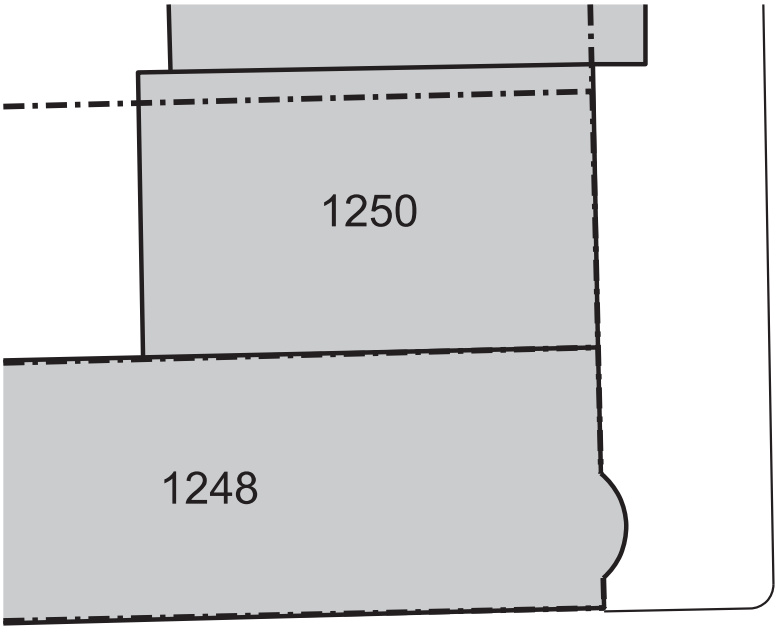


PERMIT AMENDMENT
FOR
1231-35
31ST ST NW
WASHINGTON, DC 20007
LOT: 0046 SQUARE: 1209

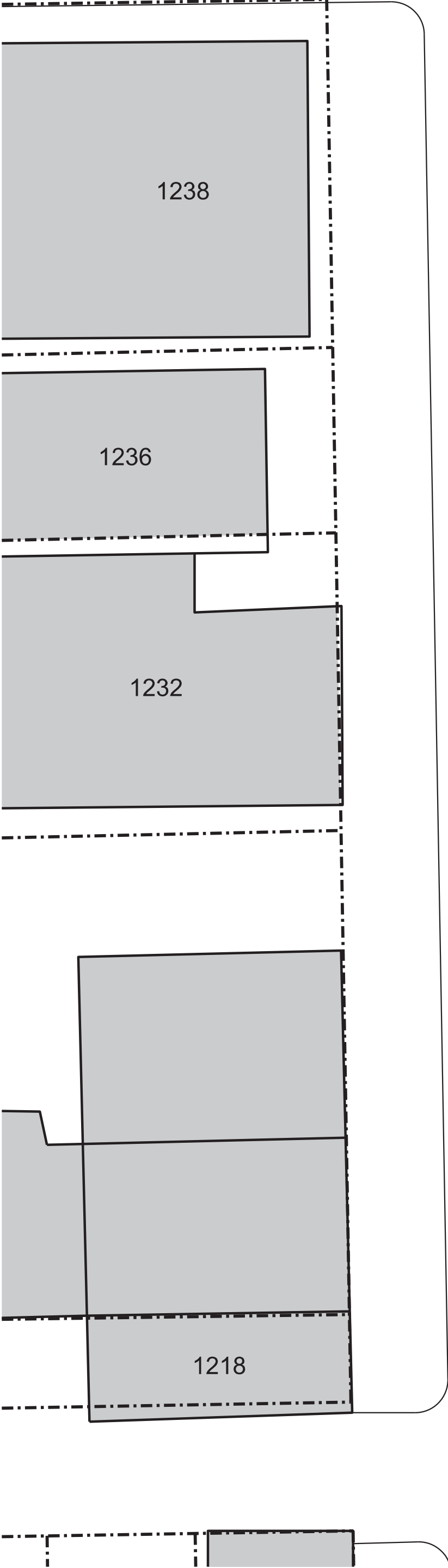
VICINITY PLAN /
COVER SHEET

0001

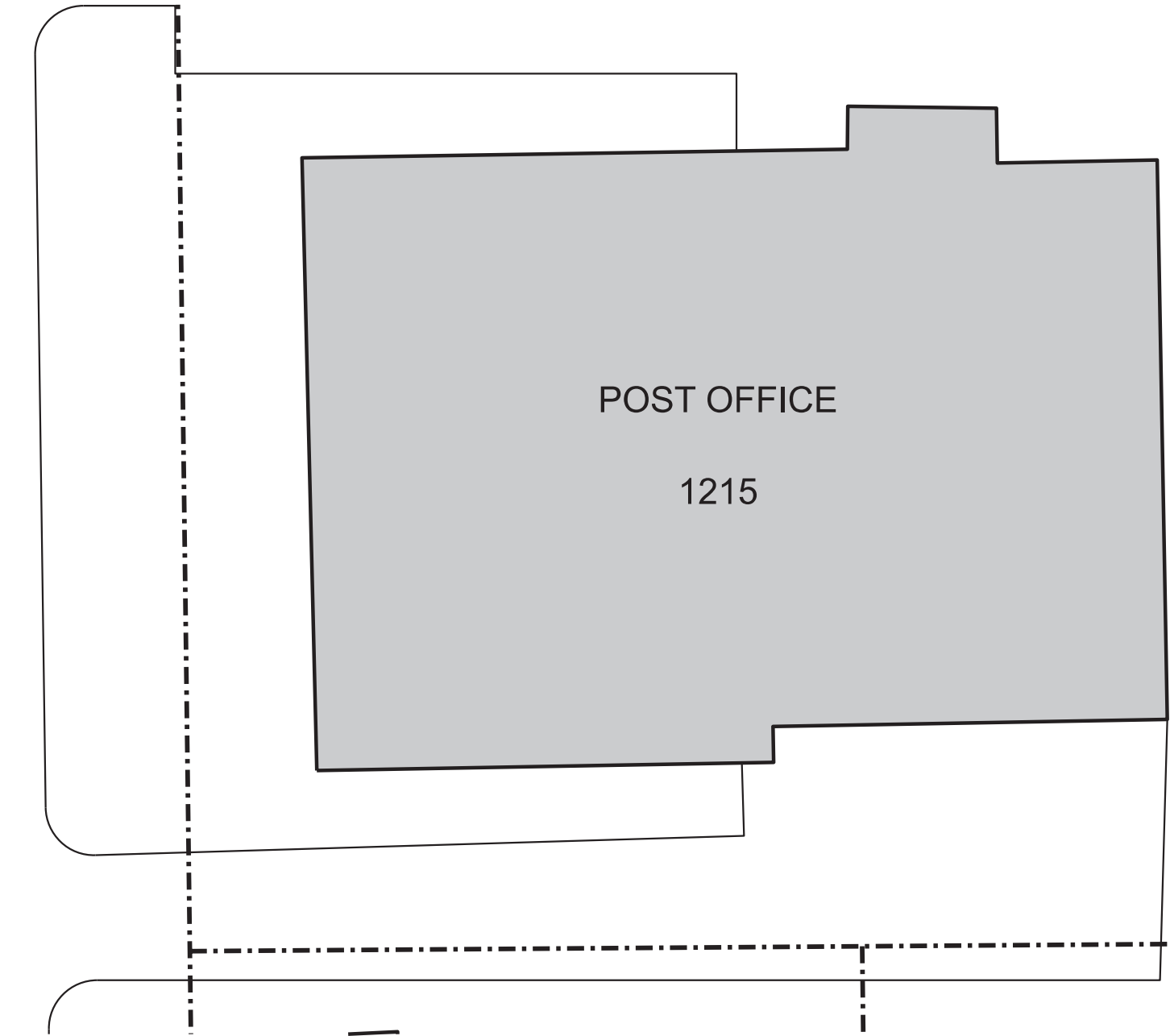
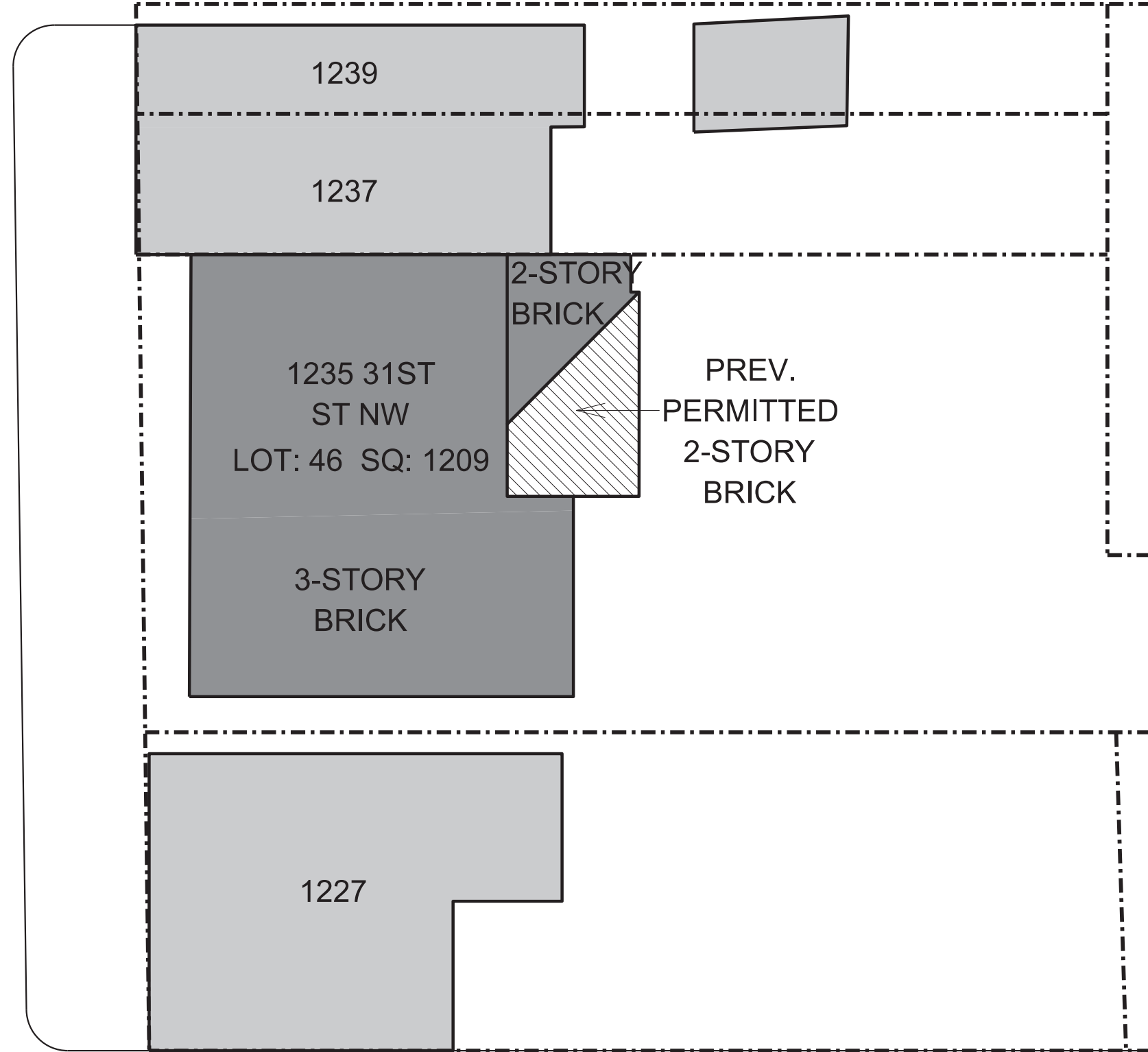
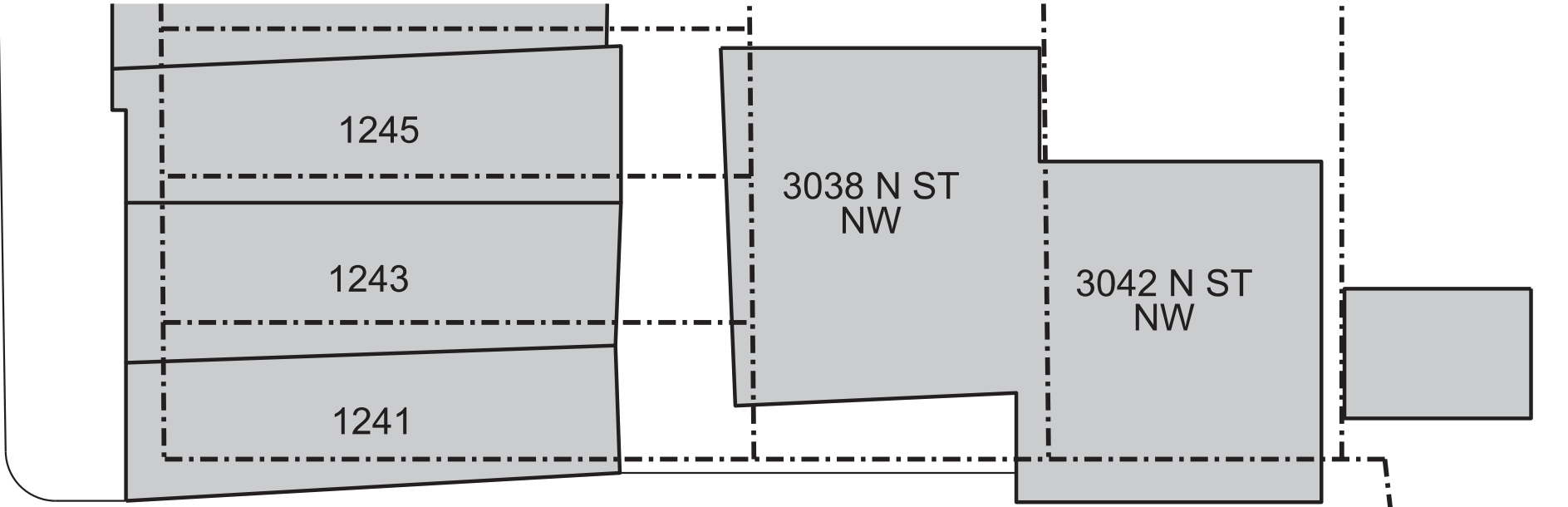
DATE: 04-08-2021



CORCORAN ALLEY NW



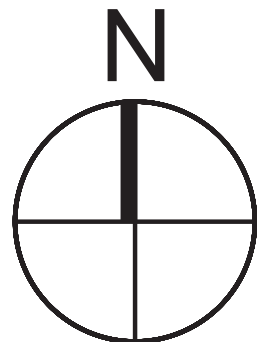
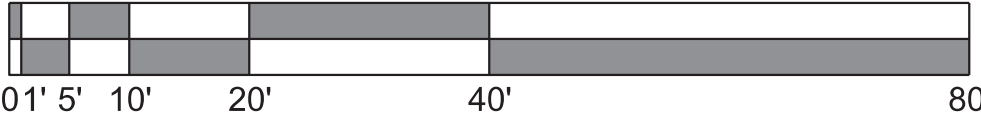
31ST ST NW

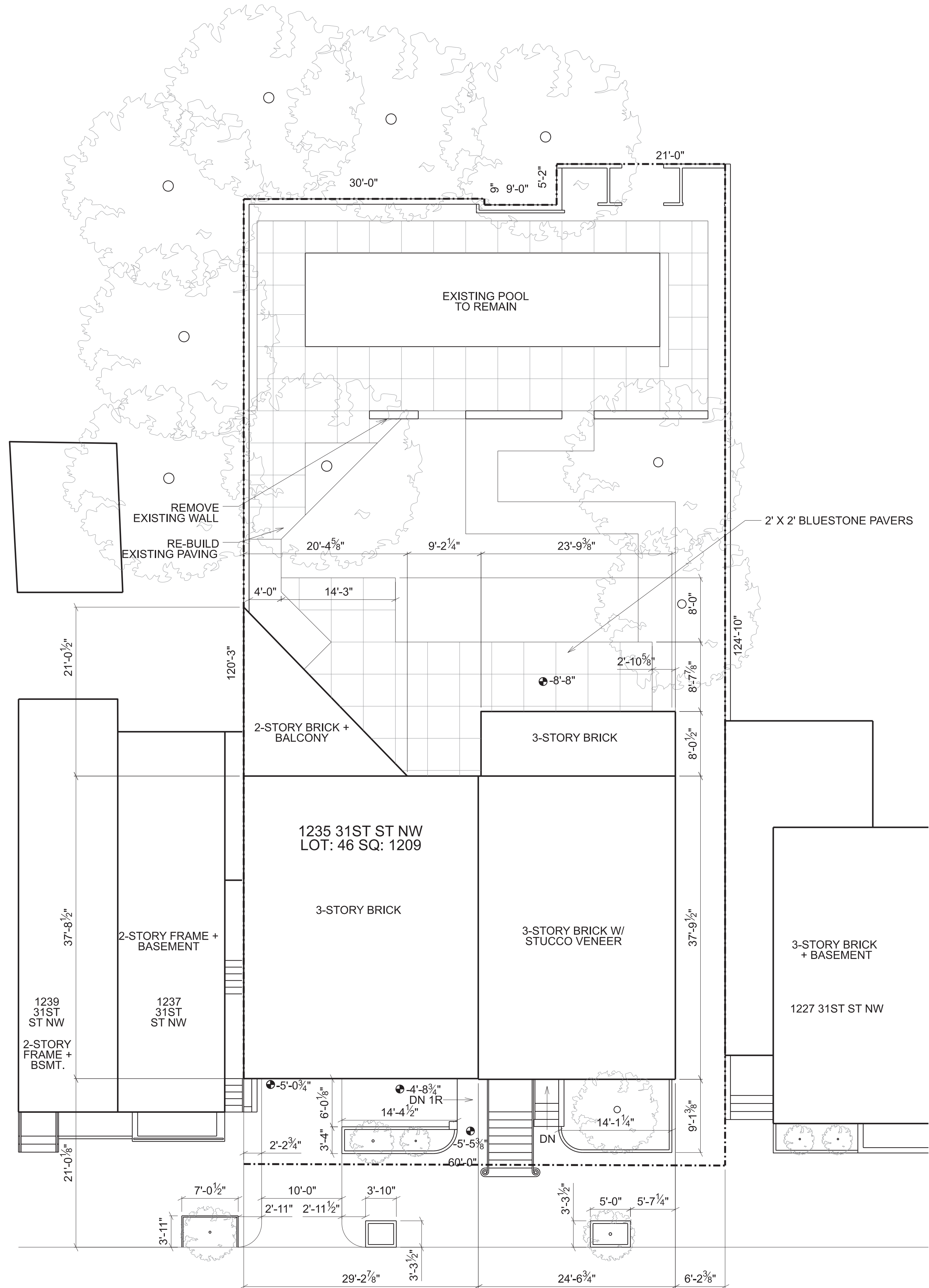


1
0001

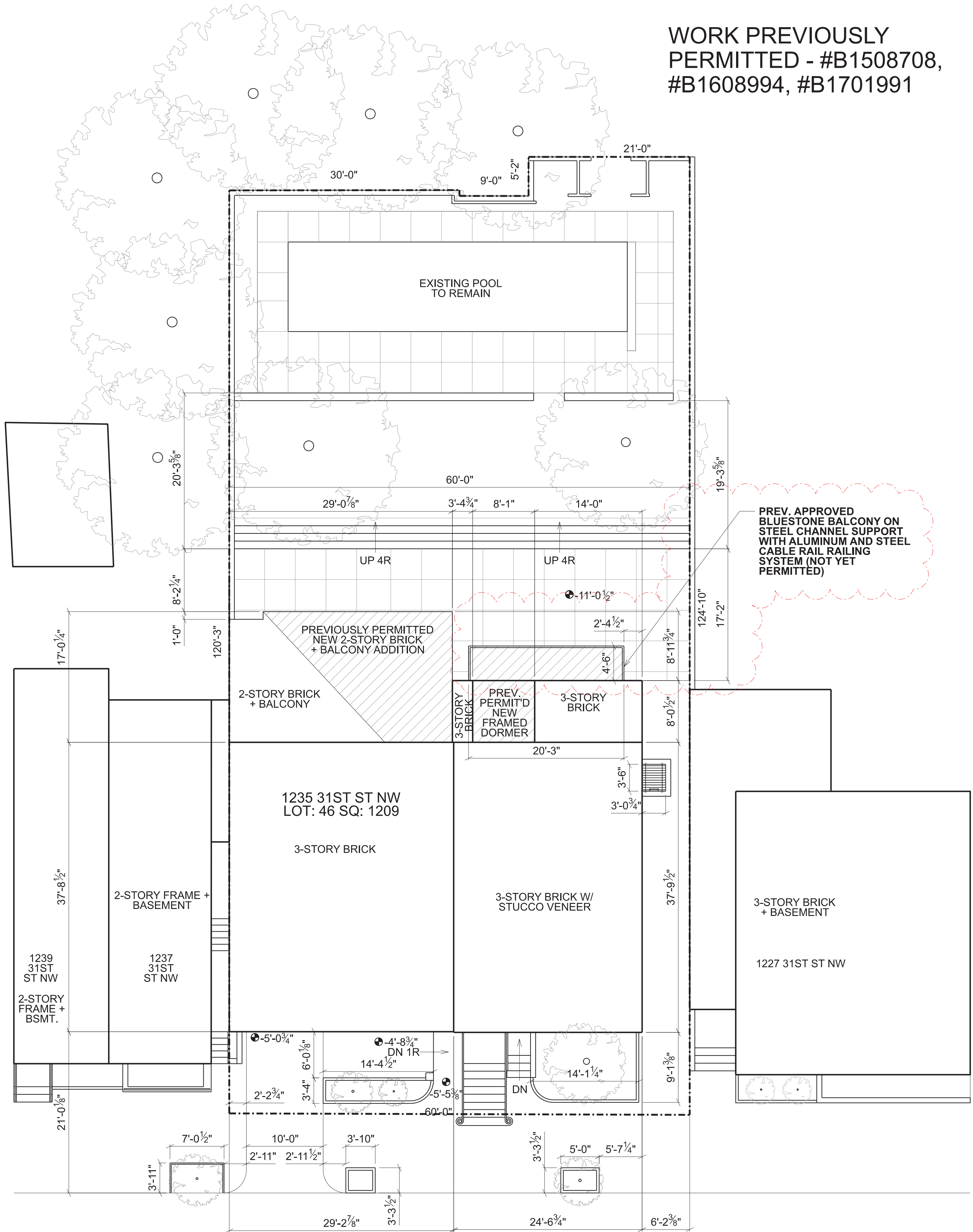
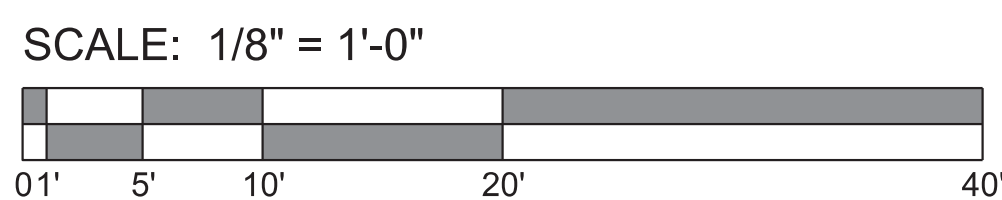
VICINITY PLAN
SCALE: 1/16"= 1'-0"

SCALE: 1/16" = 1'-0"





1 EXISTING SITE PLAN
A000 SCALE: 1/8" = 1'-0"



2 PREVIOUSLY APPROVED SITE PLAN
A000 SCALE: 1/8" = 1'-0"

PREVIOUSLY PERMITTED WORK



WORK PREVIOUSLY
PERMITTED - #B1508708,
#B1608994, #B1701991

OVERMYER
ARCHITECTS

3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

NOTES:
1. ALL DIMENSIONS
TAKEN TO FINISH
UNLESS NOTED
OTHERWISE

PERMIT AMENDMENT
FOR
**1231-35
31ST ST NW**
WASHINGTON, DC 20007
LOT: 0046 SQUARE: 1209

EXISTING
SITE PLAN

A000

DATE: 04-08-2021

ZONING DATA

LOT SQUARE FOOTAGE = 7306.04 S.F.

CURRENT HOUSE (BUILT 1973)
BUILDING FOOTPRINT = 2439.83 S.F.
LOT OCCUPANCY = 33.4%

PREVIOUSLY PERMITTED HOUSE
BUILDING FOOTPRINT = 2719.83 S.F..
LOT OCCUPANCY = 37.2%

PERMIT AMENDMENT
BUILDING FOOTPRINT = 2,873.63 S.F.
(5.8% INCREASE FROM EXISTING)
LOT OCCUPANCY = 39.3%

EXISTING GROSS SQUARE FOOTAGE = 7,105.06 S.F.

PREVIOUSLY PERMITTED GROSS SQUARE FOOTAGE = 8,649.26 S.F.

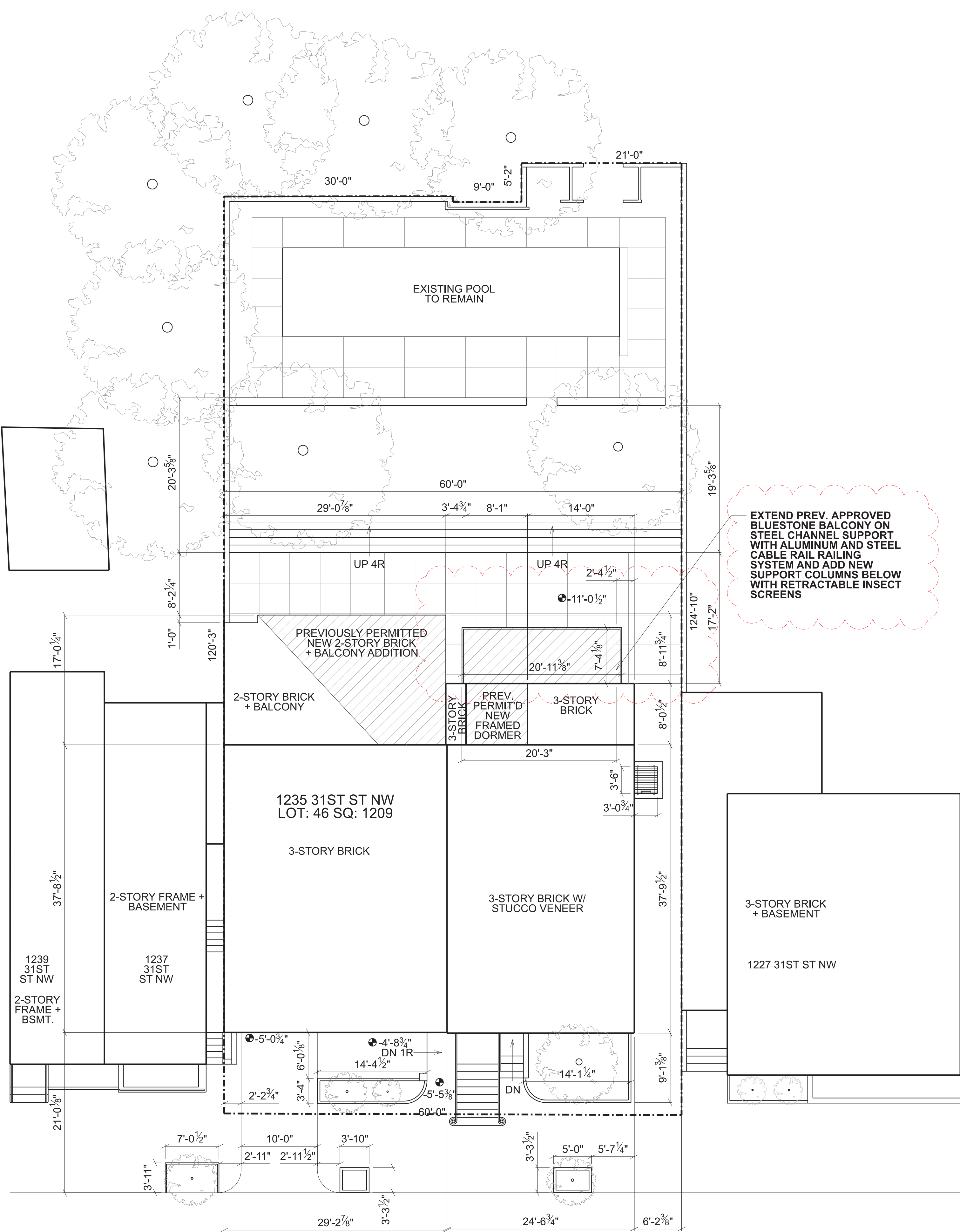
AMENDED GROSS SQUARE FOOTAGE = 8,803.06 S.F.

PROJECT SUMMARY

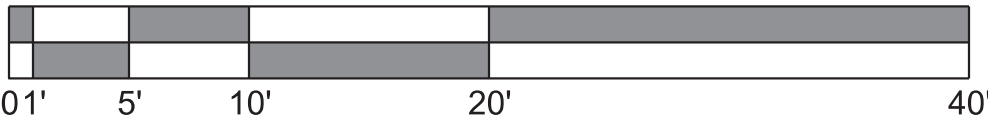
ADDRESS: 1231-35 31ST ST NW
SQUARE / SUFFIX / LOT: 1209 / N/A / 0046

PREVIOUSLY PERMITTED SCOPE OF WORK (#B1508708):
NEW 1-STORY + BASEMENT MASONRY ADDITION TO
SEMI-DETACHED SINGLE-FAMILY RESIDENCE. ENCLOSE
EXISTING COVERED PORCH. LOWER EXISTING BASEMENT
LEVEL / REAR YARD GRADE BY 24". NEW 1-STORY FRAME
DORMER ADDITION. NEW SUB-BASEMENT BENEATH
BASEMENT LEVEL. INTERIOR RENOVATIONS AND
RE-MODELING.

AMENDED SCOPE OF WORK: EXTEND PREV. APPROVED
STEEL BALCONY ON EAST FACADE, ADD COLUMNS AND
RETRACTABLE SCREENS AROUND PERIMETER ON
GROUND FLOOR LEVEL



SCALE: 1/8" = 1'-0"



2 AMENDED SITE PLAN
A001 SCALE: 1/8" = 1'-0"

AREAS OF NEW CONSTRUCTION (PERMIT AMENDMENT)



OVERMYER
ARCHITECTS
3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

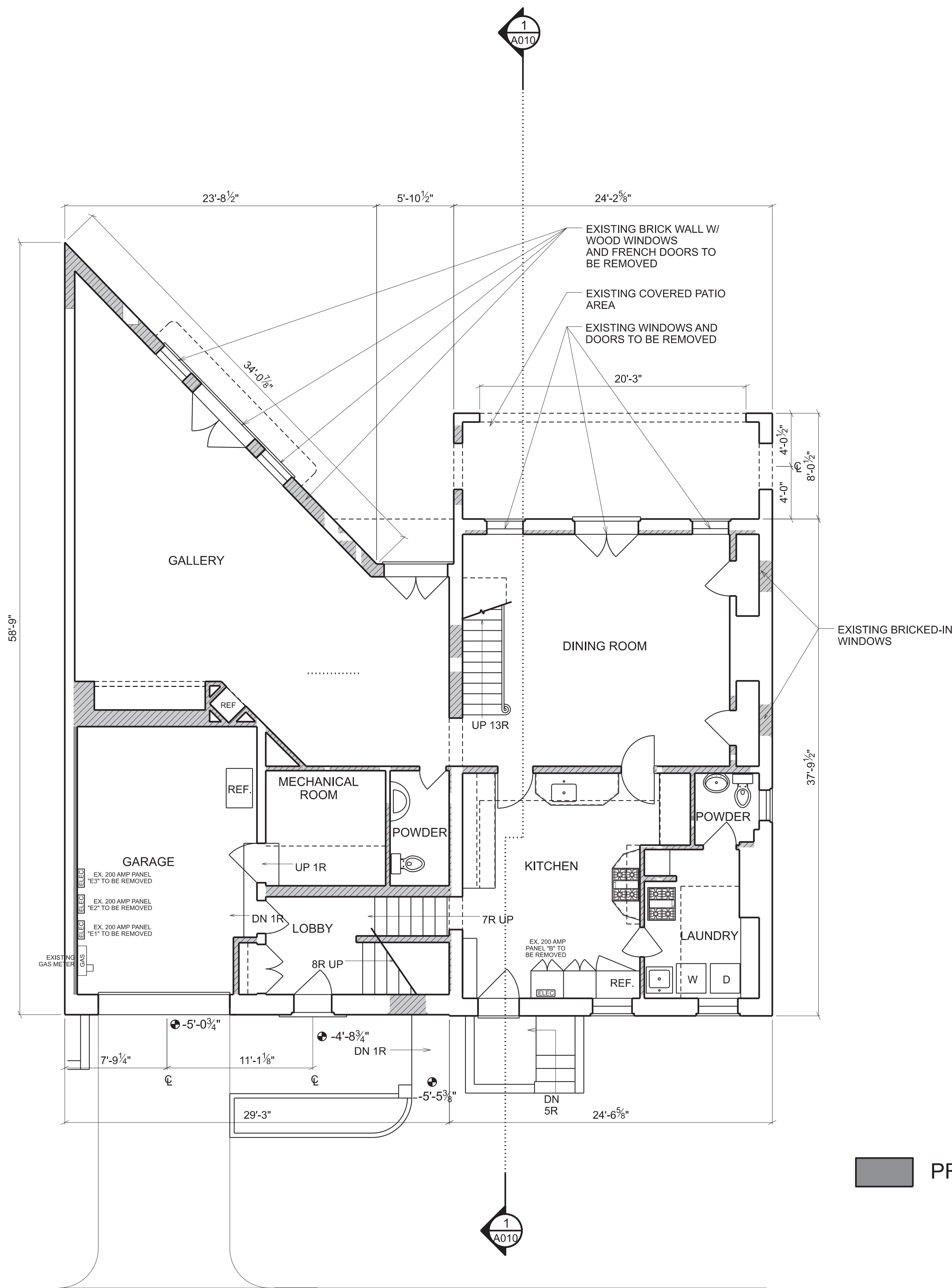
NOTES:

1. ALL DIMENSIONS
TAKEN TO FINISH
UNLESS NOTED
OTHERWISE

PERMIT AMENDMENT
FOR
1231-35
31ST ST NW
WASHINGTON, DC 20007
LOT: 0046 SQUARE: 1209

AMENDED
SITE PLAN
A001
DATE: 04-08-2021

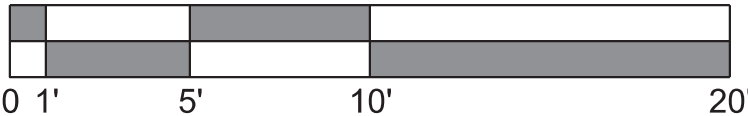
WORK PREVIOUSLY
PERMITTED - #B1508708.
#B1608994, #B1701991



PREVIOUSLY APPROVED DEMOLITION

1 EXISTING BASEMENT FLOOR PLAN
A002 SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"



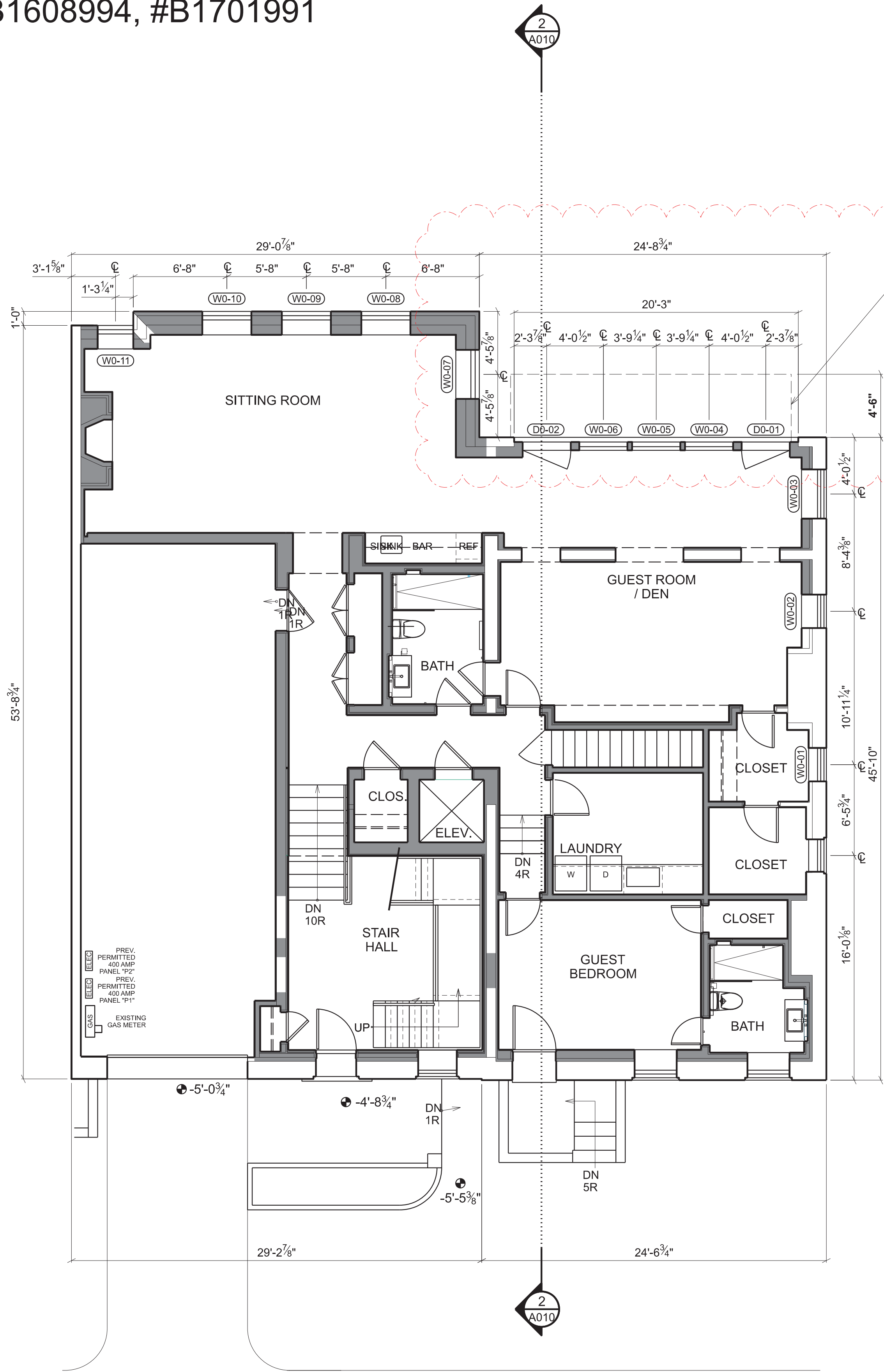
The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

- NOTES:
1. ALL DIMENSIONS TAKEN TO FRAMING UNLESS NOTED OTHERWISE
 2. ALL WALLS TO BE 2X4 FRAME UNLESS NOTED OTHERWISE

PERMIT AMENDMENT
FOR
1231-35
31ST ST NW
WASHINGTON, DC 20007
LOT: 0046 SQUARE: 1209

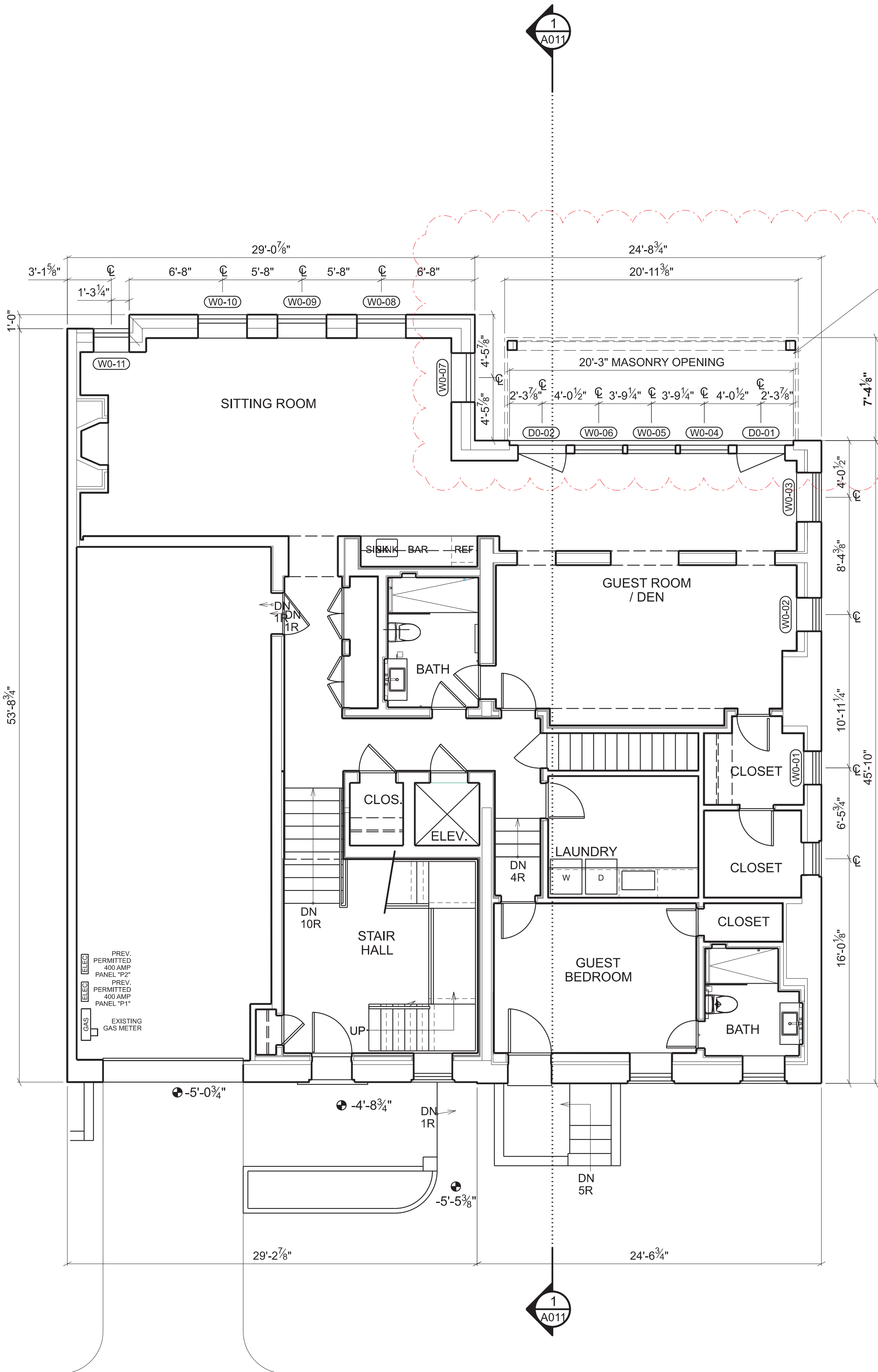
EXISTING
BASEMENT FLOOR
PLANS
A002
DATE: 04-08-2021

WORK PREVIOUSLY
PERMITTED - #B1508708,
#B1608994, #B1701991



1 PREVIOUSLY APPROVED BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"

PREV. APPROVED
EXTENDED STEEL
BALCONY ABOVE WITH
BLUESTONE PAVERS AND
ALUMINUM CABLE RAIL
SYSTEM (NOT YET
PERMITTED)



2 AMENDED BASEMENT FLOOR PLAN
SCALE: 3/16" = 1'-0"

EXTEND PREV. APPROVED
STEEL BALCONY ABOVE
AND ADD RETRACTABLE
SCREENS AT PERIMETER

OVERMYER
ARCHITECTS

3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

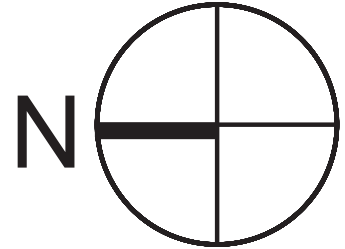
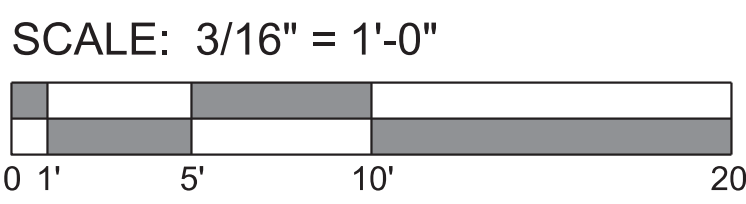
- NOTES:
1. ALL DIMENSIONS TAKEN TO FRAMING UNLESS NOTED OTHERWISE
 2. ALL WALLS TO BE 2X4 FRAME UNLESS NOTED OTHERWISE

PERMIT AMENDMENT
FOR
1231-35
31ST ST NW
WASHINGTON, DC 20007
LOT: 0046 SQUARE: 1209

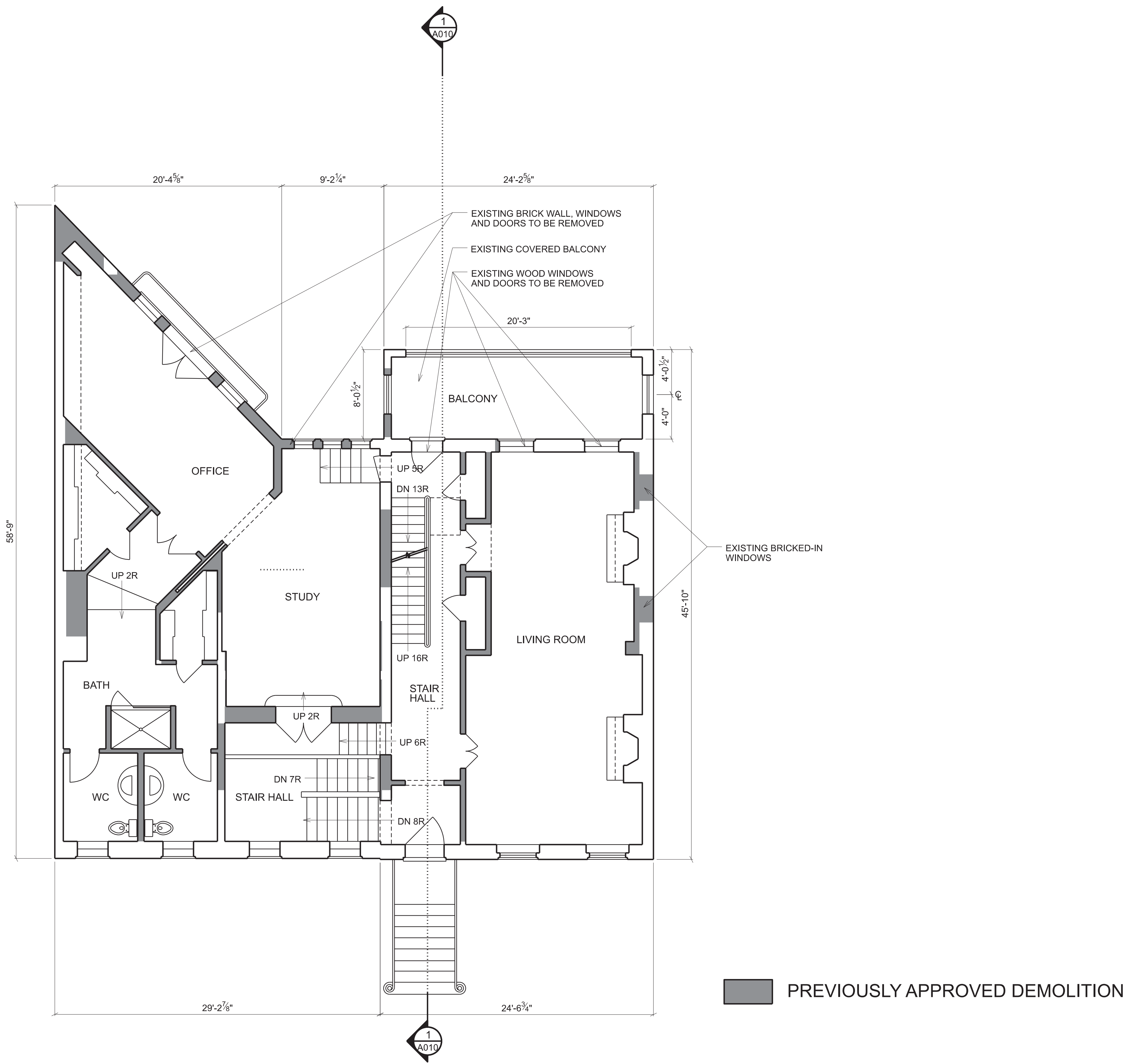
AMENDED
BASEMENT FLOOR
PLANS

A003

DATE: 04-08-2021



WORK PREVIOUSLY
PERMITTED - #B1508708.
#B1608994, #B1701991





OVERMYER
ARCHITECTS

3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

- NOTES:
1. ALL DIMENSIONS
TAKEN TO FRAMING
UNLESS NOTED
OTHERWISE

2. ALL WALLS TO BE
2X4 FRAME UNLESS
NOTED OTHERWISE

PERMIT AMENDMENT
FOR

1231-35
31ST ST NW

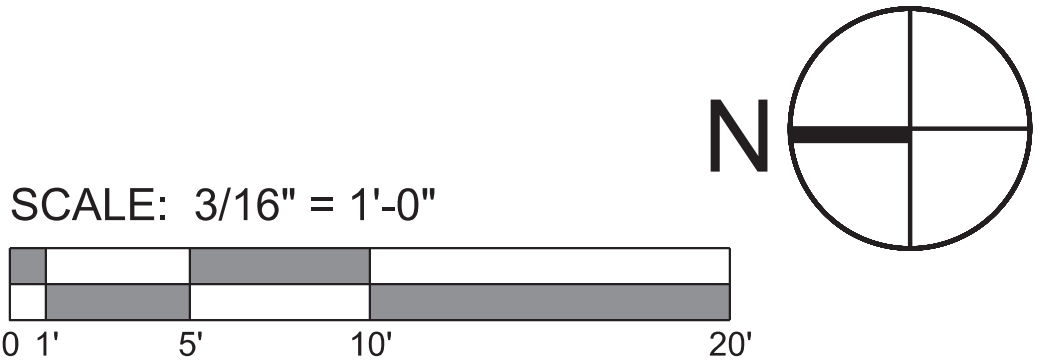
WASHINGTON, DC 20007

LOT: 0046 SQUARE: 1209

EXISTING
FIRST FLOOR
PLANS

A004

DATE: 04-08-2021

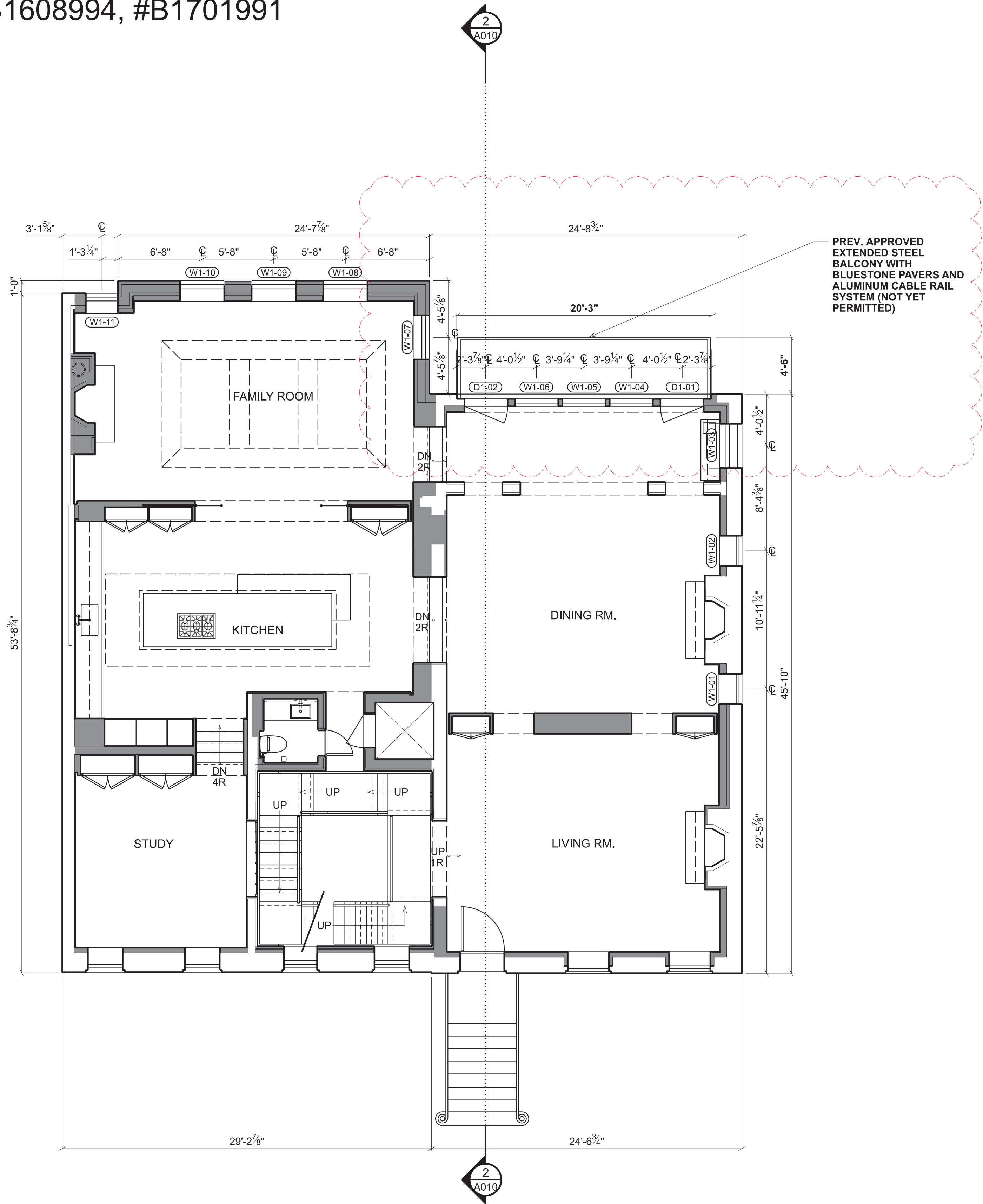


1 A004

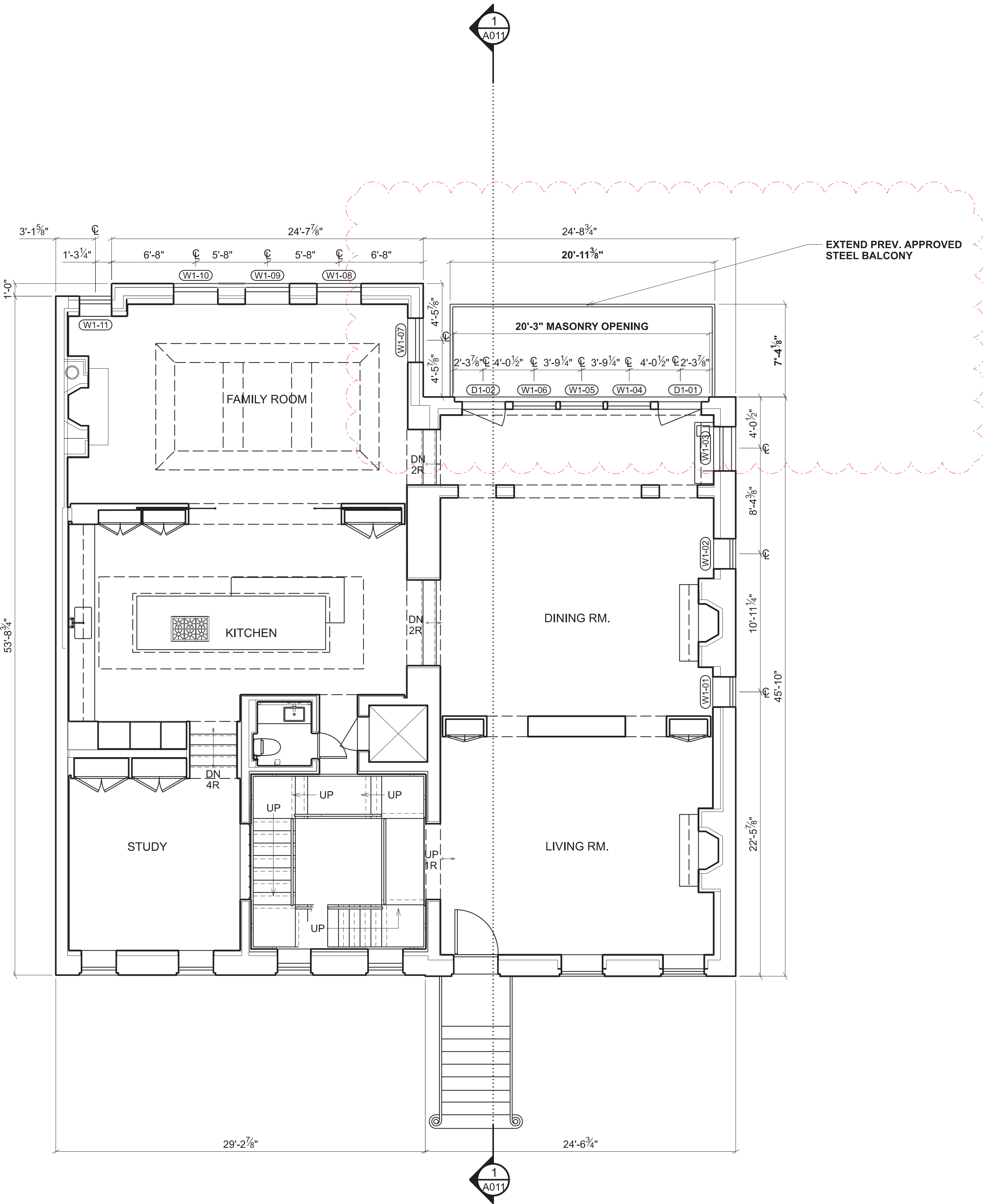
EXISTING FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

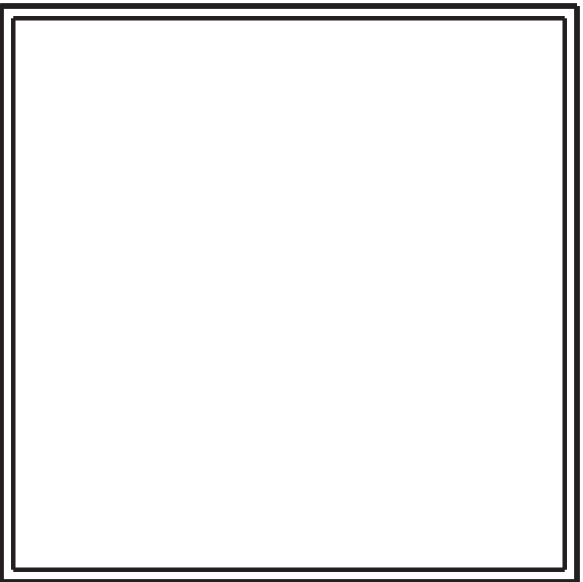
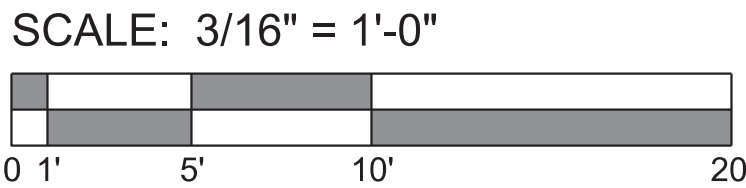
WORK PREVIOUSLY
PERMITTED - #B1508708,
#B1608994, #B1701991



1 PREVIOUSLY APPROVED FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



2 AMENDED FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



OVERMYER
ARCHITECTS

3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

- NOTES:
1. ALL DIMENSIONS TAKEN TO FRAMING UNLESS NOTED OTHERWISE
 2. ALL WALLS TO BE 2X4 FRAME UNLESS NOTED OTHERWISE

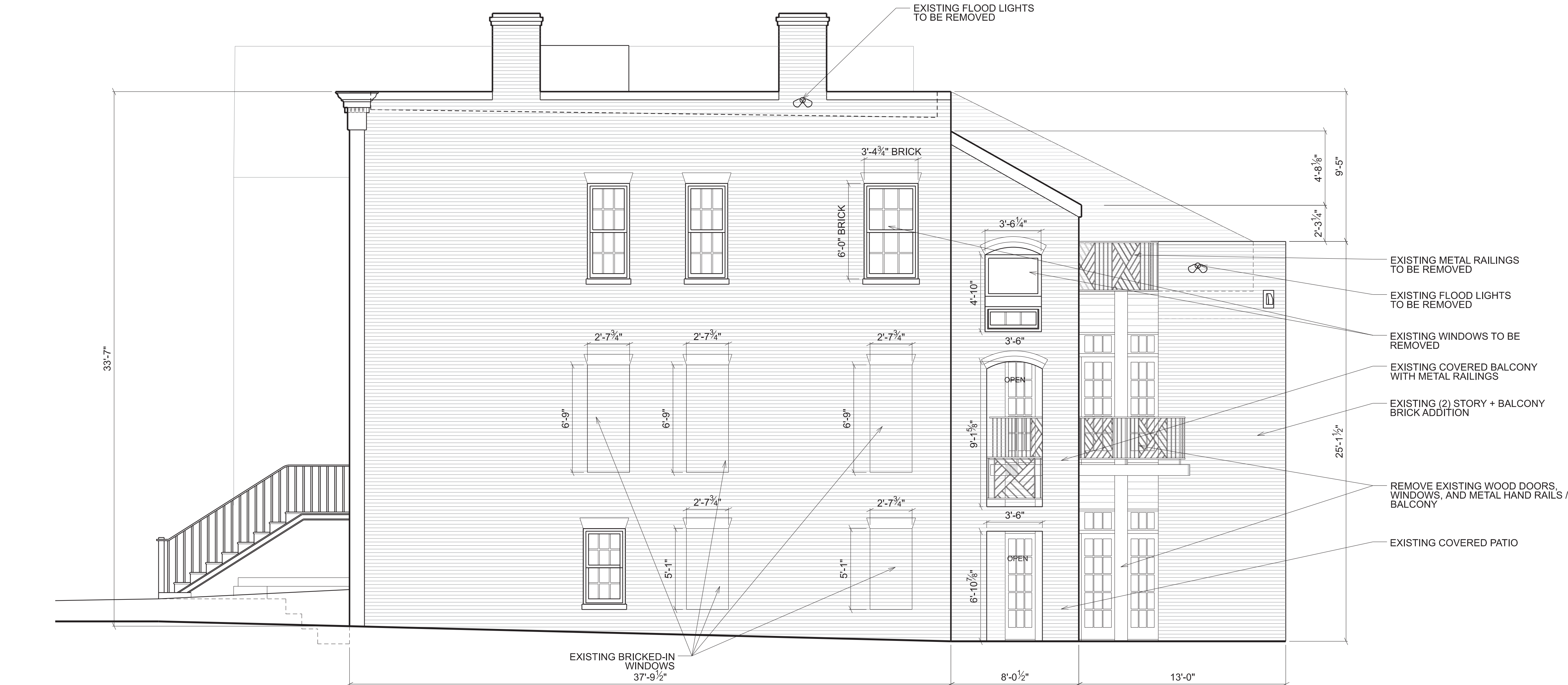
PERMIT AMENDMENT
FOR
**1231-35
31ST ST NW**
WASHINGTON, DC 20007
LOT: 0046 SQUARE: 1209

AMENDED
FIRST FLOOR
PLANS

A005

DATE: 04-08-2021

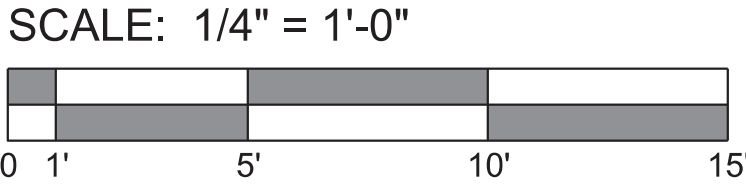
WORK PREVIOUSLY
PERMITTED - #B1508708,
#B1608994, #B1701991



1 EXISTING SOUTH EXTERIOR ELEVATION
A006 SCALE: 1/4"= 1'-0"



2 PREV. APPROVED SOUTH EXT. ELEVATION
A006 SCALE: 1/4"= 1'-0"




OVERMYER
ARCHITECTS
3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

NOTES:
1. ALL DIMENSIONS
TAKEN TO FINISH
UNLESS NOTED
OTHERWISE

PERMIT AMENDMENT
FOR
**1231-35
31ST ST NW**
WASHINGTON, DC 20007
LOT: 0046 SQUARE: 1209

EXISTING SOUTH
EXTERIOR
ELEVATION

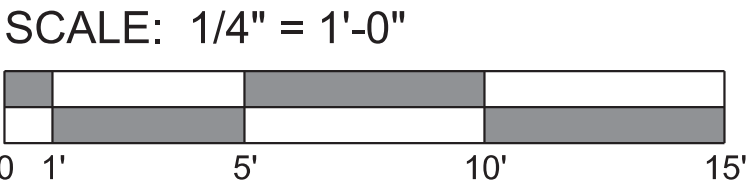
A006

DATE: 04-08-2021

WORK PREVIOUSLY
PERMITTED - #B1508708,
#B1608994, #B1701991



1 AMENDED SOUTH EXTERIOR ELEVATION
A007 SCALE: 1/4"= 1'-0"





OVERMYER
ARCHITECTS

3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

NOTES:

1. ALL DIMENSIONS
TAKEN TO FINISH
UNLESS NOTED
OTHERWISE

PERMIT AMENDMENT
FOR

1231-35
31ST ST NW

WASHINGTON, DC 20007

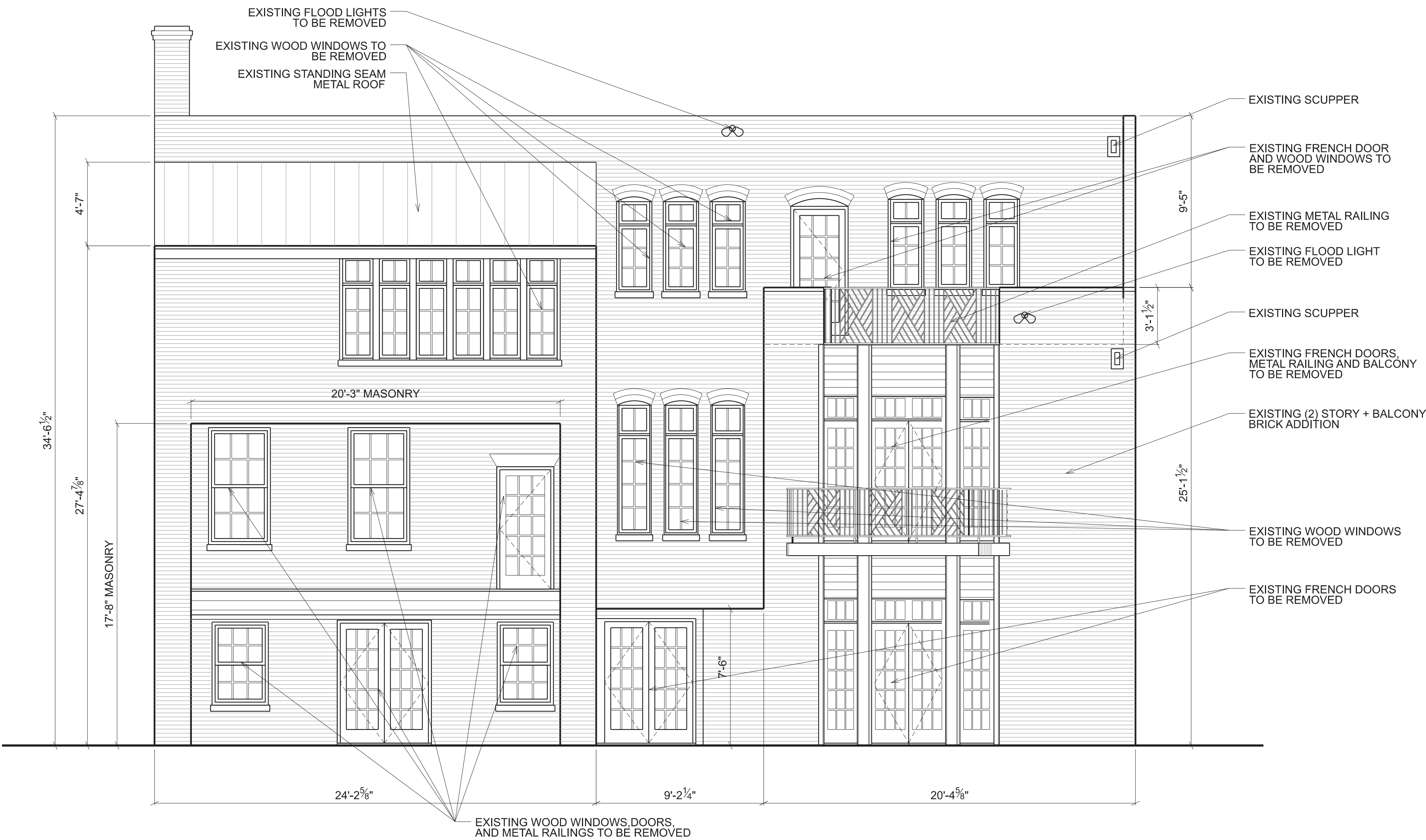
LOT: 0046 SQUARE: 1209

AMENDED SOUTH
EXTERIOR
ELEVATION

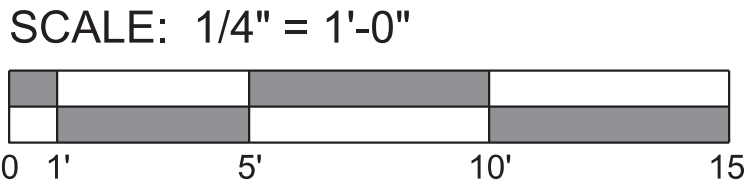
A007

DATE: 04-08-2021

WORK PREVIOUSLY
PERMITTED - #B1508708,
#B1608994, #B1701991



1 EXISTING EAST EXTERIOR ELEVATION
A008 SCALE: 1/4" = 1'-0"



The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

NOTES:

1. ALL DIMENSIONS TAKEN TO FINISH UNLESS NOTED OTHERWISE

PERMIT AMENDMENT
FOR

1231-35
31ST ST NW

WASHINGTON, DC 20007

LOT: 0046 SQUARE: 1209

EXISTING EAST
EXTERIOR
ELEVATIONS

A008

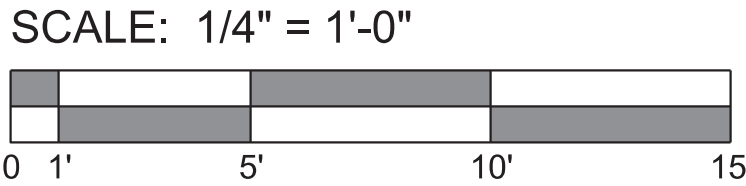
DATE: 04-08-2021

WORK PREVIOUSLY
PERMITTED - #B1508708,
#B1608994, #B1701991

PREVIOUSLY APPROVED
EAST EXTERIOR ELEVATION

SCALE: 1/4"= 1'-0"

1
A009



AMENDED EAST EXTERIOR ELEVATION

SCALE: 1/4"= 1'-0"

2
A009



3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

NOTES:

1. ALL DIMENSIONS TAKEN TO FINISH UNLESS NOTED OTHERWISE

PERMIT AMENDMENT
FOR
**1231-35
31ST ST NW**
WASHINGTON, DC 20007
LOT: 0046 SQUARE: 1209

AMENDED EAST
EXTERIOR
ELEVATIONS
A009
DATE: 04-08-2021

● +25'-11 1/2" PARAPET HT.
● +24'-10" ROOF HT.

● +21'-4" MASTER BED. CLG.

● +11'-8 3/4" MASTER BED. FLR.
● +10'-8" ENTRY HALL CLG.
● +10'-2" LIVING RM CLG.

● +0'-0" LIVING RM FLOOR
● -1'-0 3/4" BASEMENT CLG.

● -8'-6 1/2" BASEMENT FLR.

— +24'-4 1/2" ROOF HT. ●

— +21'-10 1/2" OFFICE CLG. (HIGH) ●

— +17'-10 1/2" OFFICE CLG. (LOW) ●

— +10'-4 1/2" OFFICE FLOOR ●

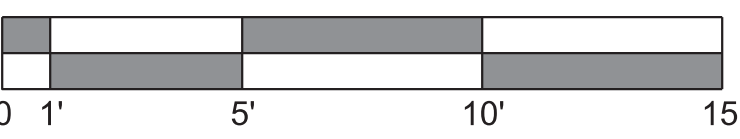
— +9'-2 5/8" BALCONY CLG. ●

— -0'-1" BALCONY FLOOR ●

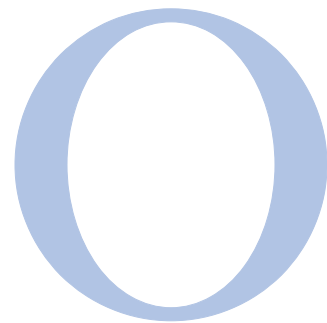
— -1'-0" PATIO CEILING ●

— -8'-7" PATIO FLOOR ●

SCALE: 1/4" = 1'-0"



WORK PREVIOUSLY
PERMITTED - #B1508708,
#B1608994, #B1701991



OVERMYER
ARCHITECTS

3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

NOTES:

1. ALL DIMENSIONS
TAKEN TO FINISH
UNLESS NOTED
OTHERWISE

1 EXISTING SECTION
SCALE: 1/4" = 1'-0"

PREVIOUSLY APPROVED
DEMOLITION

● +26'-4" ROOF HT.
● +24'-10 1/2" ROOF HT.

● +21'-6 3/4" BEDROOM CLG.

● +11'-8 3/4" BEDROOM FLR.
● +10'-3 1/2" LIVING RM CLG.

● +0'-1/2" LIVING RM FLOOR
● 0'-11 3/4" BASEMENT CLG.

● -8'-6 1/2" BASEMENT FLR.

— +26'-0" PARAPET HT. ●

— +24'-4 1/2" ROOF HT. ●

— +22'-11 1/2" M. BATH CLG. (HIGH) ●

— +20'-9 1/4" DORMER CLG. (LOW) ●

— +18'-4 1/2" M. BATH CLG. (LOW) ●

— +13'-11 1/2" M. BATH FLOOR ●

— +10'-5" LIVING RM. CLG. ●

— +1'-1 1/2" FAMILY RM. FLR. ●

— -1'-10 1/4" BASEMENT CLG. ●

— -10'-6 1/2" BASEMENT FLOOR ●

— -11'-9" SUB-BASEMENT CLG. ●

— -19'-9" SUB-BASEMENT FLOOR ●

2 PREVIOUSLY APPROVED SECTION
SCALE: 1/4" = 1'-0"

PREVIOUSLY APPROVED CONSTRUCTION

● +26'-4" ROOF HT.
● +24'-10 1/2" ROOF HT.

● +21'-6 3/4" BEDROOM CLG.

● +11'-8 3/4" BEDROOM FLR.
● +10'-3 1/2" LIVING RM CLG.

● +0'-1/2" LIVING RM FLOOR
● 0'-11 3/4" BASEMENT CLG.

● -8'-6 1/2" BASEMENT FLR.

— +26'-0" PARAPET HT. ●

— +24'-4 1/2" ROOF HT. ●

— +22'-11 1/2" M. BATH CLG. (HIGH) ●

— +20'-9 1/4" DORMER CLG. (LOW) ●

— +18'-4 1/2" M. BATH CLG. (LOW) ●

— +13'-11 1/2" M. BATH FLOOR ●

— +10'-5" LIVING RM. CLG. ●

— +1'-1 1/2" FAMILY RM. FLR. ●

— -1'-10 1/4" BASEMENT CLG. ●

— -10'-6 1/2" BASEMENT FLOOR ●

— -11'-9" SUB-BASEMENT CLG. ●

— -19'-9" SUB-BASEMENT FLOOR ●

PERMIT AMENDMENT
FOR

1231-35
31ST ST NW

WASHINGTON, DC 20007

LOT: 0046 SQUARE: 1209

EXISTING
SECTION

A010

DATE: 04-08-2021

WORK PREVIOUSLY
PERMITTED - #B1508708,
#B1608994, #B1701991

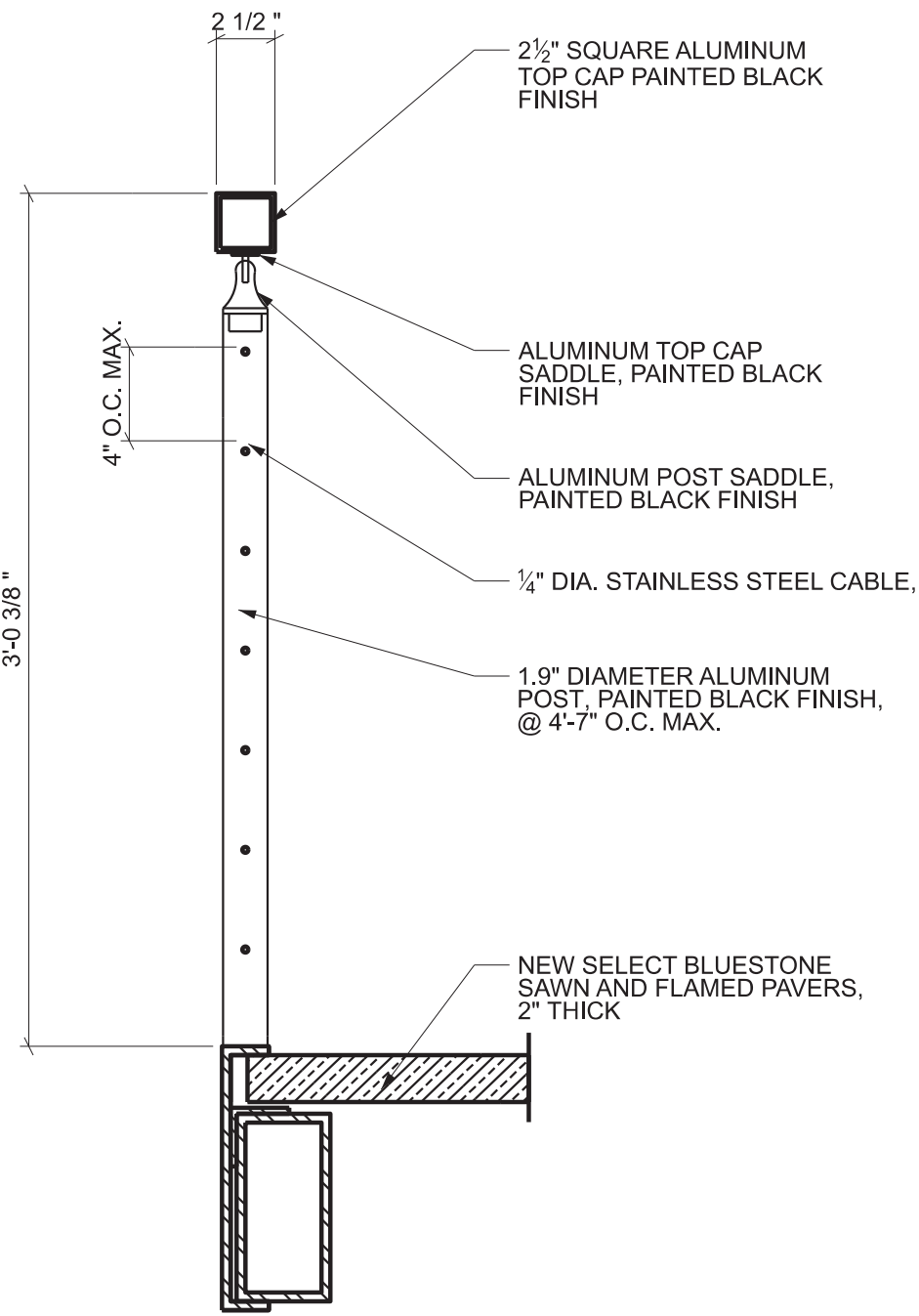
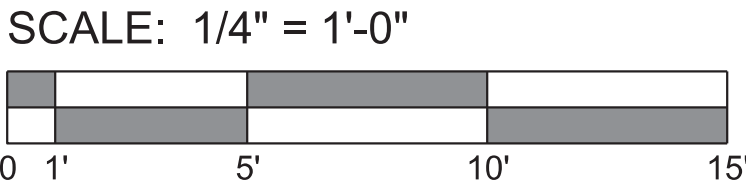
- +26'-4" ROOF HT.
- +24'-10½" ROOF HT.
- +21'-6¾" BEDROOM CLG.
- +11'-8 3/4" BEDROOM FLR.
- +10'- 3½" LIVING RM CLG.
- +0'-1/2" LIVING RM FLOOR
- +0'-11¾" BASEMENT CLG
- 8'-6½" BASEMENT FLR.

- +26'- 0" PARAPET HT.
- +24'-4½" ROOF HT.
- +22'-11 ½" M. BATH CLG. (HIGH)
- +20'-9¼" DORMER CLG. (LOW)
- +18'-4¼" M. BATH CLG. (LOW)
- +13'-11 ½" M. BATH FLOOR
- +10'-5" LIVING RM. CLG
- +1'-1½" FAMILY RM. FLR.
- 1'-10½" BASEMENT CLG.
- 10'-6½" BASEMENT FLOOR
- 11'-9" SUB-BASEMENT CLG.
- 19'-9" SUB-BASEMENT FLOOR

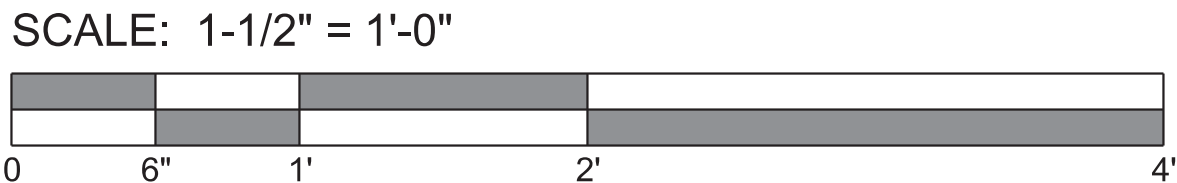
EXTEND PREV.
APPROVED
ALUMINUM AND
STEEL CABLE RAIL
SYSTEM ON NEW
STEEL BALCONY.
ADD NEW COLUMNS
BELOW WITH
RETRACTABLE
SCREENS

1 PROPOSED SECTION
SCALE: 1/4" = 1'-0"

PROPOSED CONSTRUCTION (AMENDMENT)



2 TYP. DETAIL THROUGH CABLE
RAILING (PREVIOUSLY APPROVED)
SCALE: 1 1/2" = 1'-0"



2 CABLE RAILING INSPIRATION IMAGE
NOT TO SCALE



3 PAVER INSPIRATION IMAGE
NOT TO SCALE

OVERMYER
ARCHITECTS

3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

NOTES:

1. ALL DIMENSIONS
TAKEN TO FINISH
UNLESS NOTED
OTHERWISE

PERMIT AMENDMENT
FOR

1231-35
31ST ST NW

WASHINGTON, DC 20007

LOT: 0046 SQUARE: 1209

PROPOSED
SECTION

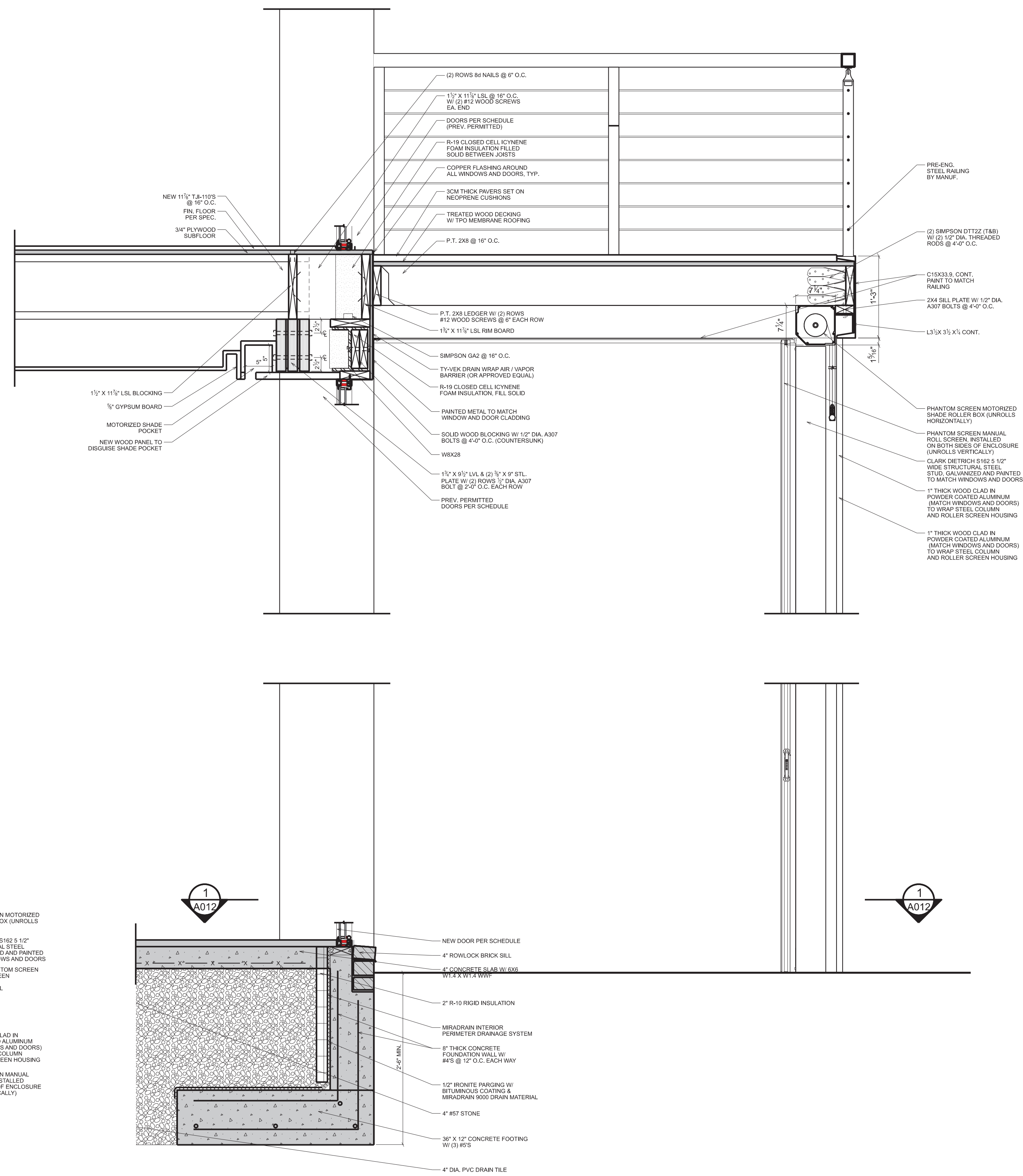
A011

DATE: 04-08-2021

SCALE: 1" = 1'-0"

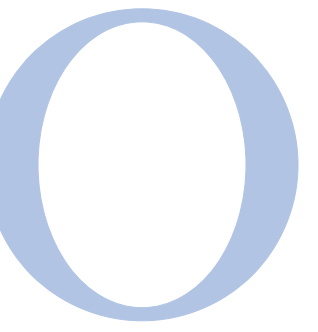
A horizontal scale bar with a black outline. It is divided into segments by vertical tick marks. The segments are: a white segment from 0 to 1', a gray segment from 1' to 2', and a white segment from 2' to 5'. The total length represents 5 feet.

0 1' 2' 5'



2 SECTION DETAIL THROUGH SCREENED PATIO
A012 SCALE: 1" = 1'-0"

 EXISTING / PREV. PERMITTED TO REMAIN



3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5596
FACSIMILE: (202) 333-5598

NOTES:

1. ALL DIMENSIONS
TAKEN TO FINISH
UNLESS NOTED
OTHERWISE

PERMIT AMENDMENT
FOR

WASHINGTON, DC 20007

DT: 0046 SQUARE: 1209

A012

DATE: 04-08-2021

DESIGN NOTES

I. DESIGN LIVE LOADS FOR NEW WORK

A. ROOF LIVE LOAD

- P_g = 30 PSF, MIN ROOF DESIGN LOAD = 30 PSF
- P_l = 21 PSF + DRIFTING
- C_e = 1.0
- I_s = 1.0
- C_s = 1.0

B. FLOOR LIVE LOADS

- DWELLING AREAS = 40 PSF
- HANDRAILS = 50 PLF LATERAL OR 200 LBS POINT LOAD IN ANY DIRECTION

C. WIND LOAD

- V (3-second gust) = 90 MPH
- I_w = 1.0
- EXPOSURE = B

D. SEISMIC LOAD

- LATERAL FORCE SYSTEM: BRACED WOOD PANELS
- SEISMIC USE GROUP = I
- SITE CLASS = D
- NO DESIGN REQUIRED PER IRC/R301.2.2

E. CODE: THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2012 AND THE 2013 DCMR.

F. ASSUMED EARTH PRESSURES

- P AT REST = 60H
- P ACTIVE = 45H
- P PASSIVE = 300H

G. DEAD LOADS

- WOOD FRAMED ROOF = 15 PSF
- TYPICAL WOOD FLOORS = 12 PSF
- CONCRETE DECK = 50 PSF
- TILE/STONE FLOORS = 20 PSF
- TYPICAL ROOF = 15 PSF
- BALCONY W/ STONE PAVERS = 40 PSF

II. WOOD

A. ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO.1/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", NFPA. ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD-GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.

MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:

- WOOD LINTELS, JOISTS AND BEAMS
 - FLEXURE: F_b = 875 PSI
 - SHEAR: F_v = 135 PSI
 - MODULUS OF ELASTICITY = 1,400,000 PSI
- WALL STUDS: STUD GRADE
 - FLEXURE: F_b = 675 PSI
 - COMPRESSION PARALLEL: F_c = 725 PSI
 - MODULUS OF ELASTICITY = 1,200,000 PSI

B. ALL FRAMING EXPOSED TO WEATHER OR DESIGNATED "P.T." IS TO BE PRESSURE TREATED SOUTHERN PINE NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", NFPA. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS". MINIMUM MEMBER PROPERTIES SHALL BE IN ACCORDANCE WITH TABLE 4B IN THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".

C. ALL EXTERIOR WALL STUDS ARE TO BE 2x6'S SPACED AT 16" O.C. (U.N.O.), PLACE DOUBLE STUDS AT END OF WALLS AND TRIPLE STUDS AT INTERSECTIONS AND CORNERS. ALL MULTIPLE STUD POSTS SHALL BE FASTENED AS FOLLOWS: DOUBLE STUDS SHALL BE NAILED TOGETHER WITH 10d AT 6" O.C. TRIPLE STUDS SHALL BE NAILED TOGETHER WITH 16d AT 6" O.C. EACH SIDE, FOR (4) STUD POSTS, USE 20d NAILS AT 8-INCHES ON CENTER.

D. ROOF SHEATHING SHALL BE 5/8-INCH, CDX, APA STRUCTURAL I RATED SHEATHING, EXPOSURE I, PER THE "AMERICAN PLYWOOD ASSOCIATION." SHEATHING SHALL BE FASTENED WITH 8d NAILS AT 6-INCHES ON CENTER AT PANEL EDGES AND AT 12-INCHES ON CENTER AT ALL INTERMEDIATE SUPPORTS.

E. WALL SHEATHING SHALL BE 1/2-INCH, CDX, APA STRUCTURAL I RATED SHEATHING, EXPOSURE I, PER THE "AMERICAN PLYWOOD ASSOCIATION." SHEATHING SHALL BE FASTENED WITH 8d NAILS AT 6-INCHES ON CENTER AT PANEL EDGES AND AT 12-INCHES ON CENTER AT ALL INTERMEDIATE SUPPORTS.

F. ALL PLYWOOD SUBFLOORING SHALL BE 3/4-INCH THICK T&G, APA RATED 3216 ADVANTECH SHEATHING OR STURD-FLOOR 20 OC RATED SHEATHING SHALL BE GLUED WITH SUB-FLOOR ADHESIVE AND BE FASTENED WITH 8d NAILS AT 6-INCHES ON CENTER AT PANEL EDGES AND AT 12-INCHES ON CENTER AT ALL INTERMEDIATE SUPPORTS.

G. LAMINATED VENEER LUMBER (L.V.L.) SHALL BE INSTALLED AND FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:

- FLEXURE: F_b = 2,600 PSI
- SHEAR: F_v = 285 PSI
- MODULUS OF ELASTICITY: E = 2,000,000 PSI

CONTRACTOR SHALL PROVIDE MANUFACTURER'S PRODUCT SHEETS FOR APPROVAL BY ENGINEER FOR ALL LVL BEAMS

H. 1 1/2-INCH LAMINATED STRAND VENEER LUMBER (L.S.L.) SHALL BE INSTALLED AND FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:

- FLEXURE: F_b = 1,700 PSI
- SHEAR: F_v = 425 PSI
- MODULUS OF ELASTICITY: E = 1,300,000 PSI

CONTRACTOR SHALL PROVIDE MANUFACTURER'S PRODUCT SHEETS FOR APPROVAL BY ENGINEER FOR ALL LSL MEMBERS

I. PROVIDE MIN. 3" BEARING FOR ALL LAMINATED VENEER AND PARALLEL STRAND BEAMS, 2" BEARING FOR STANDARD LUMBER BEAMS.

J. ALL WOOD TOP PLATE SPLICES SHALL BE STAGGERED 6'-0" MINIMUM.

K. ALL WALL SHEATHING SHALL BE CONTINUOUS BETWEEN TOP PLATES AND BOTTOM PLATE OF WALL ABOVE. ALL PLYWOOD PANELS EDGES SHALL BE CONTINUOUSLY BLOCKED AND NAILED.

L. ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH THE FOLLOWING NAILS AND SIMPSON SDS (STRONG-DRIVE SCREWS), USING THE FASTENER-TO-FASTENER SPACING NOTED WITHIN EACH ROW OF FASTENERS. ALL FASTENERS SHALL BE INSTALLED IN THE QUANTITY OF ROWS SPECIFIED, IN A STAGGERED PATTERN.

PLIES	DEPTH	FASTENERS	SPACING	ROWS
(2)1'-1/2"	9'-12"	10d NAILS	12" O.C.	2
(3)1'-1/2"	9'-12"	16d NAILS	16" O.C.	2*
(2)1'-3/4"	9'-12"	12d NAILS	16" O.C.	2
(2)1'-3/4"	14'-20"	12d NAILS	12" O.C.	3
(3)1'-3/4"	9'-12"	SDS1/4"x4-1/2"	12" O.C.	2*
(3)1'-3/4"	14'-20"	SDS1/4"x4-1/2"	12" O.C.	3*
(4)1'-3/4"	9'-12"	SDS1/4"x6"	12" O.C.	2*
(4)1'-3/4"	14'-20"	SDS1/4"x6"	12" O.C.	3*

* ALL TRIPLE AND QUADRUPE-PLY MEMBERS SHALL BE FASTENED FROM BOTH SIDES WITH THE NUMBER OF ROWS AND FASTENERS SPECIFIED, SIDE-TO-SIDE SPACING SHALL ALSO BE STAGGERED.

M. PROVIDE SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL BEARING POINTS.

N. ALL MISCELLANEOUS WOOD CONNECTIONS SHALL BE FASTENED PER 2012 IBC, TABLE 2304.9.1 "FASTENING SCHEDULE."

O. NAILS INDICATED IN THE DRAWINGS, DETAILS, AND NOTES SHALL BE DEFINED AS FOLLOWS: 8d=0.131"x2.5", 10d=0.148"x3", 16d=0.167"x3.5". SUBSTITUTIONS FOR THESE NAIL SIZES SHALL BE SUBMITTED IN WRITING TO THE ENGINEER FOR APPROVAL.

P. DOUBLE JOISTS SHALL BE LOCATED BENEATH ALL PARTITIONS WHEN THE LENGTH OF THE PARTITION EXCEEDS ONE HALF THE SPAN.

Q. JOIST HANGERS SHALL BE SIZED ACCORDING TO THE FOLLOWING SCHEDULE (U.N.O.), EXCEPT AT SLOPED MEMBER CONDITIONS:

SUPPORTED MEMBER	HANGER
EX. 2 1/2"x7 1/2" (SLOPED)	HU36
(2)2x8	LUS28-2
11 7/8" T.J-110	IUS1.81/11.88
11 7/8" T.J-210	IUS2.06/11.88
(2) 1 1/2"x1 1/2" LVL	MGU3.63-SDS
(4) 1 1/2"x1 1/2" LVL	HGU7.25-SDS

SOME HANGERS MAY REQUIRE 16d NAILS - REFER TO THE SIMPSON STRONG-TIE CATALOG FOR REQUIREMENTS. CONTRACTOR SHALL PROVIDE MANUFACTURER'S CUT SHEETS FOR ALL HANGER SUBSTITUTIONS.

R. PROVIDE SIMPSON H2.5A HURRICANE CLIPS FASTENED TO THE OUTSIDE FACE OF THE DOUBLE TOP PLATE AT ALL ROOF RAFTER BEARING POINTS.

S. WOOD I-JOISTS SHALL HAVE THE FOLLOWING MINIMUM B1 PROPERTIES (IN 2-LBS.):

- 11 7/8" T.J-110 = 238,000,000
- 11 7/8" T.J-210 = 283,000,000

T. ALL ROOF SHEATHING SHALL BE LAID CONTINUOUSLY BETWEEN THE EDGES OF THE ROOF.

III. CONCRETE

A. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302.

B. CEMENT SHALL COMPLY WITH ASTM C150, TYPE I OR II.

C. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60. ALL REINFORCEMENT SPLICES SHALL BE A MINIMUM OF 40 BAR DIAMETERS.

D. CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH F_c = 3000 PSI FOR FOOTINGS AND FOUNDATION WALLS. F_c = 3500 PSI FOR EXTERIOR EXPOSED SLAB/STEPS AND FOUNDATIONS WALLS.

E. PROVIDE 6x6-W1.4xW1.4 W.W.F. IN ALL SLAB-ON-GRADE. ALL WIRE FABRIC SHALL CONFORM TO ASTM A185. ALL MESH EDGES SHALL LAP A MINIMUM OF TWO (2) SQUARES.

F. CONCRETE SLUMP SHALL = 4" ± 1".

G. MINIMUM CONCRETE COVER BETWEEN FACE OF REINFORCING BAR AND FACE OF CONCRETE SHALL BE AS FOLLOWS:

- CONCRETE CAST AGAINST EARTH = 3"
- FORMED CONCRETE EXPOSED TO WEATHER OR EARTH = 2"

H. ALL SLABS AND FOUNDATION WALLS EXPOSED TO WEATHER SHALL HAVE A MINIMUM AIR ENTRAINMENT OF 6% ± 1.5% PER ACI-318 4.2.1.

I. PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS WITH SIZE AND SPACING TO MATCH HORIZONTAL WALL REINFORCEMENT.

J. PROVIDE KEYED JOINTS BETWEEN ALL NON-MONOLITHIC INTERSECTING CONCRETE WALLS AND AT ALL CONCRETE JOINTS.

K. GROUT SHALL BE NON-SHRINKABLE, NON-METALLIC CONFORMING TO ASTM C1107, AND SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH AT 28 DAYS OF 5,000 PSI. PREGROUTING OF BASE PLATES SHALL NOT BE PERMITTED.

L. PROVIDE AN 8-MIL VAPOR BARRIER OVER A 4-INCH LAYER OF GRAVEL BENEATH ALL SLAB-ON-GRADE.

M. ALL VERTICAL WALL REINFORCEMENT INTERRUPTED BY WALL OPENINGS SHALL BE PLACED IMMEDIATELY ADJACENT TO EACH OF THE OPENINGS.

N. PROVIDE DOWELS WITH STANDARD BAR HOOK IN FOOTING TO MATCH DIAMETER AND SPACING OF VERTICAL REINFORCEMENT. MINIMUM SPLICE LENGTH = 40x BAR DIAMETER.

O. PROVIDE 1/2-INCH DIAMETER ANCHOR BOLTS AT A MAXIMUM OF 6'-0" ON CENTER AT ALL WOOD SILL PLATES. PROVIDE AT LEAST (2) ANCHOR BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED AT NOT MORE THAN 12-INCHES FROM EACH END. BOLTS SHALL EMBED AT LEAST 7-INCHES INTO MASONRY OR CONCRETE. NUTS AND PLATE WASHERS (1/8"x2"x2") SHALL BE TIGHTENED ONTO EACH BOLT.

IV. STRUCTURAL STEEL

A. ALL STRUCTURAL STEEL SHALL BE ASTM FABRICATED AND ERECTED IN ACCORDANCE WITH AISC "STEEL CONSTRUCTION MANUAL" WITH A MINIMUM YIELD STRENGTH AS FOLLOWS:

- W SHAPES: F_y = 50 ksi, PER ASTM A 992.
- PLATES, ANGLES AND CHANNELS: F_y = 36 ksi PER ASTM A36.

B. ALL STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A53, GRADE B, F_y = 35 ksi. STANDARD SCHEDULE 40 PIPE TO BE USED UNLESS NOTED OTHERWISE.

C. ALL BOLTS SHALL BE ASTM A307.

D. WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE "STRUCTURAL WELDING CODE" AWS D1.1-2006. USE 70 KSI, LOW-HYDROGEN ELECTRODES.

E. ALL STEEL LINTELS SHALL BE GALVANIZED AND HAVE A MINIMUM OF 6" BEARING AND SHALL BE PROPORTIONED AS FOLLOWS FOR EACH 4" OF WALL WIDTH.

OPENING SIZE	LINTEL
UP TO 4'-0"	14x3 1/2x1/4
4'-1" TO 5'-0"	14x3 1/2x5/16
5'-1" TO 6'-0"	15x3 1/2x5/16
6'-1" TO 8'-0"	16x3 1/2x3/8

F. CONTRACTOR SHALL DESIGN AND ERECT SHORING AND/OR BRACING OF EXISTING WALLS AS REQUIRED DURING INSTALLATION OF LINTELS. DESIGN AND ERECTION OF SHORING AND/OR BRACING SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

G. NO OPENINGS IN BEAMS OR COLUMNS ARE PERMITTED WITHOUT STRUCTURAL ENGINEER'S APPROVAL.

H. SPLICING OF STRUCTURAL STEEL MEMBERS WHERE NOT DETAILED ON THE CONTRACT DOCUMENTS IS PROHIBITED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER AS TO LOCATION, TYPE OF SPLICE AND CONNECTION TO BE MADE.

I. ALL MISCELLANEOUS STEEL CONNECTIONS SHALL BE WELDED ALL AROUND WITH ONE-QUARTER-INCH FILLET WELD UNLESS OTHERWISE NOTED, EXCEPT FOR SLOTTED CONNECTIONS.

J. PROVIDE A MINIMUM BEARING LENGTH OF 6" FOR ALL BEAMS SUPPORTED ON MASONRY.

K. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED BY THE MANUFACTURER'S ENGINEER FOR THE MOST RESTRICTIVE OF THE LOADS GIVEN AND APPLICABLE DESIGN CODE. IN NO CASE SHALL TOTAL COMBINED POSTRALLING DEFLECTION EXCEED 0.5". SUBMIT SHOP DRAWINGS BEARING THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT TO THE ARCHITECT INDICATING ALL MEMBERS AND CONNECTIONS.

K. ALL WORK SHALL COMPLY WITH THE AISC CODE "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" EXCEPT THAT PARAGRAPH 4.2.1 SHALL BE DELETED.

V. MASONRY

A. ALL HOLLOW CONCRETE MASONRY UNITS SHALL BE LIGHT WEIGHT AND CONFORM TO ASTM C90 TYPE I HAVING A NET MINIMUM AREA COMPRESSIVE STRENGTH OF 1900 PSI AND A PRISM STRENGTH F_m = 2000 PSI IN ACCORDANCE WITH THE UNIT STRENGTH METHOD.

B. ALL FACE BRICK MASONRY UNITS SHALL CONFORM TO ASTM C216 AND C652, GRADE MW OR SW, TYPE FBS, FBX, OR FBA, WITH A MINIMUM COMPRESSIVE STRENGTH = 2500 PSI.

C. GALVANIZED HORIZONTAL JOINT REINFORCEMENT SHALL BE 9 GA. MINIMUM, PLACED IMMEDIATELY ABOVE AND BELOW ALL OPENINGS AND AT 16" O.C. VERTICALLY. REINFORCEMENT SHALL BE LADDER TYPE, AND WHERE SPLICED, SHALL LAP A MINIMUM OF 6". REINFORCEMENT SHALL CONFORM TO ASTM A-82 AND ASTM A153, CLASS B2, HOT DIP GALVANIZED (1.5 OZ/SF)

D. ALL VERTICAL WALL REINFORCEMENT INTERRUPTED BY WALL OPENINGS SHALL BE PLACED IMMEDIATELY ADJACENT TO EACH OF THE OPENINGS.

E. MASONRY MORTAR SHALL BE ASTM C270 TYPE S FOR HOLLOW CMU WALLS AND TYPE N FOR VENEER WALLS. PORTLAND CEMENT/IME SHALL BE USED FOR ALL CMU WALLS.

F. ALL MASONRY CELLS CONTAINING BOLTS OR REINFORCEMENT SHALL BE FILLED WITH COARSE GROUT PER ASTM C476, AGGREGATE PER ASTM C404.

G. PROVIDE TWO (2) COURSES OF SOLID CMU PER ASTM C 90 OR GROUT-FILLED CMU BENEATH ALL BEAM, POSTS AND HEADER BEARING POINTS.

H. PROVIDE DOWELS WITH STANDARD BAR HOOK IN FOOTING TO MATCH DIAMETER AND SPACING OF VERTICAL REINFORCEMENT. MINIMUM SPLICE LENGTH = 40x BAR DIAMETER.

I. BRICK TIES SHALL BE ATTACHED TO ALL BRICK VENEER SPACED AT 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY (MAXIMUM). CORRUGATED TIES ARE PROHIBITED FOR WALLS WITH CAVITIES OVER 1". TIES SHALL EXTEND 3" INTO BRICK AND/OR CMU.

J. TIE MATERIAL SHALL CONFORM TO ASTM A366 AND ASTM A153, CLASS B2, HOT DIP GALVANIZED (1.5 OZ/SF). STEEL WIRE SHALL CONFORM TO ASTM A82.

K. ALL PRECAST MASONRY LINTELS SHALL HAVE A MINIMUM BEARING LENGTH OF 6" AND SHALL BE PROPORTIONED AS FOLLOWS FOR EACH 4" OF THICKNESS FOR NON-LOAD-BEARING WALLS, F_c=3000 PSI.

OPENING THICKNESS	LINTEL (6" DEEP)
UP TO 4'-0"	W1 #4 T&B
4'-1" TO 5'-0"	W1 #5 T&B
5'-1" TO 6'-0"	W1 #6 T&B

L. ALL MASONRY WORK SHALL BE IN CONFORMANCE WITH THE "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530.1-02/ASCE 6-02/TMS 602-02.

M. ALL CMU GROUT SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 2000 PSI.

N. PROVIDE CRACK CONTROL JOINTS AT ALL WALL RETURNS AND JAMBS OF OPENINGS AND AT A MAXIMUM SPACING OF 25-FEET ON CENTER.

VI. GENERAL

A. INFORMATION SHOWN REGARDING EXISTING CONDITIONS HAS BEEN OBTAINED BY LIMITED VISUAL OBSERVATIONS. AREAS NOT VISIBLE HAVE BEEN ASSUMED TYPICAL WITH OBSERVED EXISTING CONDITIONS.

B. THE CONTRACTOR SHALL EXPOSE AND CONFIRM ALL EXISTING STRUCTURAL CONDITIONS RELATIVE TO THE NEW CONSTRUCTION AND INFORM THE ENGINEER OF CONDITIONS AT VARIANCE WITH THOSE SHOWN ON THE DRAWINGS. VERIFICATION AND NOTIFICATION SHALL PROCEED PRIOR TO

THE START OF WORK SO THAT ANY NECESSARY CHANGES CAN BE MADE WITHOUT DELAYING THE PROJECT SCHEDULE.

C. THE CONTRACTOR SHALL MEASURE AND PROVIDE ALL EXISTING FIELD DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOB SITE PRIOR TO CONSTRUCTION AND THE SUBMISSION OF SHOP DRAWINGS, AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

D. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A DISTRICT OF COLUMBIA REGISTERED ENGINEER TO DESIGN ALL TEMPORARY BRACING AND SHORING, AS NEEDED, TO ENSURE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR PORTION THEREOF DURING DEMOLITION OPERATIONS.

E. THE CONTRACTOR'S REGISTERED ENGINEER SHALL ALSO DETERMINE THE ALLOWABLE TEMPORARY CONSTRUCTION LOADS & PROVIDE A DESIGN FOR ALL FALSEWORK, FORMWORK, STAGINGS, RIGGING, BRACING, SHEETING, & SHORING, AND TEMPORARY CONSTRUCTION EQUIPMENT SUCH AS MANLIFTS, AND PALLET TRUCKS WHENEVER THE LOADING FROM THE CONTRACTOR'S WORK EXCEEDS THE ALLOWABLE LIVE LOAD CAPACITIES INDICATED ON THE DRAWINGS. THE DESIGN PROCEDURES SHALL CONFORM TO ALL GOVERNING CODES & SAFETY REQUIREMENTS. A RECORD COPY OF THE SIGNED & SEALED DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED TO THE A/E.

F. DETAILS, SECTIONS, AND NOTES SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE UNLESS OTHERWISE SHOWN OR NOTED.

G. ALL WALLS ARE DESIGNED AS Laterally Braced by the Floor and Roof Systems. CONTRACTOR SHALL ENSURE THAT WALLS ARE ADEQUATELY BRACED DURING CONSTRUCTION.

H. TEMPORARY BRACING SHALL BE PROVIDED FOR ALL WALLS SUBJECT TO UNBALANCED BACKFILL. BRACE WALL PLUMB UNTIL STABILIZING ELEMENT AT TOP AND BOTTOM OF WALL IS IN PLACE.

I. ANY REQUIRED TEMPORARY SHORING SHALL BE IN CONFORMANCE WITH OSHA REGULATIONS. UNBRACED EXCAVATIONS SHALL BE SLOPED NO GREATER THAN (1:5) HORIZONTAL TO (1) VERTICAL.

J. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN VICINITY OF FOUNDATIONS AND NOTIFY THE ARCHITECT IF A CONFLICT EXISTS. PROVIDE INFORMATION ON LOCATION SIZE AND ELEVATION OF UTILITIES PRIOR TO START OF WORK SO THAT ANY NECESSARY CHANGES CAN BE MADE WITHOUT DELAYING THE PROJECT SCHEDULE.

K. THE DEVELOPMENT AND IMPLEMENTATION OF JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

L. CONTRACTOR SHALL PROVIDE INDEPENDENTLY PREPARED SHOP DRAWINGS AND SHALL NOT REPRODUCE ANY PORTION OF THE CONTRACT DOCUMENTS IN PREPARING SHOP DRAWINGS. THE SHOP DRAWINGS SHALL NOT SIMPLY BE A MARK-UP OF THE CONTRACT DOCUMENTS.

VII. DEMOLITION

A. ALL MEANS AND METHODS OF SAFELY REMOVING ALL EXISTING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

VIII. TESTING AND INSPECTION

THE CONTRACTOR SHALL RETAIN THE SERVICES OF AN INSPECTION AGENCY TO PERFORM THE FOLLOWING SERVICES.

A. INSPECTION OF SUBGRADE BELOW ALL FOUNDATIONS AND SLAB-ON-GRADE TO VERIFY THE ADEQUACY OF THE BEARING MATERIAL.

B. WRITTEN REPORTS SHALL BE SUBMITTED TO THE ARCHITECT STATING COMPLIANCE OR NONCOMPLIANCE WITH DESIGN DOCUMENTS AND SPECIFICATIONS. ALL REPORTS SHALL BE SIGNED AND SEALED BY DISTRICT OF COLUMBIA REGISTERED ENGINEER.

C. INSPECTION AND TESTING OF ALL NEW STRUCTURAL FILL WITH REPORTS SUBMITTED TO ARCHITECT STATING COMPLIANCE OR NONCOMPLIANCE WITH PERCENT COMPACTION REQUIREMENTS.

IX. EARTHWORK

A. ALLOWABLE SOIL BEARING PRESSURE FOR ALL SHALLOW FOOTINGS IS TO BE 2000 PSF PER THE GEOTECHNICAL REPORT PREPARED BY FMC & ASSOCIATES, LLC, DATED FEBRUARY 6, 2015. SHOULD UNSUITABLE MATERIAL BE ENCOUNTERED, FOOTINGS SHALL BE OVEREXCAVATED AND REPLACED WITH LEAN CONCRETE, F_c = 2000 PSI. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW EXTERIOR GRADE, UNLESS NOTED OTHERWISE.

B. ALL FILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL AND SHALL BE SELECTED ON THE BASIS OF LABORATORY COMPACTION TESTS, HAVING A LIQUID LIMIT OF LESS THAN 40, A PLASTICITY INDEX OF LESS THAN 16, FILL SHALL BE PLACED IN MAXIMUM 6-INCH LIFTS AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINED BY ASTM D1557, MODIFIED PROCTOR METHOD.

C. IF HIGH PLASTICITY SOILS ARE ENCOUNTERED AT OR NEAR FOOTING SUBGRADE DURING CONSTRUCTION, THE MATERIAL SHALL BE REMOVED AND REPLACED WITH PROPERTY COMPACTED STRUCTURAL FILL.

D. FOOTING TRENCHES SHALL BE BACKFILLED WITH LEAN CONCRETE IMMEDIATELY UPON EXCAVATION TO PREVENT GROUNDWATER INFILTRATION.

E. PERIMETER DRAIN TILE SHALL CONSIST OF 4-INCH DIAMETER CORRUGATED POLYETHYLENE TUBING PER ASTM D-405 WITH A MAXIMUM SIZE WIDTH OF 1/4-INCH. TUBING SHALL BE PLACED WITH SLOTS DOWN USING STRAIGHT SECTIONS AND STANDARD CONNECTIONS.

X. STEEL STAIRS

A. ALL STEEL STAIR STRINGERS SHALL BE CONTINUOUS HSS5x4x1/4 MINIMUM, UNLESS OTHERWISE NOTED. STRINGERS SHALL BE MITERED AND WELDED WITH FULL PENETRATION WELDS.

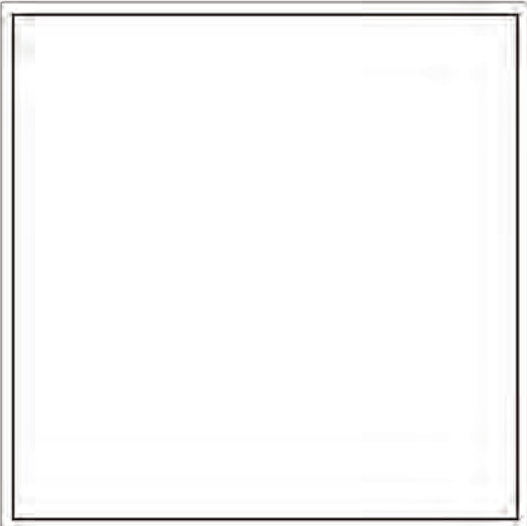
B. ALL RISER PLATES SHALL BE 3/8" STEEL PLATES, MINIMUM.

C. ALL TREAD PLATES SHALL BE 3/8" STEEL PLATES, MINIMUM AND SHALL BE FASTENED TO THE 3" WOOD STAIR TREADS WITH TWO ROWS OF #12 WOOD SCREWS AT SIX INCHES ON CENTER.

D. ALL MISCELLANEOUS STEEL CONNECTIONS SHALL BE WELDED ALL AROUND WITH ONE-QUARTER-INCH FILLET WELD UNLESS OTHERWISE NOTED, EXCEPT FOR SLOTTED CONNECTIONS.

E. ALL STEEL STAIRS ARE TO BE ENGINEERED BY THE CONTRACTOR'S FABRICATOR FOR THE LOADS GIVEN AND ALL APPLICABLE CODES WITH SHOP DRAWINGS STAMPED BY THE MANUFACTURER'S REGISTERED ENGINEER LICENSED IN WASHINGTON, DC AND SUBMITTED TO THE ARCHITECT FOR APPROVAL.

FOR PERMIT ONLY / NOT FOR CONSTRUCTION



Overmyer
ARCHITECTS

3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-6696
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.



Linton Engineering, L.L.C.
46090 Lake Center Plaza
Suite 309
Potomac Falls, VA 20165
(P) 571.323.0320
LE Project # 15-166 LE Project Engineer: DG

INTERIOR PERMIT DRAWINGS
FOR

1231-35
31ST ST NW

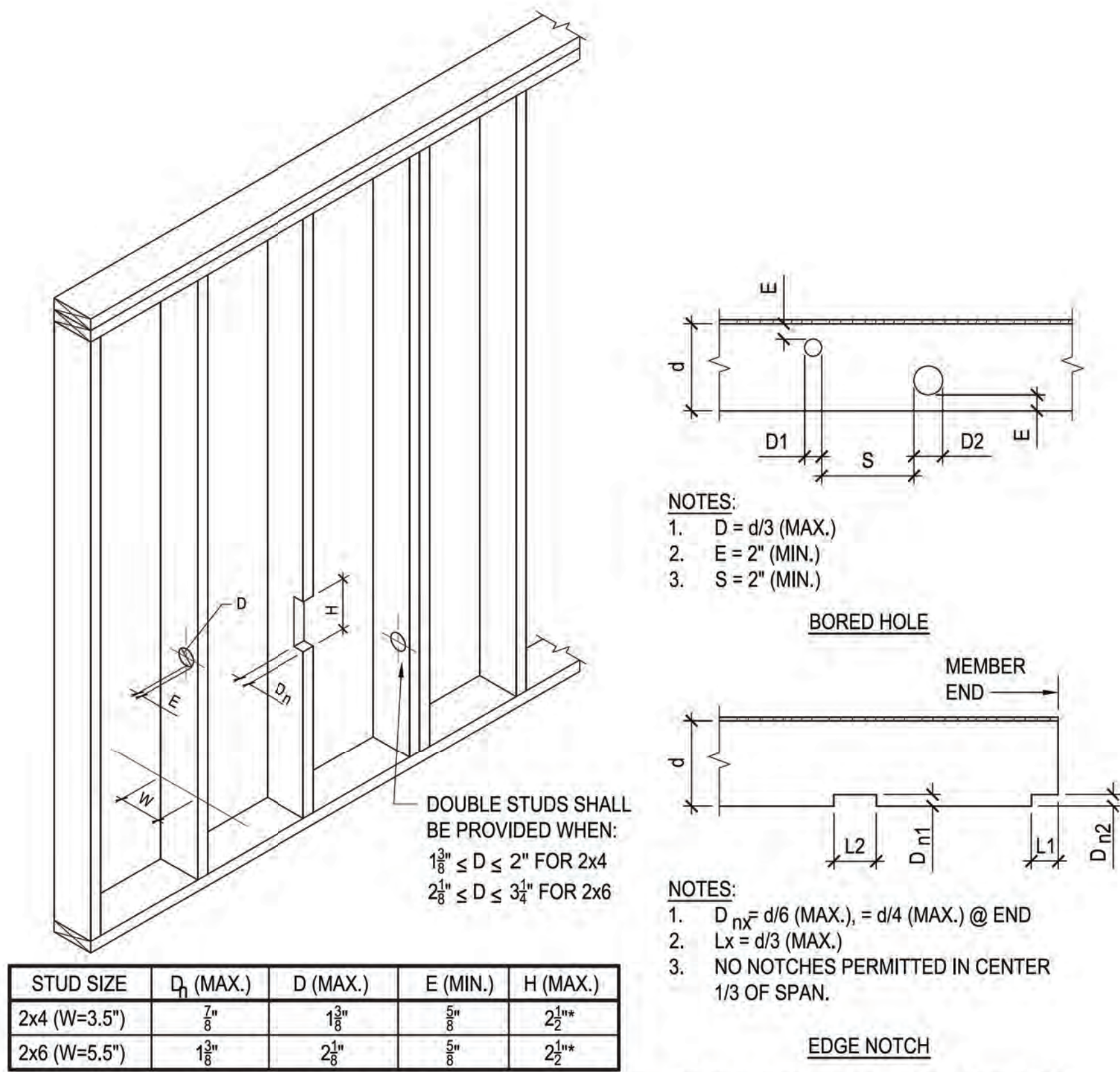
WASHINGTON, DC 20007

LOT: 0046 SQUARE: 1209

DESIGN NOTES

S001

DATE: 03-11-2021



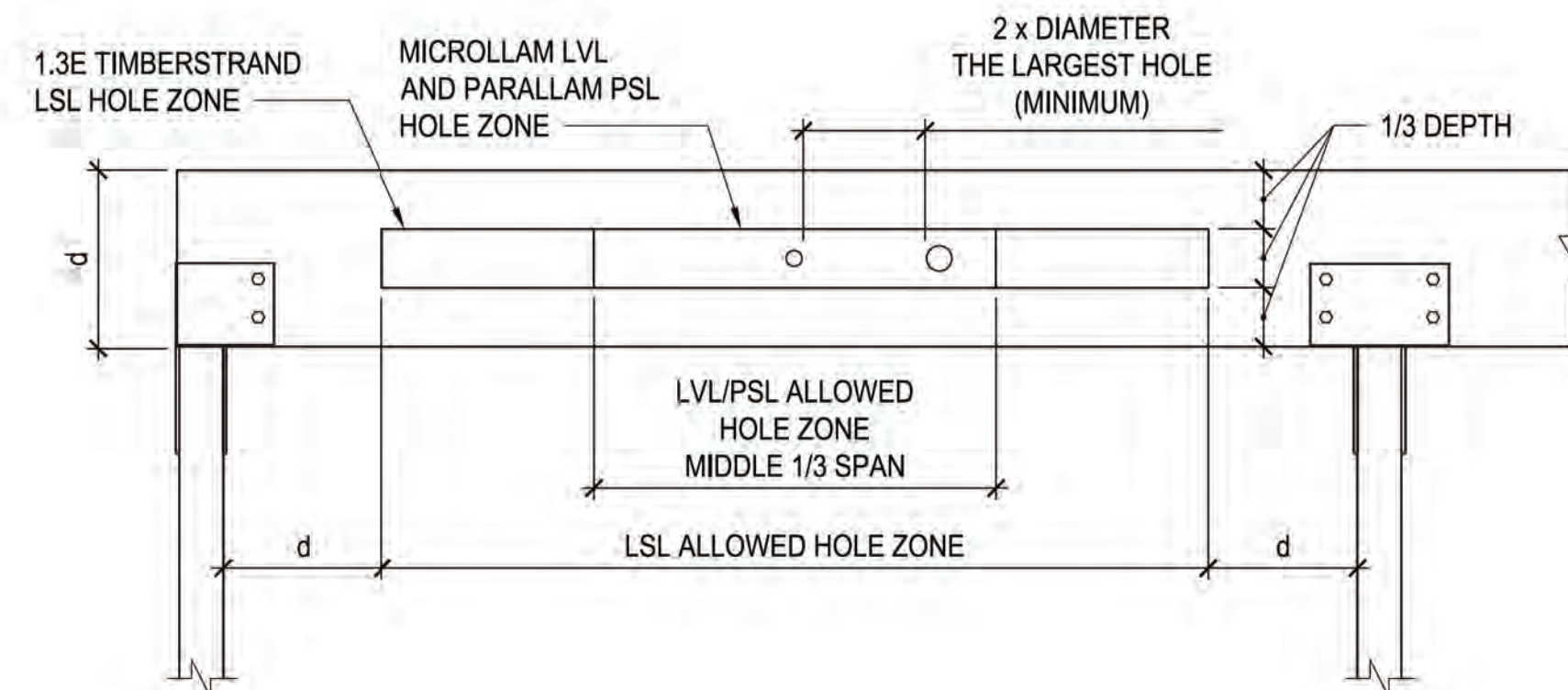
LOAD-BEARING STUD WALLS

NOTES:

- THESE LIMITS ARE IN GENERAL ACCORDANCE WITH THE 2012 IRC. NOTCHES OR HOLES THAT DO NOT MEET THESE REQUIREMENTS, INCLUDING ALL CONDITIONS WHERE THREE OR MORE MEMBERS IN A ROW ARE CUT, OR WHEN CUT MEMBERS SUPPORT MORE THAN ONE LEVEL, MUST BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW.
- ALL BORED HOLES WITH AN EDGE DISTANCE LESS THAN THE DIMENSION "E" NOTED ABOVE SHALL BE REINFORCED WITH SIMPSON "SS" STUD SHOES (OR APPROVED EQUAL). WHERE BORED HOLES PROVIDE PASSAGE FOR PIPING, SIMPSON NS2 (OR APPROVED EQUAL) SHALL BE PROVIDED FOR CODE-REQUIRED PROTECTION.
- * EDGE NOTCH HEIGHT, "H", IS LIMITED BY THE METAL STUD SHOE DIMENSION PER SIMPSON.
- GENERAL NOTATION: D = DIAMETER, OF BORED HOLE D_{nx} = NOTCH DEPTH, H = NOTCH HEIGHT, Lx = NOTCH LENGTH, E = EDGE DISTANCE, d = JOIST DEPTH, W = STUD DEPTH

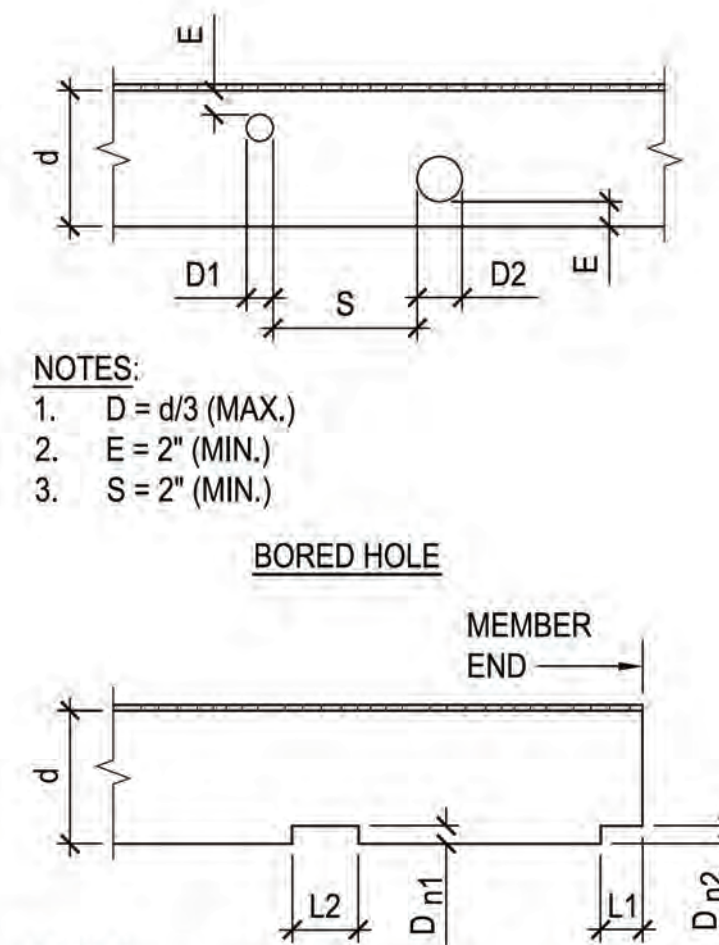
1 SAWN LUMBER NOTCH & HOLE LIMITS

SCALE: N.T.S.



4 ALLOWABLE PENETRATIONS IN LVL BEAMS

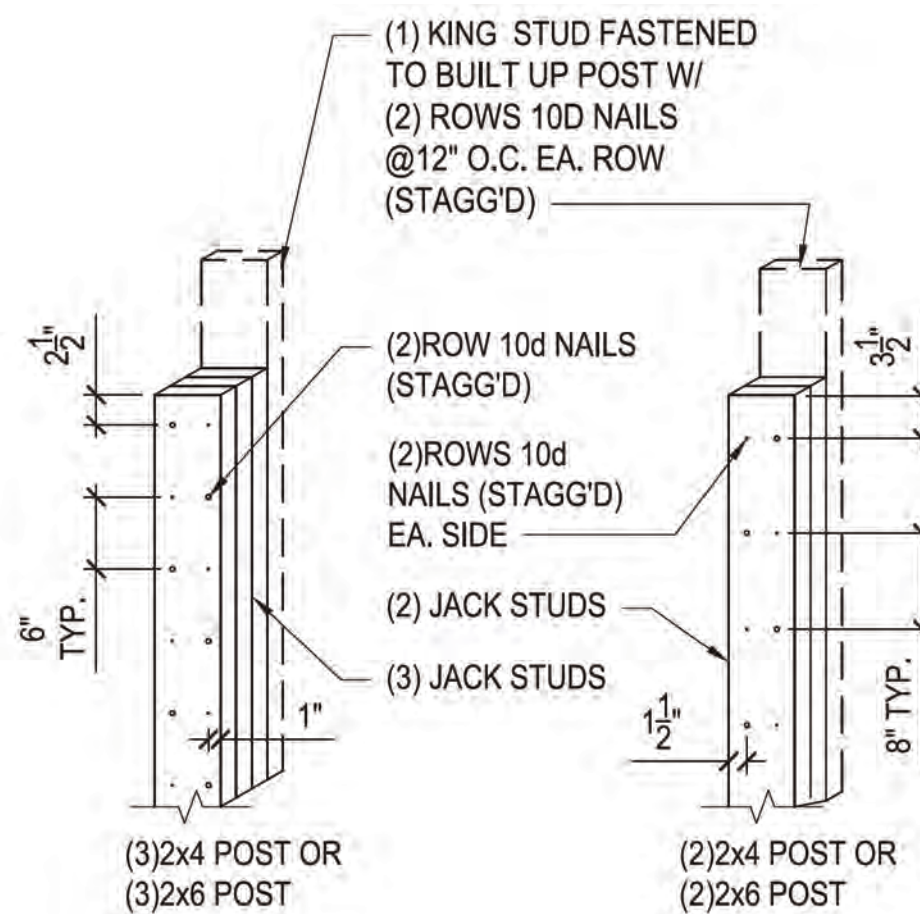
SCALE: 1/2"=1'-0"



SOLID JOISTS, RAFTERS, & BEAMS

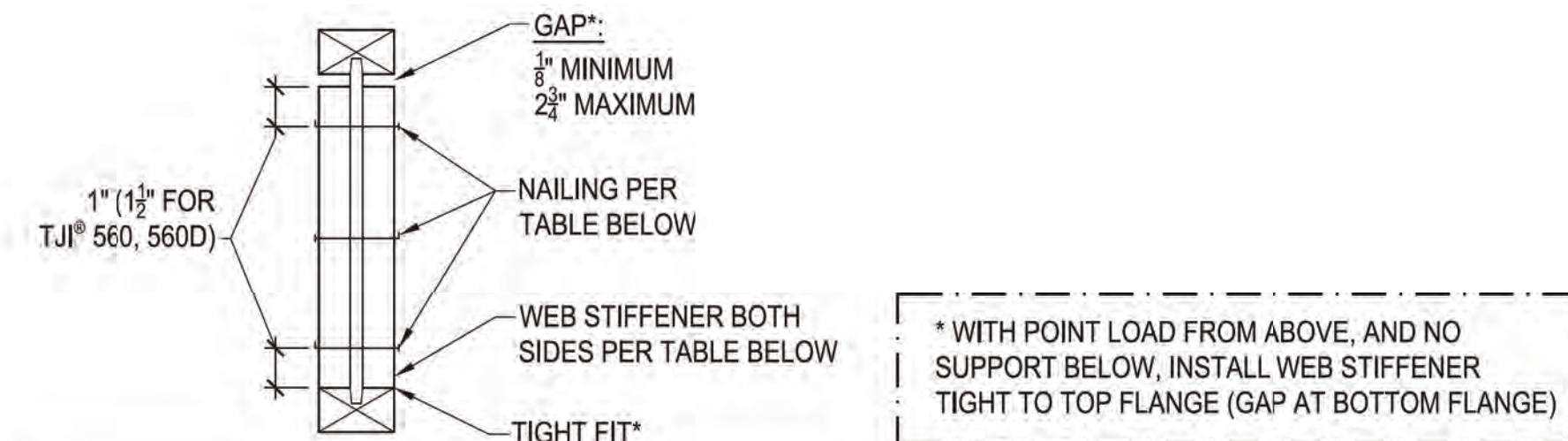
NOTES:

- D_{nx} = d/6 (MAX.), = d/4 (MAX.) @ END
- Lx = d/3 (MAX.)
- NO NOTCHES PERMITTED IN CENTER 1/3 OF SPAN.



2 TYP. NAILING SCHEDULE FOR 2x BUILT UP POSTS

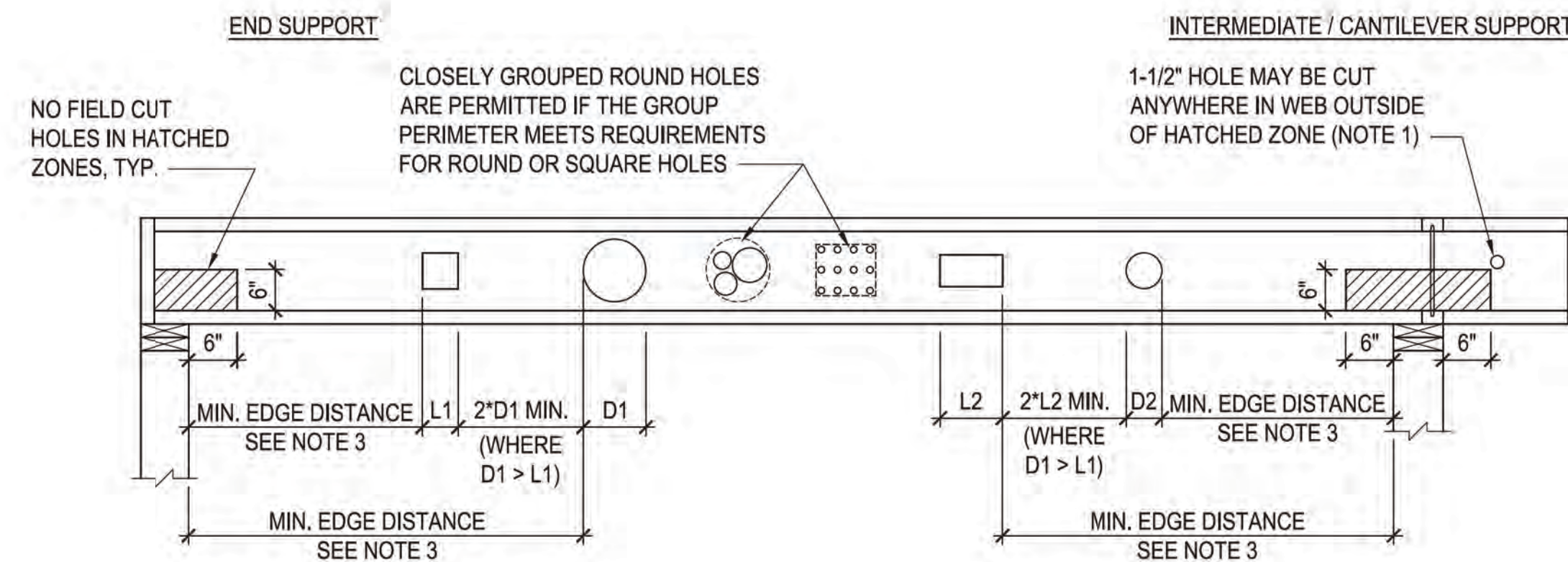
SCALE: 3/4"=1'-0"



TJI® JOIST SERIES	DEPTH (IN.)	MINIMUM WEB STIFFENER SIZE	NAILING REQUIREMENTS	
			TYPE	NUMBER NAILS
110	All	5/8" x 2 5/16" (1)	8d (0.113" x 2 1/2")	3
210	All	3/4" x 2 5/16" (1)		
230 & 360	All	7/8" x 2 5/16" (1)		
560	All	2x4 (2)	16d (0.135" x 3 1/2")	4
560D	18"		16d (0.135" x 3 1/2")	5
	20"			6
	22" (3)	2x4 (2)		11
	24" (3)			13

3 WEB STIFFENER ATTACHMENT REQUIREMENTS FOR TJI'S

SCALE: 1/2"=1'-0"



5 ALLOWABLE PENETRATIONS IN TJI JOIST FLOOR FRAMING

SCALE: 1/2"=1'-0"



3213 P STREET, N.W.
 WASHINGTON, D.C. 20007
 VOICE: (202) 333-5598
 FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

Linton Engineering, L.L.C.
 46090 Lake Center Plaza
 Suite 309
 Potomac Falls, VA 20165
 (P) 571.323.0320
 LE Project # 15-166 LE Project Engineer: DG

FOR PERMIT ONLY / NOT FOR CONSTRUCTION

INTERIOR PERMIT DRAWINGS FOR

1231-35
 31ST ST NW

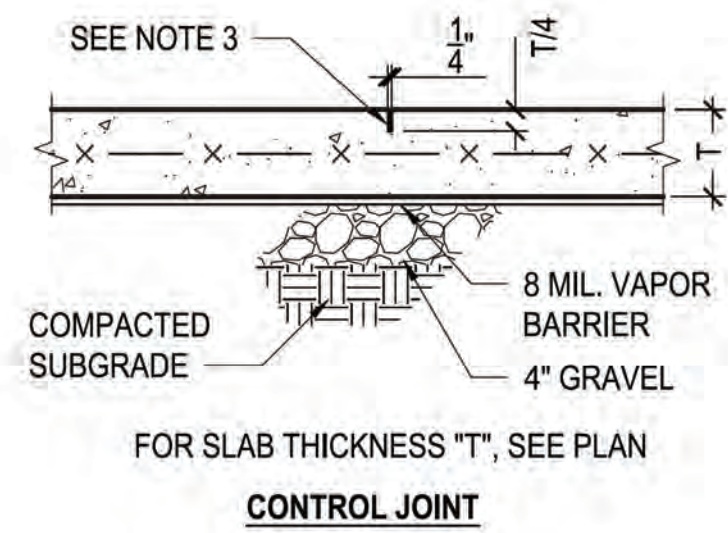
WASHINGTON, DC 20007

LOT: 0046 SQUARE: 1209

SECTIONS AND DETAILS

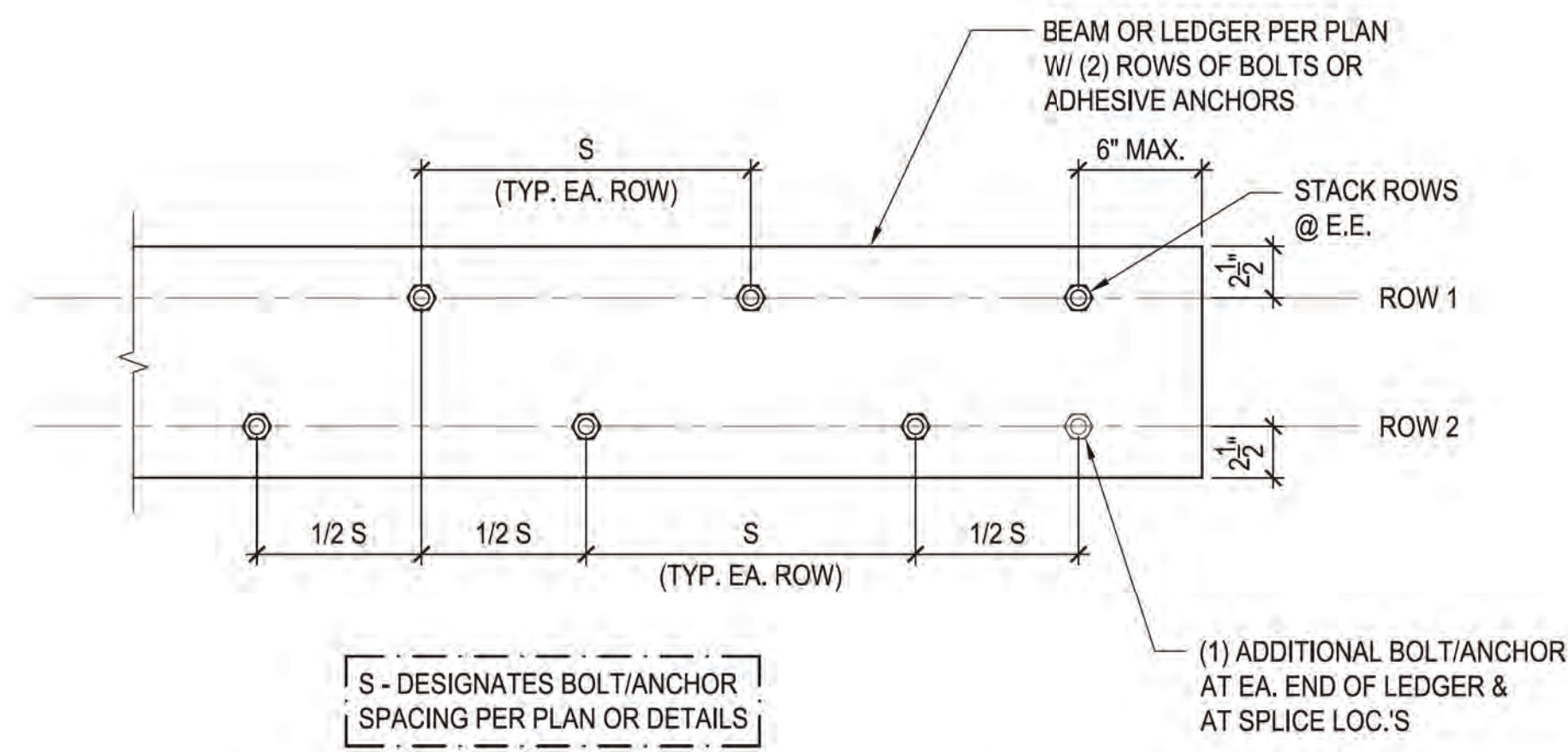
S002

DATE: 03-11-2021

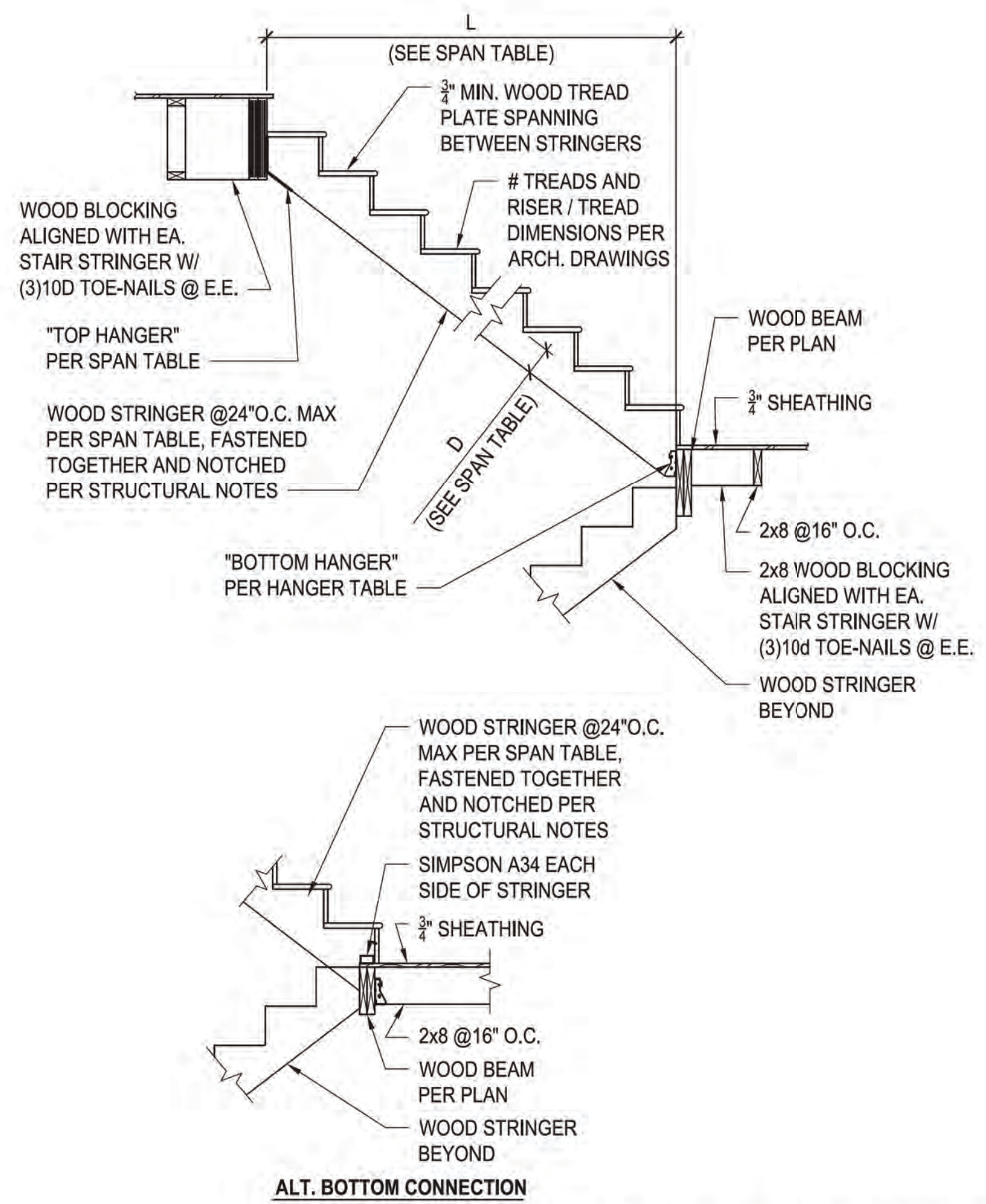


1. PROVIDE SUPPORT TO HOLD REINF. IN POSITION.
2. SAW CUT CONTROL JOINTS TO DIVIDE SLAB INTO NEAR-SQUARE SHAPES NOT EXCEEDING 400 SQ. FT. IN AREA WHEN CONC. HAS HARDENED SUFFICIENTLY TO PERMIT CUTTING WITHOUT CHIPPING, SPALLING, OR TEARING.
3. FILL JOINT W/ EPOXY SEALANT AFTER SLAB HAS CURED.

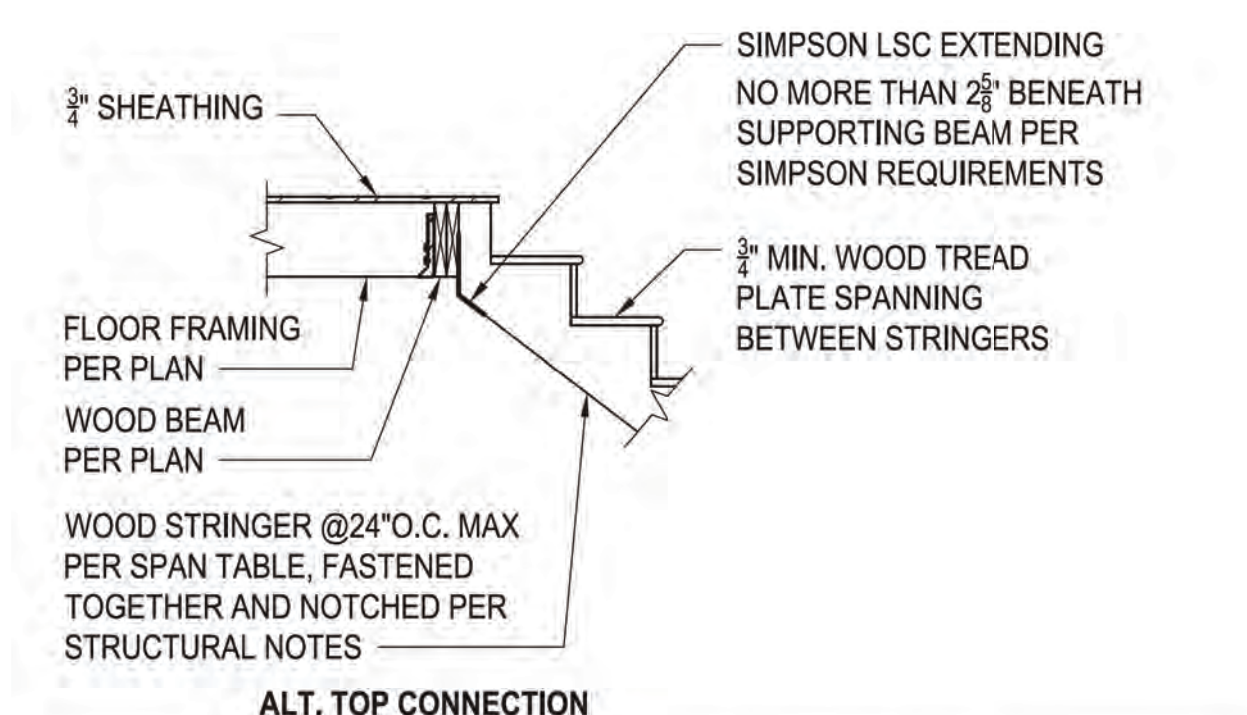
1 TYP. S.O.G. CONTROL JOINT DET.
S003 SCALE: 1"=1'-0"



2 TYP. BEAM/LEDGER STAGGERED BOLT SPACING DETAIL
S003 SCALE: 1 1/2"=1'-0"



3 TYP. STAIR FRAMING SECTION
S003 SCALE: 1/2"=1'-0"




STAIR STRINGER SPAN TABLE						
MAX. SPAN (L)	MIN. DEPTH (D)	MIDDLE STRINGER	EDGE STRINGER	TOP HANGER	BOTTOM HANGER (MIDDLE)	BOTTOM HANGER (EDGE)
7'-0"	5 1/2"	2x12	2x12	LSC	LUS26	LUC26
9'-0"	5 1/2"	(2)2x12	(2)2x12	(2)LSC	LUS26-2	HUC26-2
10'-6"	5 1/2"	(3)2x12	(2)2x12	(2)LSC	LUS26-3	HUC26-2
11'-6"	5 3/4"	(2)1 3/4"x1 1/8" LVL	(2)1 3/4"x1 1/8" LVL	(2)LSC	HU46	HUC46
13'-0"	5 3/4"	(3)1 3/4"x1 1/8" LVL	(2)1 3/4"x1 1/8" LVL	(2)LSC	HU66	HUC46
15'-6"	7 3/4"	(2)1 3/4"x14" LVL	(2)1 3/4"x14" LVL	(2)LSC	HU48	HUC48
17'-6"	7 3/4"	(3)1 3/4"x14" LVL	(2)1 3/4"x14" LVL	(2)LSC	HU68	HUC48

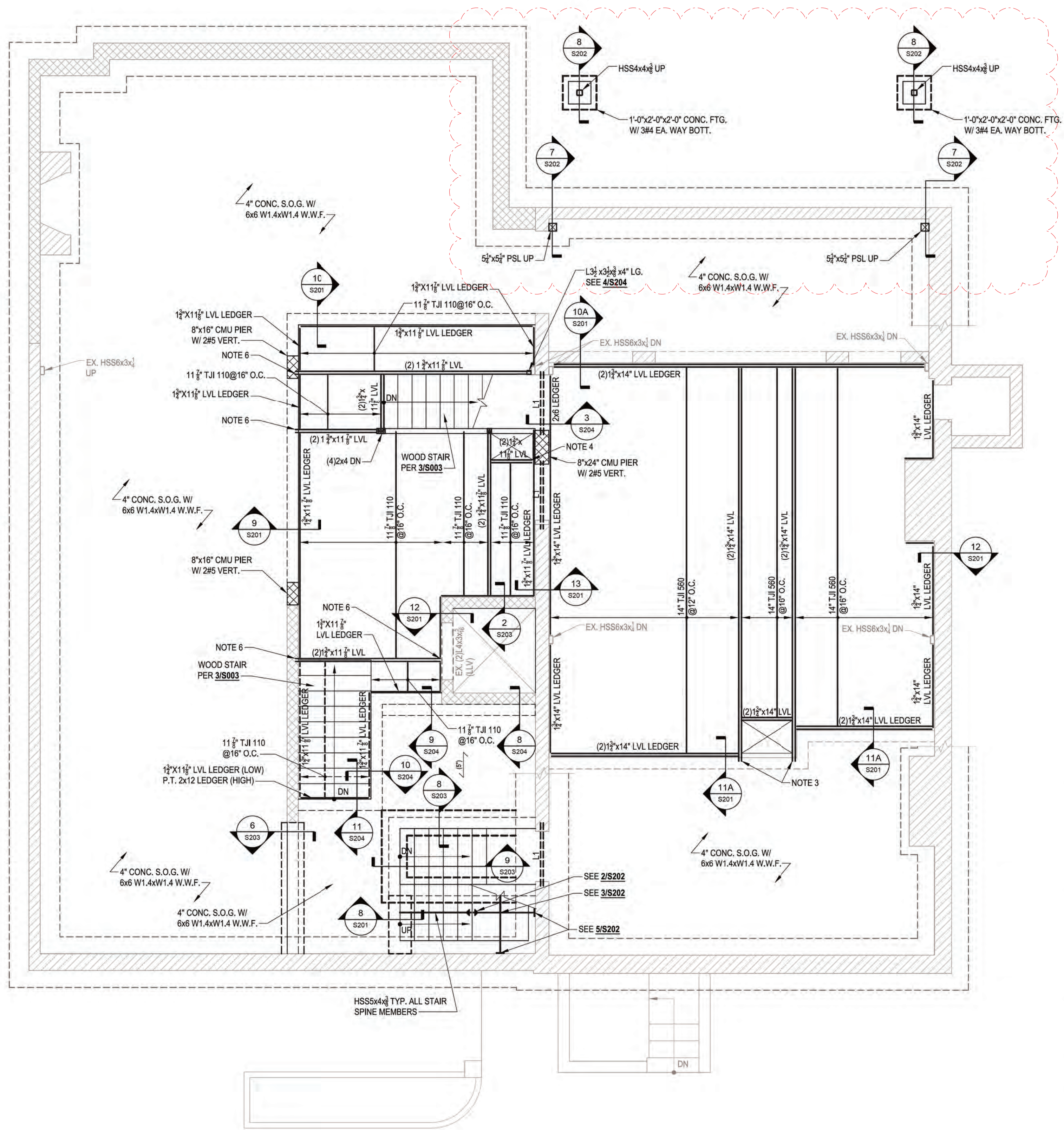
- NOTES:
1. PRE-DRILL NOTCH CORNERS WITH A 1/4" Ø HOLE TO REDUCE STRESS CONCENTRATION AND DO NOT OVER-CUT NOTCHES.
 2. DO NOT EXCEED 24" O.C. STRINGER SPACING.
 3. HANGERS BY SIMPSON OR APPROVED EQUIVALENT.
 4. USE MAX. NAILING U.N.O. AS SPECIFIED BY SIMPSON.

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

FOR PERMIT ONLY / NOT FOR CONSTRUCTION



Linton Engineering, L.L.C.
46090 Lake Center Plaza
Suite 309
Potomac Falls, VA 20165
(P) 571.323.0320
LE Project # 15-166 LE Project Engineer: DG



2

BASEMENT FOUNDATION PLAN

S100

SCALE: 1/4"=1'-0"

NOTES:

- ALL POSTS SHOWN ARE (2)2x6 DN IN 2x6 WALLS AND (2)2x4 DN IN 2x4 WALLS U.N.O.
- EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
- POCKET BEAM 4" INTO WALL PER 1/S202.
- PROVIDE (4) ADDITIONAL ANCHORS IN LEDGER AT HEADER CONNECTION LOCATION (2 EA. SIDE).
- L1 - DESIGNATES A GALVANIZED STEEL ANGLE LINTEL PER THE STRUCTURAL DESIGN NOTES.
- DISCONTINUE LEDGER AND CONNECT LVL BEAM DIRECTLY TO CMU OR CONC. WALL W/ SIMPSON HU412 HANGER W/ TITEN 2 SCREWS.
- ∠#1 - DESIGNATES THE SPAN DIRECTION OF A 5" CONC. SLAB W/ #4@12" O.C. BOTT-MOST IN THE SPAN DIRECTION AND #4@18" O.C. PERPENDICULAR TO THE SPAN DIRECTION.

INTERIOR PERMIT DRAWINGS
FOR

1231-35
31ST ST NW

WASHINGTON, DC 20007

LOT: 0046 SQUARE: 1209

BASEMENT
FOUNDATION
PLANS

S100

DATE: 03-11-2021



3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5598
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.



Linton Engineering, L.L.C.
46090 Lake Center Plaza
Suite 309
Potomac Falls, VA 20165
(P) 571.323.0320

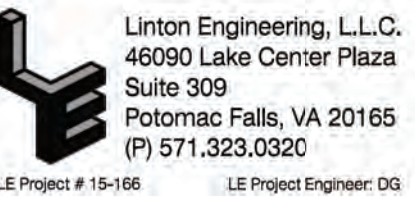
LE Project # 15-166

LE Project Engineer: DG

FOR PERMIT ONLY / NOT FOR CONSTRUCTION



The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and delivered throughout the duration of the term of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations. In the event of discrepancies between the dimensions and conditions shown on this set of drawings,



FOR PERMIT ONLY / NOT FOR CONSTRUCTION

INTERIOR PERMIT DRAWINGS
FOR

1231-35
31ST ST NW

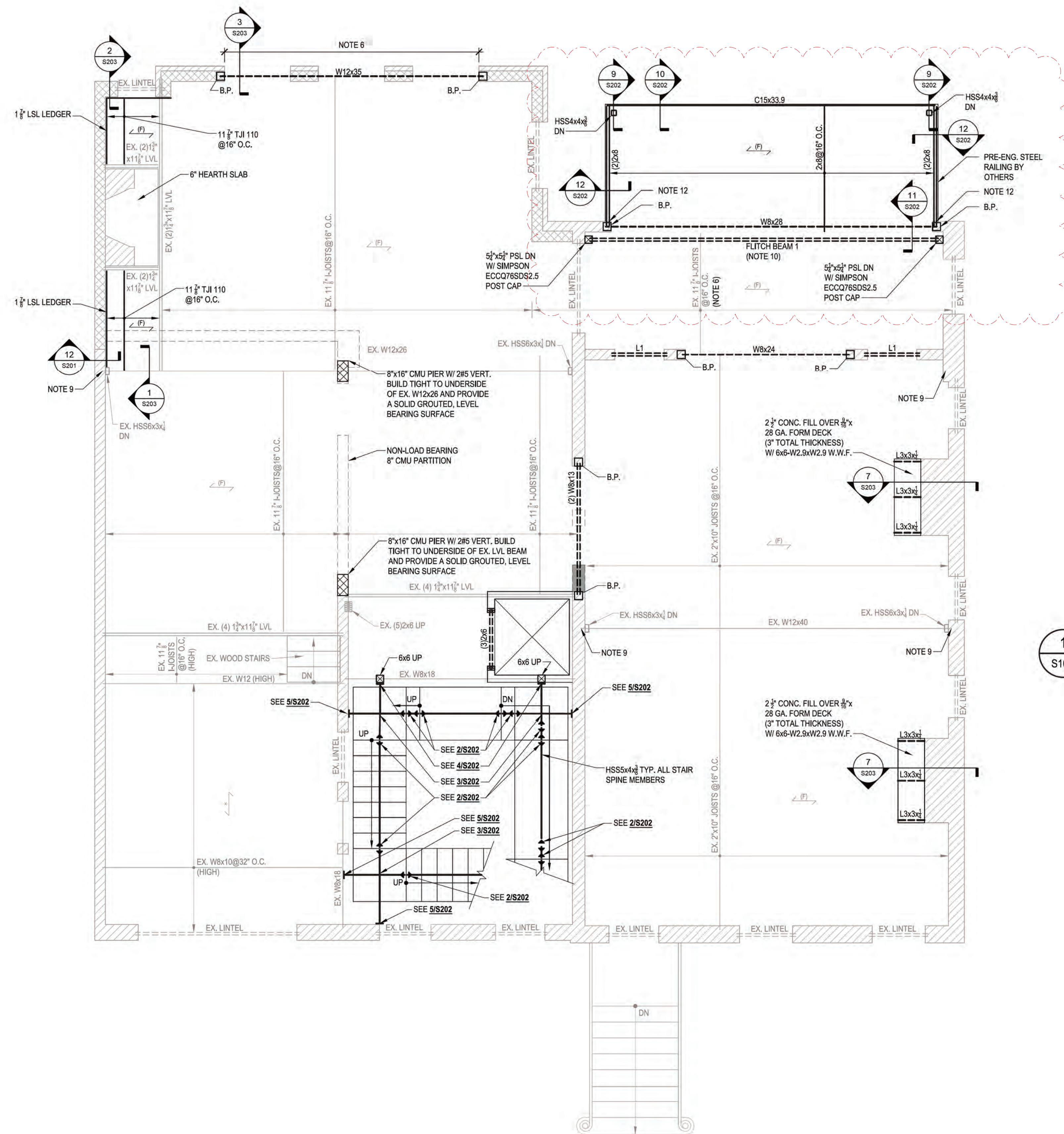
WASHINGTON, DC 20007

LOT: 0046 SQUARE: 1209

FIRST FLOOR FRAMING PLAN




S101

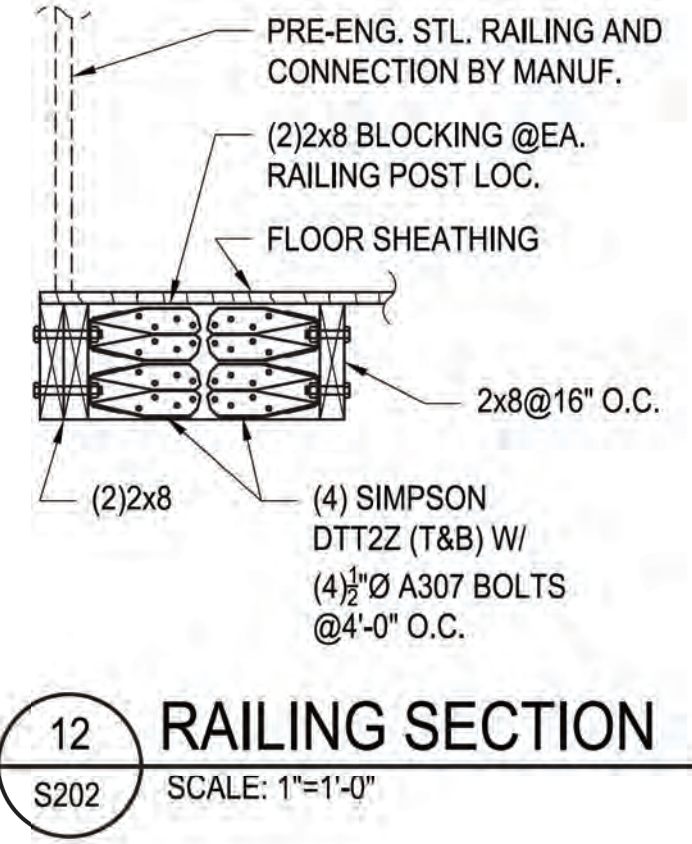
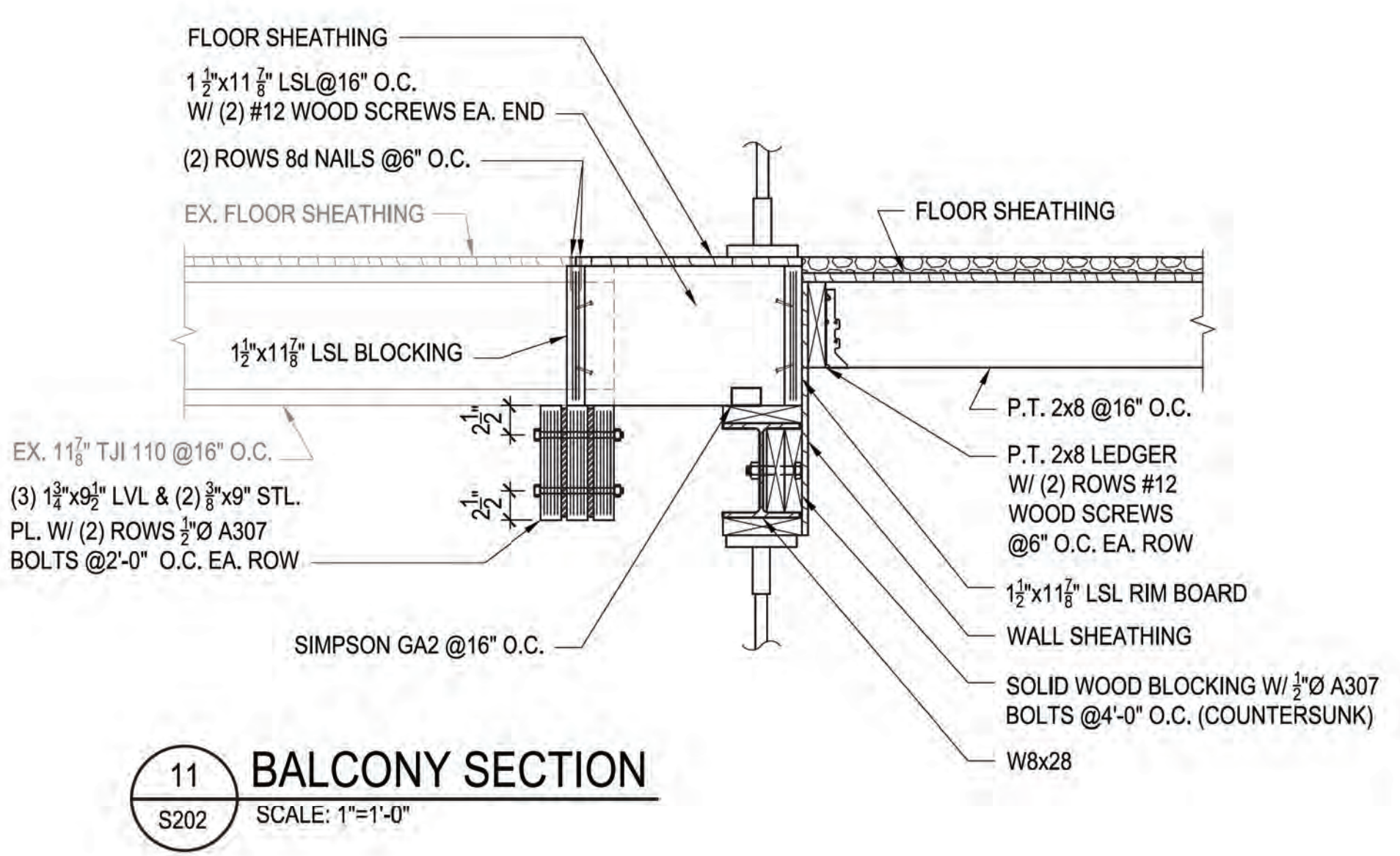
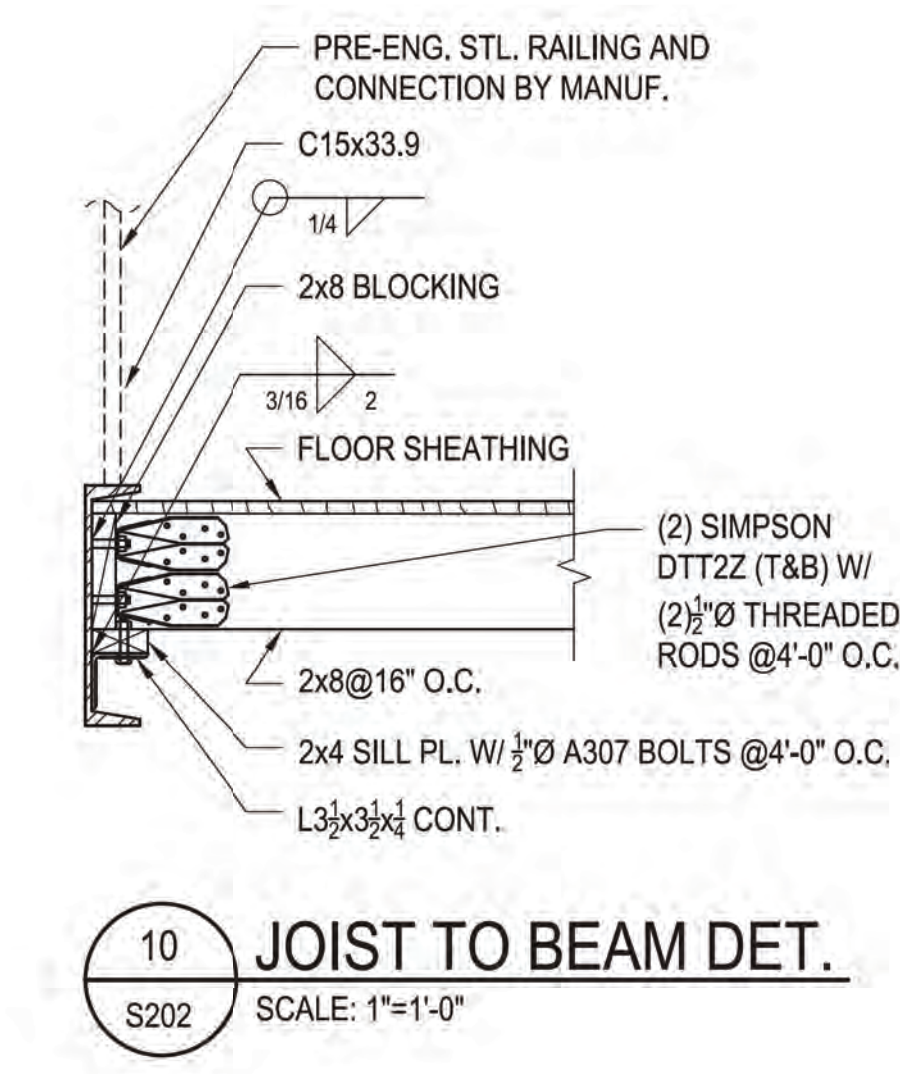
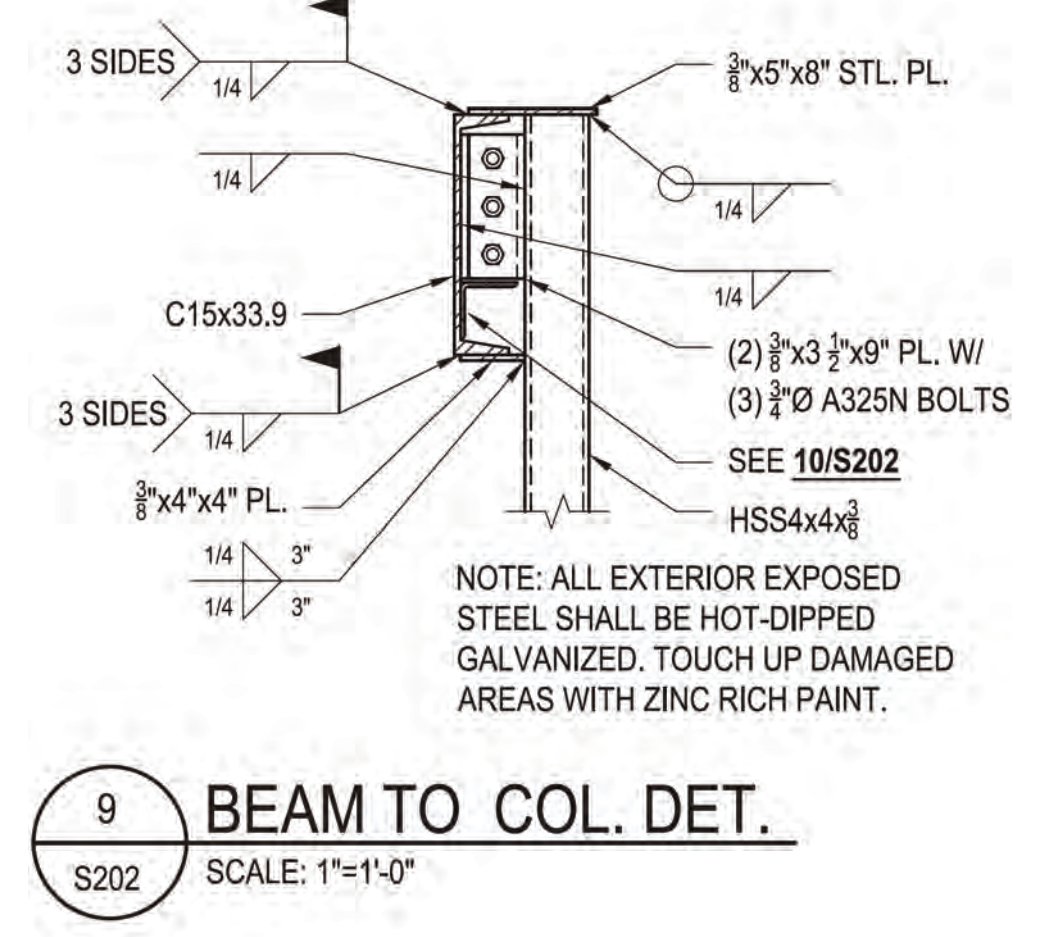
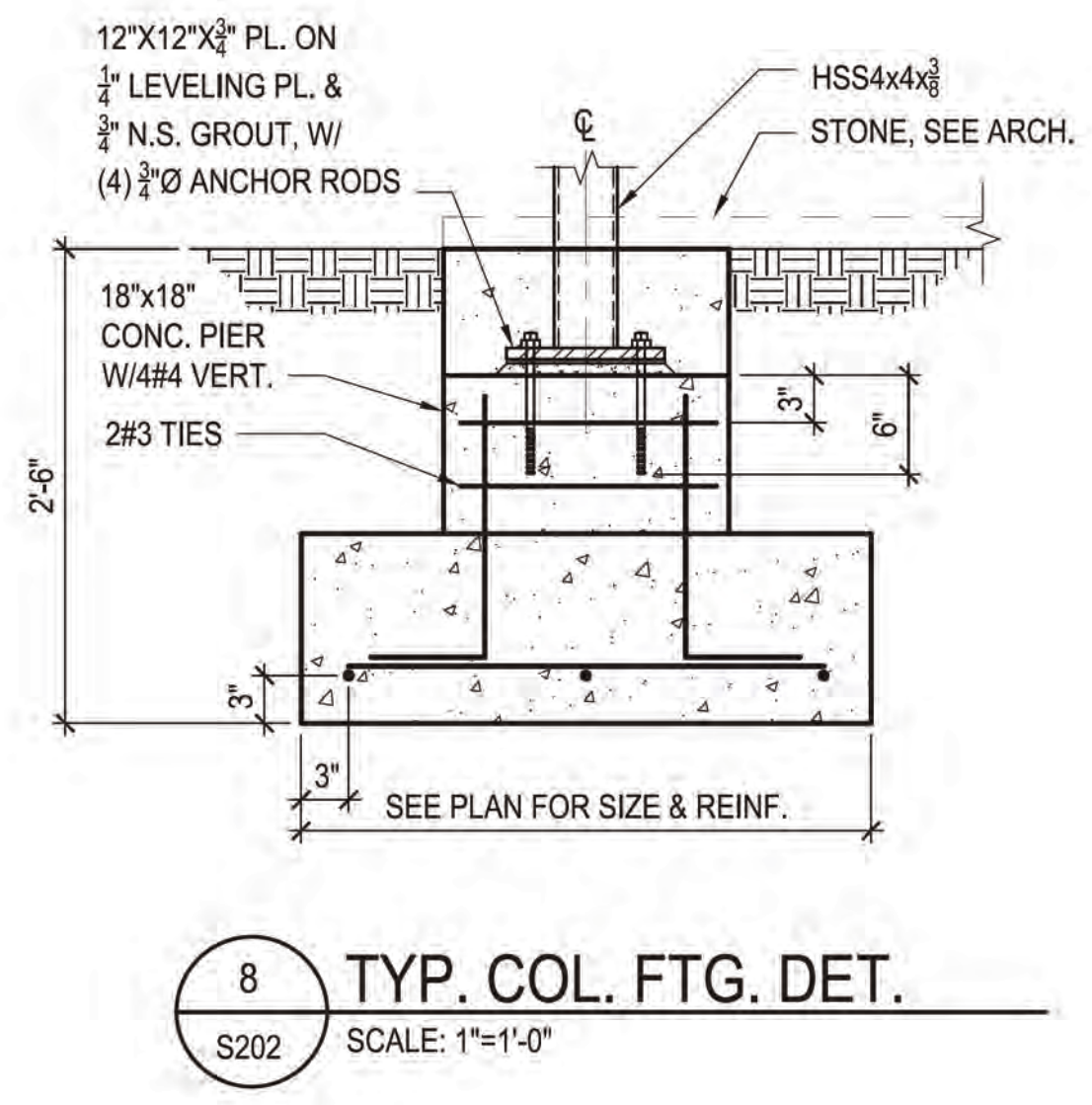
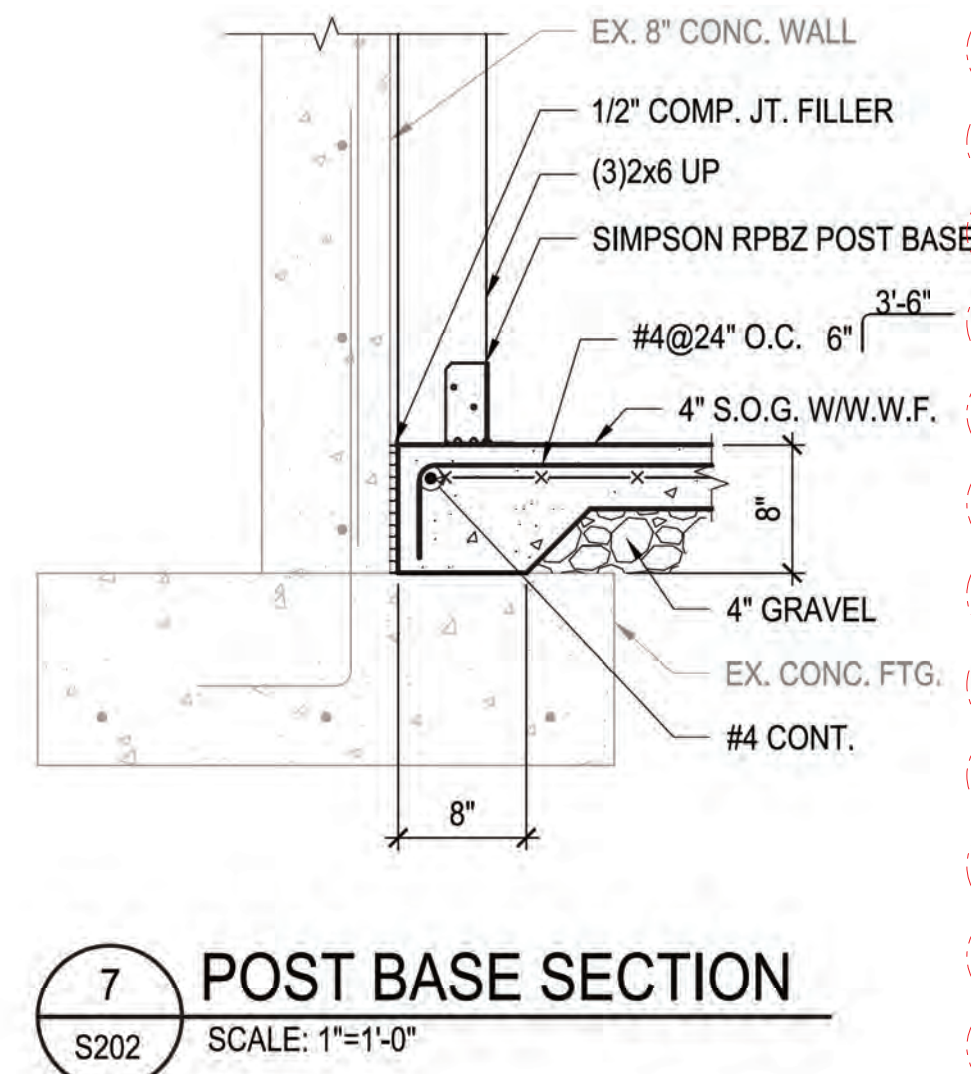
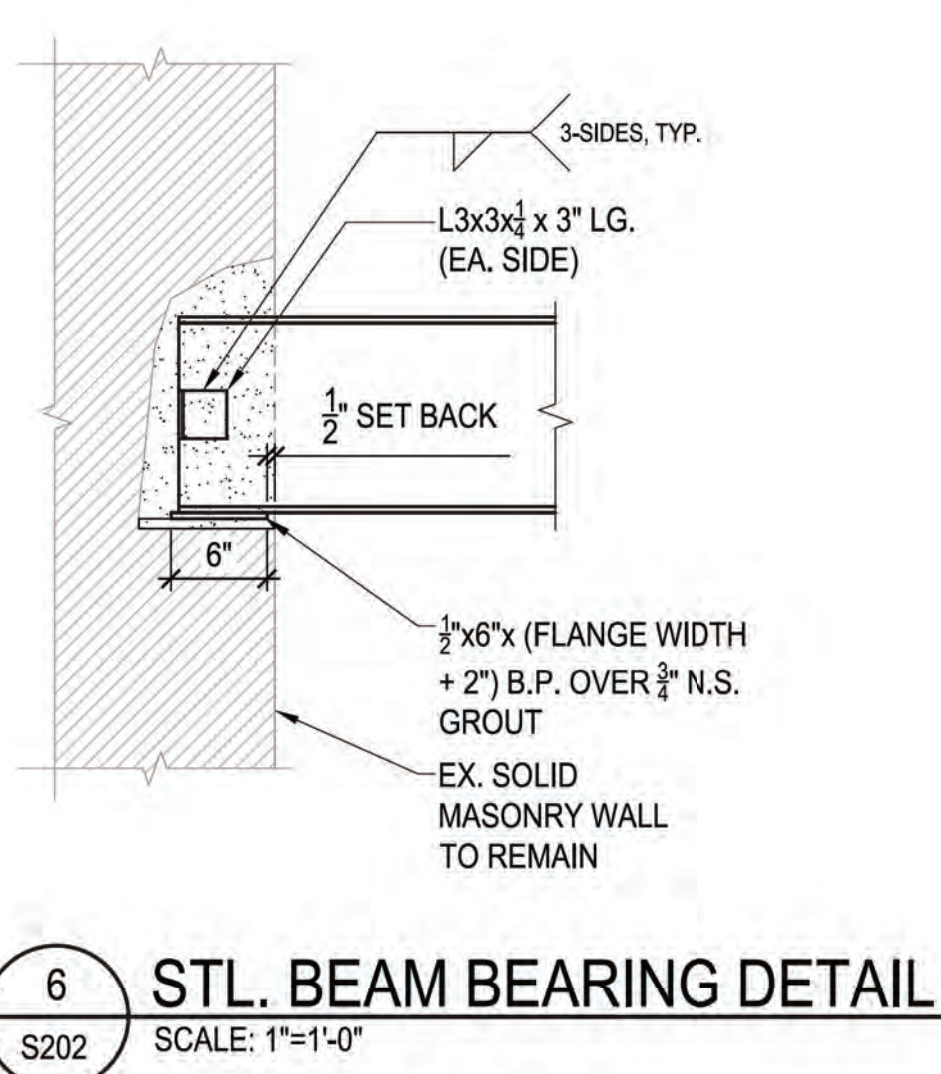
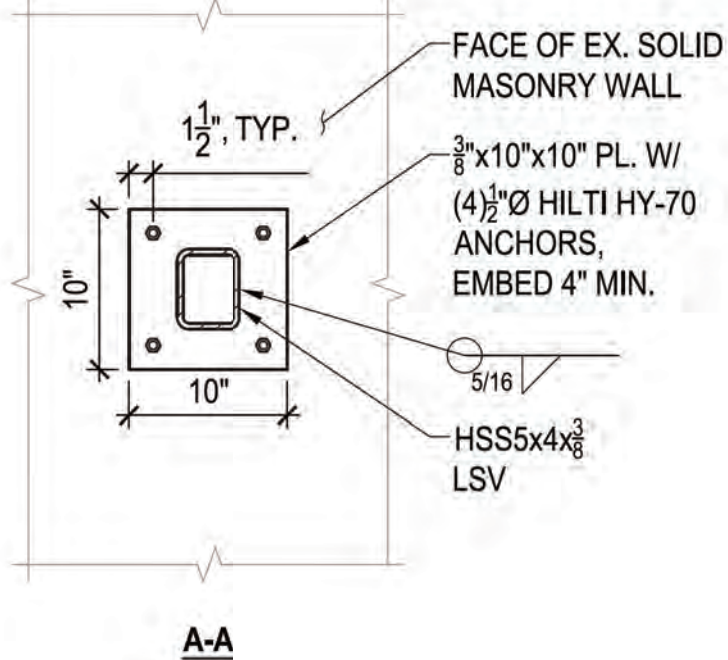
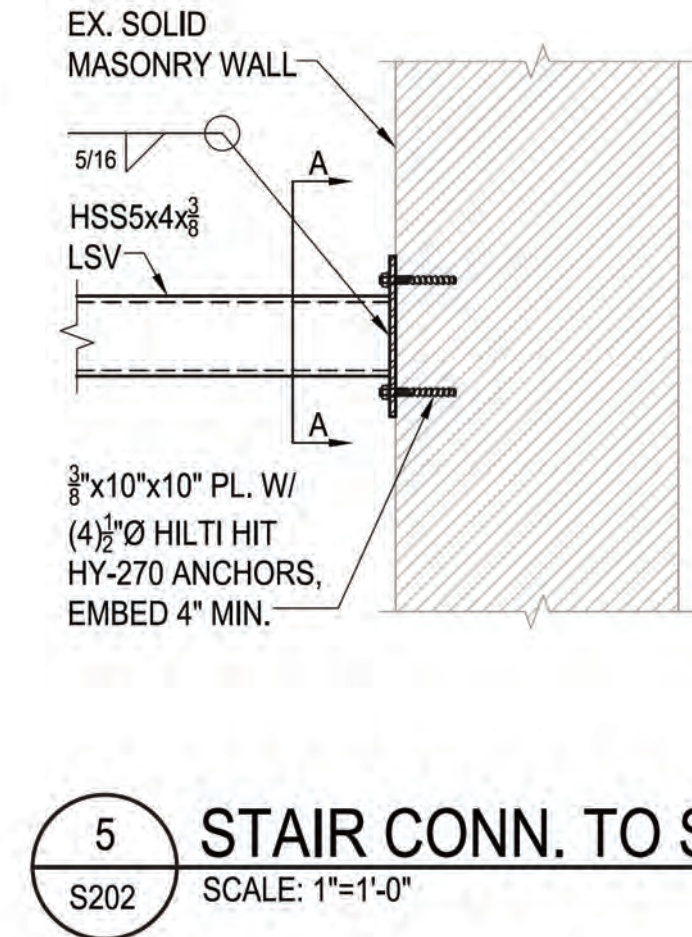
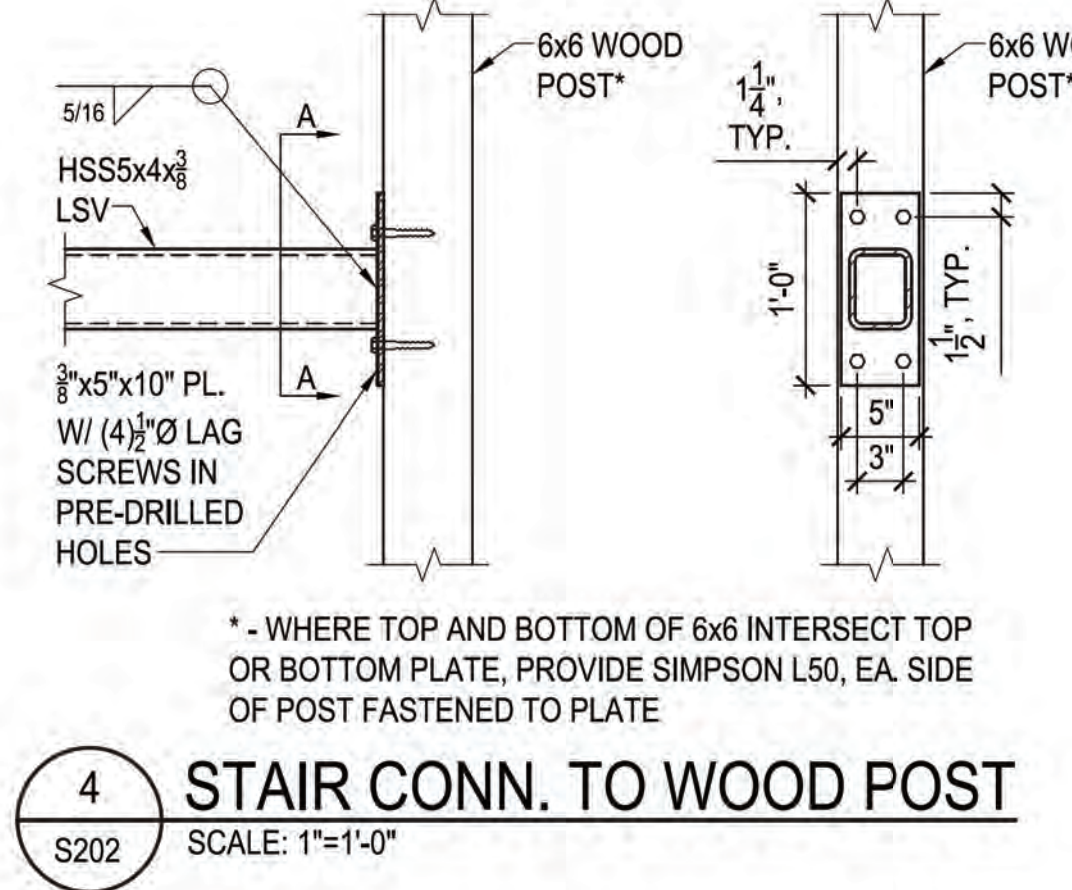
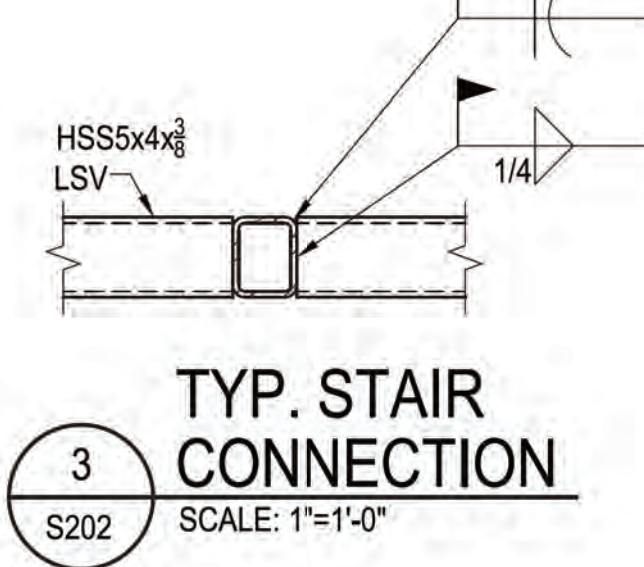
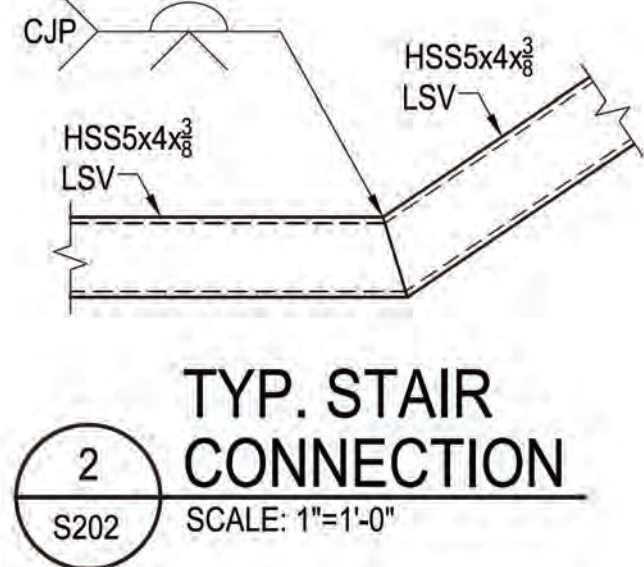
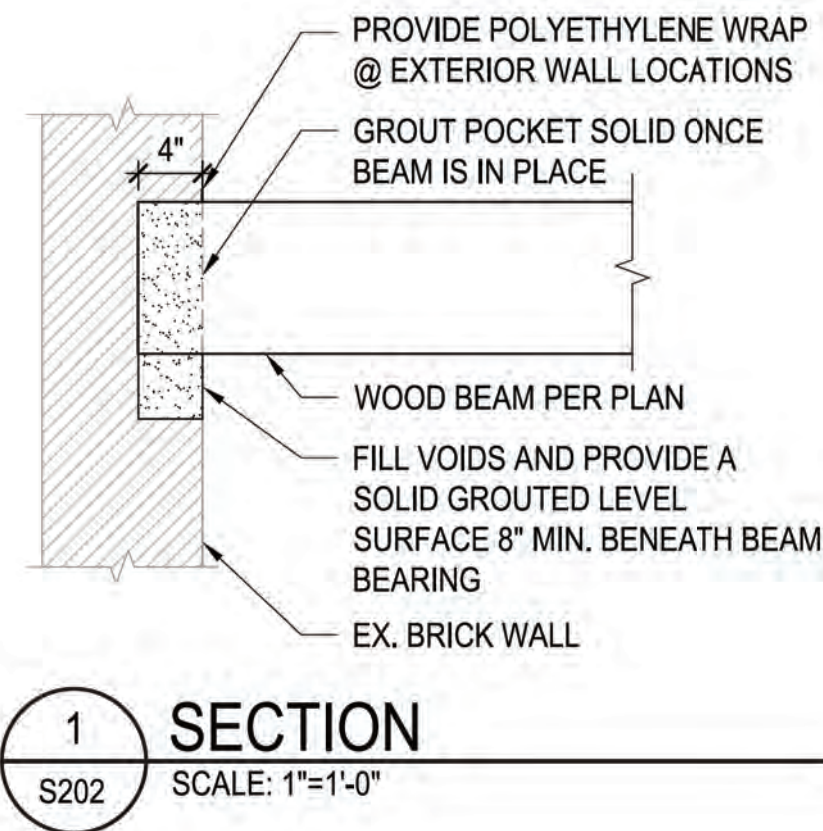
DATE: 03-11-2021



1 FIRST FLOOR FRAMING PLAN
S101 SCALE: 1/4"=1'-0"

NOTES:

1. ALL POSTS SHOWN ARE (2)26x16 IN 2x6 WALLS AND (2)26x14 UP 4x4 WALLS U.N.O.
2. PROVIDE WOOD BEAM/JOIST HANGERS PER THE STRUCTURAL DESIGN NOTES.
3.  DESIGNATES THE SPAN DIRECTION OF 3/4" SUBFLOOR PER THE STRUCTURAL DESIGN NOTES.
4.  DESIGNATES THE SPAN DIRECTION OF EXISTING FLOOR CEATHING.
5.  DESIGNATES THE SPAN DIRECTION OF EXISTING CONCRETE SLAB ON METAL DECK.
6. DASHED LINES INDICATE DROPPED BEAMS/HEADERS, WALL LINES INDICATE FLUSH FRAMED BEAMS/HEADERS.
7. EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
8. PROVIDE TEMPORARY SHORING OF EXISTING STRUCTURE AS NEEDED FOR NEW CONSTRUCTION AS DESIGNATED ON PLAN. TRIM JOIST ENDS AS CONSTRUCTION FOR FIT-UP.
9. L1 - DESIGNATES A GALVANIZED STEEL ANGLE LINTEL PER THE STRUCTURAL DESIGN NOTES.
10. B.P. DESIGNATES A STEEL BEARING PLATE PER 6.502Z.
11. 4" MIN. BEARING (V.I.F.), FILL VOIDS AND PROVIDE A SOLID GROUTED LEVEL SURFACE 8" MIN. BENEATH BEAM BEARING POINT.
12. FLITCH BEAM 1 DESIGNATES (3) 1"x9"x7 LVL & (2) 3"x9"x7 STL. PL.
13. POCKET BEAM 4" INTO EX. MASONRY WALL PER



Overmyer
ARCHITECTS

3213 P STREET, N.W.
WASHINGTON, D.C. 20007
VOICE: (202) 333-5598
FACSIMILE: (202) 333-5598

The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Architect and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Architect. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Architect shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

Linton Engineering, L.L.C.
46090 Lake Center Plaza
Suite 309
Potomac Falls, VA 20165
(P) 571.323.0320
LE Project # 15-166 LE Project Engineer: DG

FOR PERMIT ONLY / NOT FOR CONSTRUCTION

INTERIOR PERMIT DRAWINGS
FOR
**1231-35
31ST ST NW**

WASHINGTON, DC 20007
LOT: 0046 SQUARE: 1209

SECTIONS AND
DETAILS

S202

DATE: 03-11-2021



EAST ELEVATION



VIEW FROM OLD STONE HOUSE



VIEW FROM OLD STONE HOUSE



VIEW FROM PUBLIC ALLEY



VIEW FROM PUBLIC ALLEY



VIEW FROM PUBLIC ALLEY