

KRAMER RESIDENCE

2823 N STREET NW, WASHINGTON, DC 20007



PROPERTY INFORMATION

OWNER: RYAN E. ALLEN & CALEB S. KRAMER
ADDRESS: 2823 N STREET NW
WASHINGTON, DC 20007
LOT: 0836
SQUARE: 1235

APPLICABLE CODES

2017 DC CONSTRUCTION CODE

BUILDING DATA

USE GROUP: RESIDENTIAL GROUP R-3
DWELLING UNITS: 1
CONSTRUCTION TYPE: TYPE III-B

ZONING DATA

GENERAL

ZONING DISTRICT: RESIDENTIAL R-20
WARD: 2
ANC: 2E
SMD: 2E06

LOT

LOT AREA: 7,200 FT²
EXISTING BUILDING AREA: 2,478 FT²
PROPOSED BUILDING AREA: NO CHANGE
MAXIMUM LOT OCCUPANCY: 40%
EXISTING LOT OCCUPANCY: 34%
PROPOSED LOT OCCUPANCY: NO CHANGE

CONSULTANTS

ARCHITECT
OVERMYER ARCHITECTS
CONTACT: LAURA ROWLAND
3213 P STREET NW
WASHINGTON, DC 20007
(202) 333-5596 x102
laura@overmyerarchitects.com

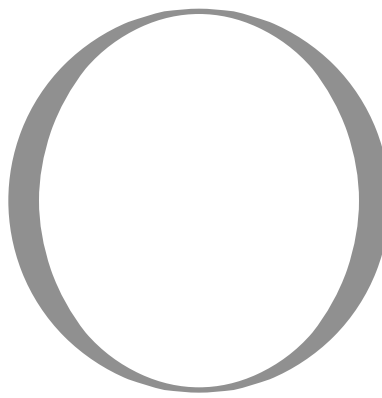
SCOPE OF WORK

EXTERIOR IMPROVEMENTS TO BUILDING AND SITE TO INCLUDE:

- REPLACEMENT OF DETERIORATING WOODWORK AT PORCHES, PORTICO, & 29TH STREET ENTRANCE, TO INCLUDE: COLUMNS, PILASTERS, DECKING, RAILINGS, ENTABLATURES, & CORNICE/FASCIA/RAKE/SKIRT TRIM.
- NEW METAL GATES AND RAILINGS AT CELLAR STAIRWELL & WEST SIDE OF PORTICO
- REPLACEMENT OF ALL WOOD FENCING & GATES TO MATCH EXISTING HEIGHT AND DETAILING. RECONFIGURATION OF FENCING AT UTILITY AREA.
- NEW EXTERIOR LIGHTING AND POWER LOCATIONS
- NEW WHOLE-HOUSE GENERATOR
- NEW CONCRETE FOUNDATION DETAIL FOR SITE STEPS AT N STREET & 29TH STREET ENTRANCES
- REPLACE EXISTING FRENCH DOOR AT NORTH END OF PROPERTY WITH NEW SOLID WOOD DOOR.
- NEW FLOOR FRAMING AT PORTICO & 2-STORY PORCH.

SHEET INDEX

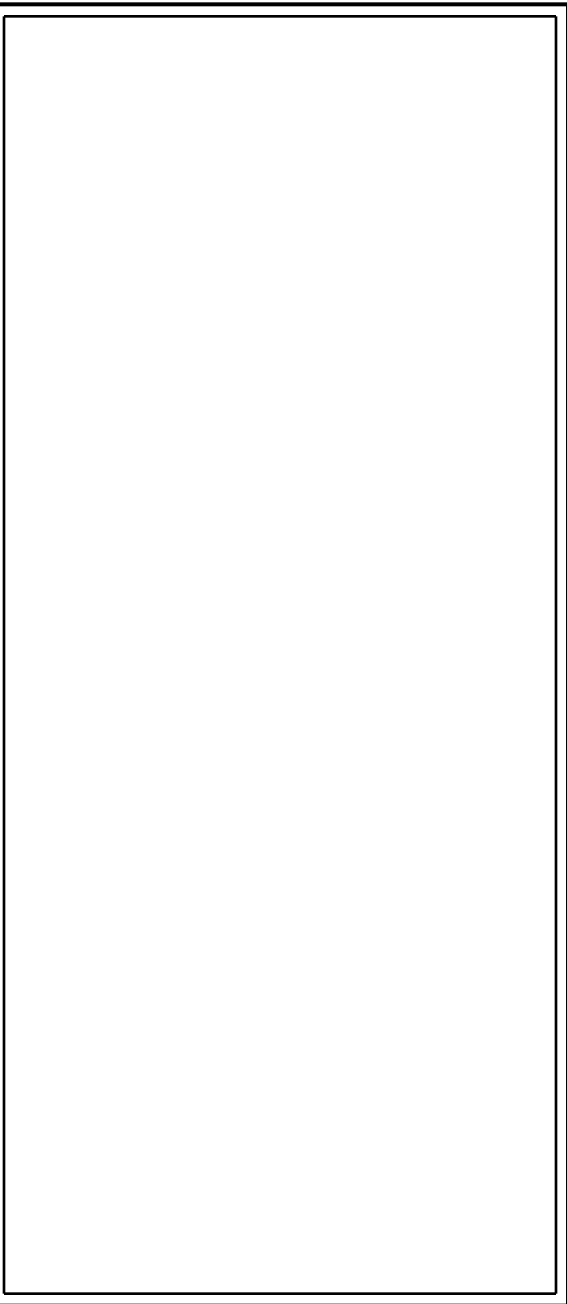
| | |
|--------|--|
| 0001 | COVER SHEET |
| S101 | PORCH FIRST & SECOND FLOOR FRAMING PLANS |
| S102 | PORCH ROOF FRAMING PLAN & SITE STAIR DETAIL |
| A101 | EXISTING SITE PLAN |
| A101 | PROPOSED SITE PLAN |
| A201 | SOUTH ELEVATIONS |
| A202.1 | EXISTING WEST ELEVATION |
| A202.2 | PROPOSED WEST ELEVATION |
| A203 | 29TH STREET SITE ELEVATIONS |
| A204 | DRIVEWAY & 29TH STREET STAIR SITE ELEVATIONS |
| A401 | NORTH PORCH DETAIL & SOUTH PORCH DOOR DETAIL |
| A402 | SOUTH PORCH DETAILS |
| A403 | PORTICO DETAIL |
| A404 | 29TH STREET ENTRANCE DETAILS |
| E201 | EXTERIOR LIGHTING & POWER PLANS |
| E202 | LANTERN DIMENSIONS |
| E205 | SITE PLAN ELECTRICAL NEW WORK |



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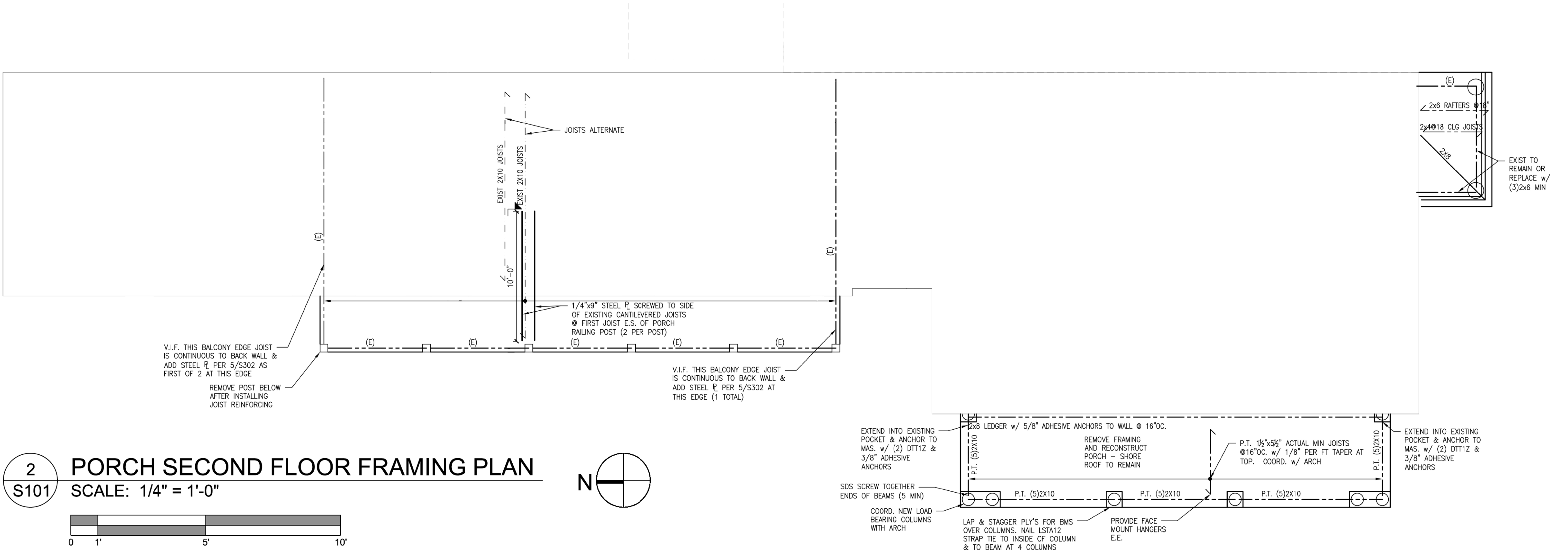
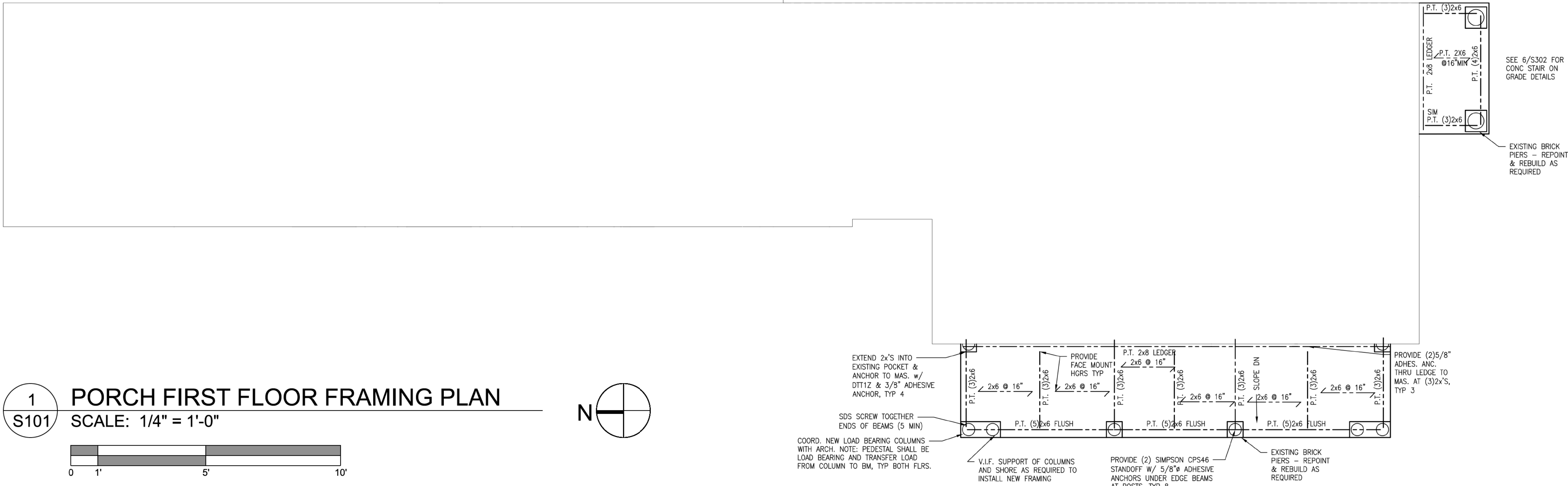
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VOICE: (202) 333-5596

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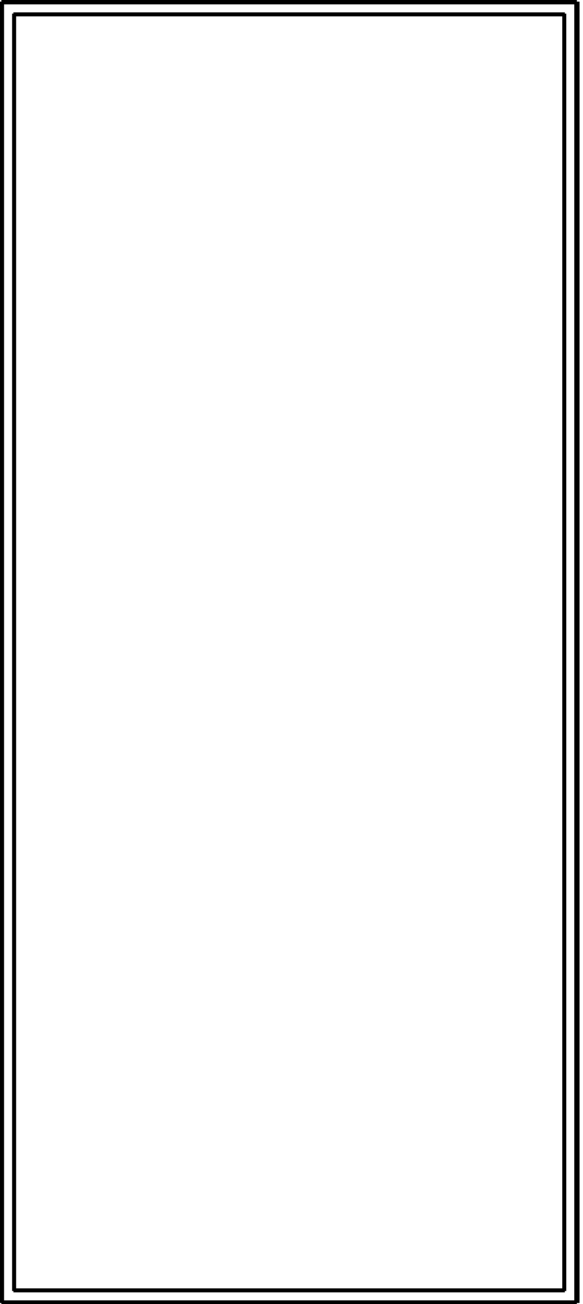
RENOVATION TO THE
KRAMER
RESIDENCE
2823 N STREET NW
WASHINGTON, DC 20007
LOT: 0836 SQUARE: 1235





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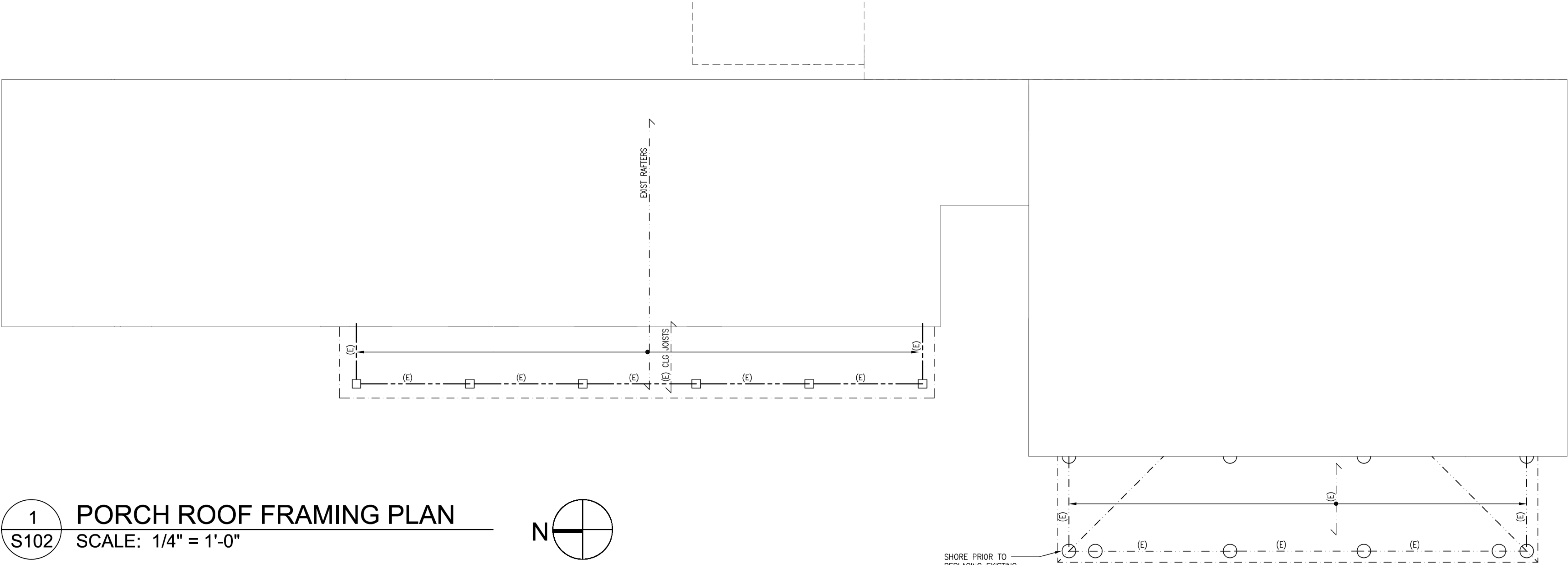


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PORCH FIRST &
SECOND FLOOR
FRAMING PLANS

S101

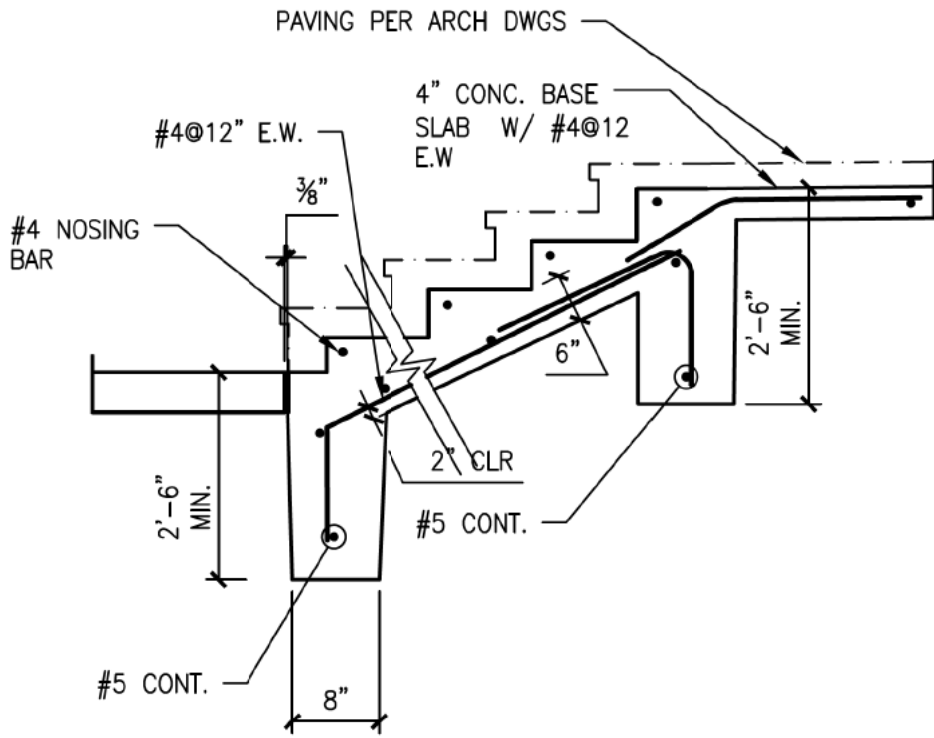
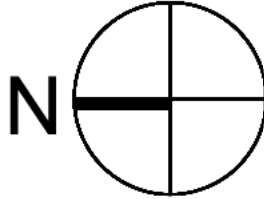
DATE: 01-13-2022



1
S102

PORCH ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

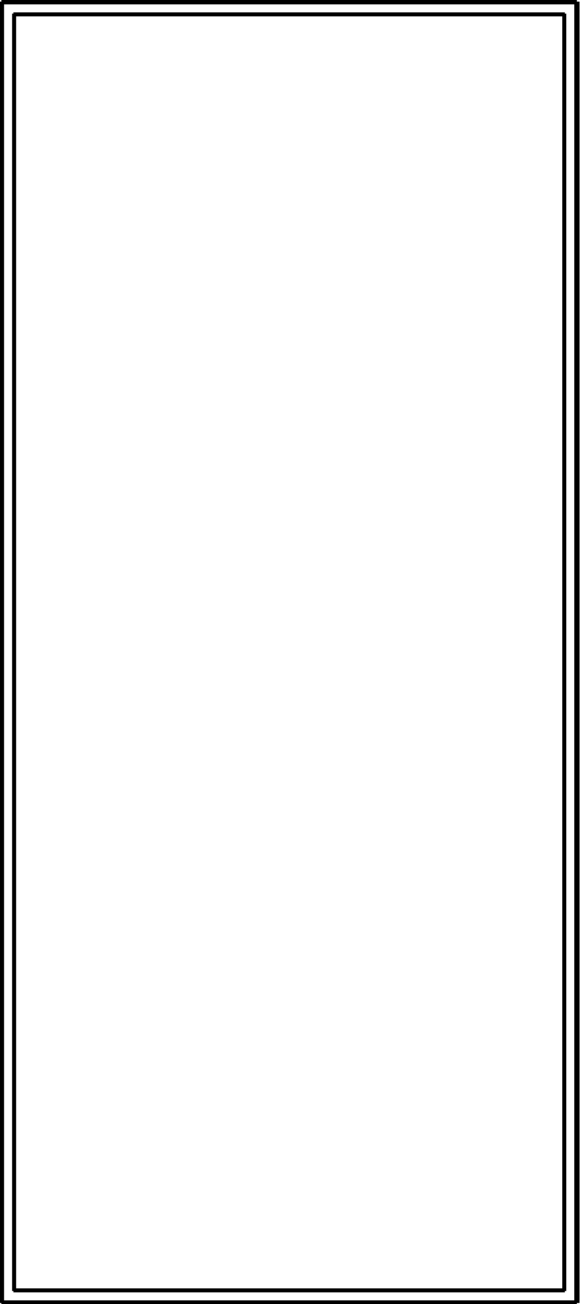
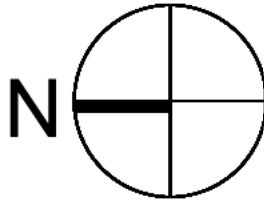
0 1' 5' 10' 15'

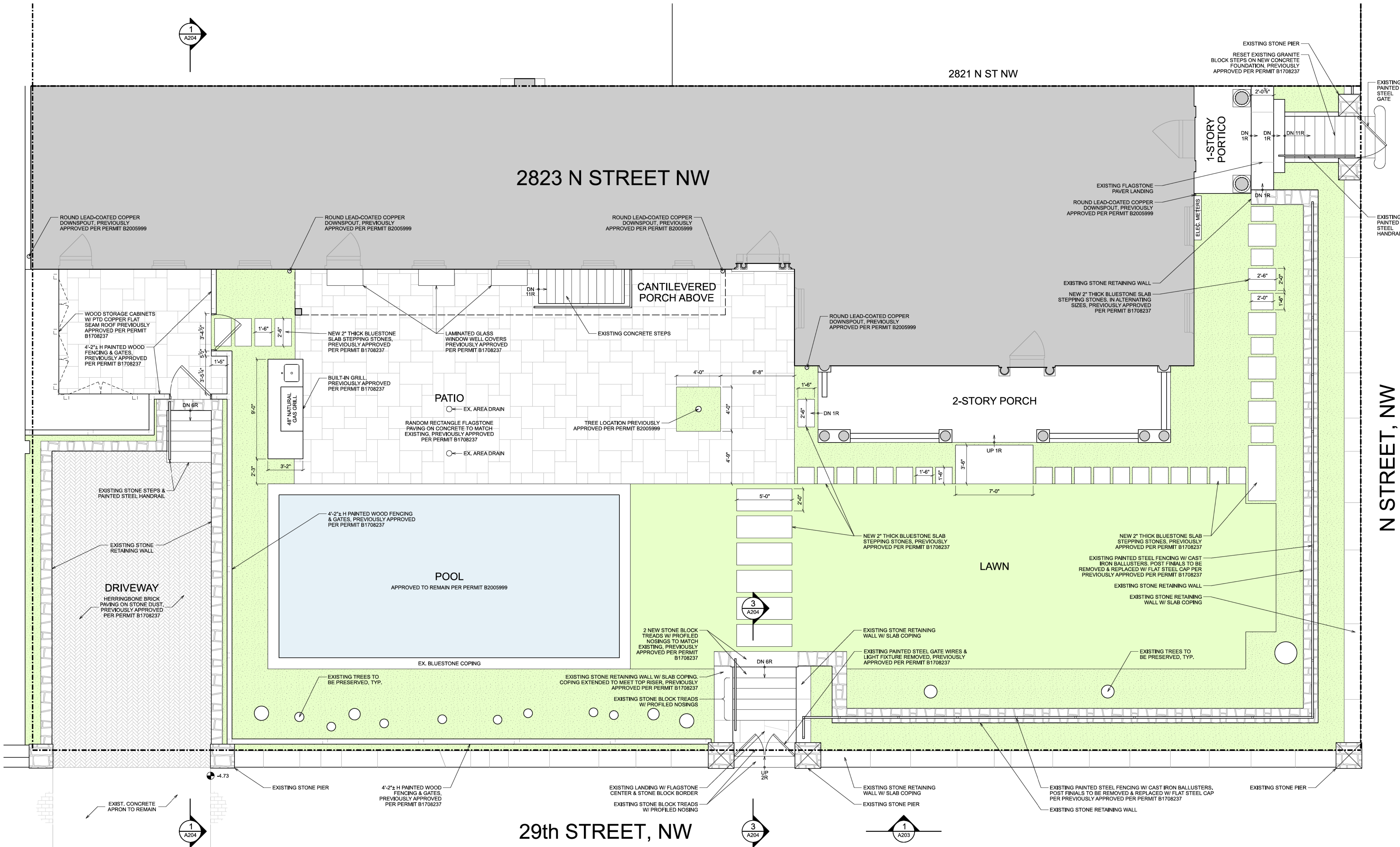


2
S102

TYP. STAIR ON GRADE SECTION
SCALE: 1/2" = 1'-0"

0 1' 5' 10'





29th STREET, NW

2821 N ST NW

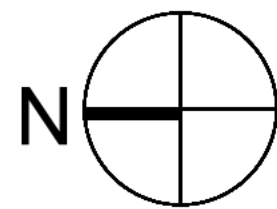
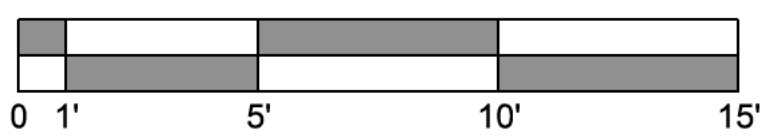
2823 N STREET NW

N STREET, NW

1
A101

EXISTING SITE PLAN

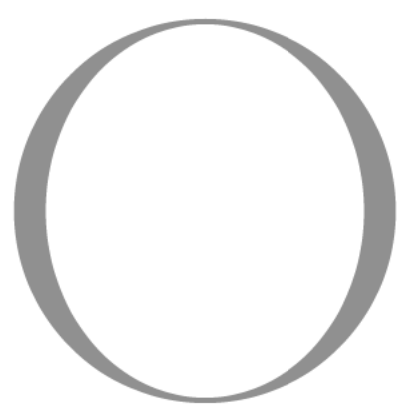
SCALE: 1/4" = 1'-0"



THIS "EXISTING" ELEVATION REFLECTS THE APPROVED DESIGN TO-DATE, PER PERMITS B1708237, B1908090, & B2005999.

THE NOTES ON THIS DRAWING INDICATE APPROVED CHANGES FROM THE EXISTING CONDITIONS.

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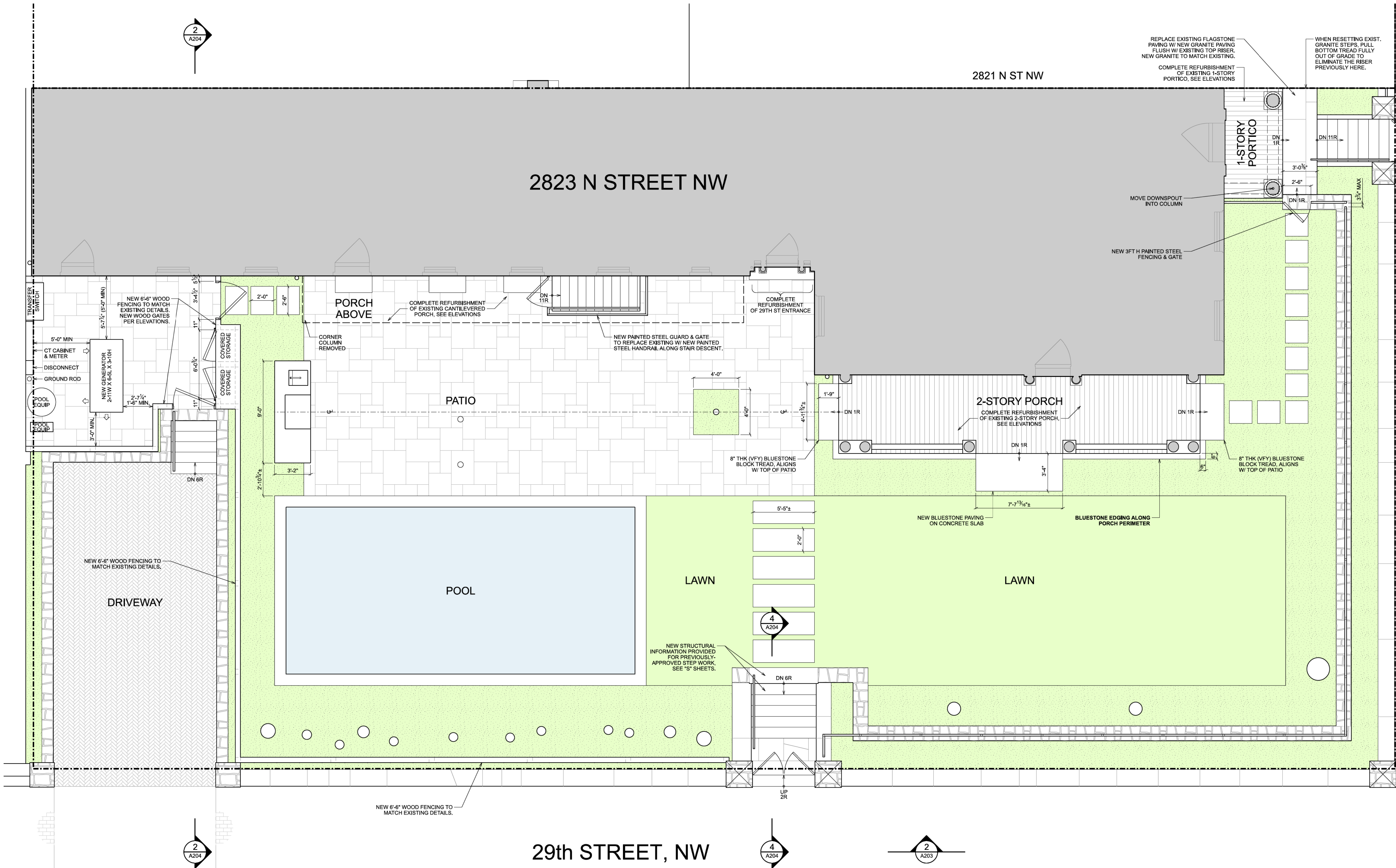
2823 N STREET NW
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EXISTING
SITE PLAN

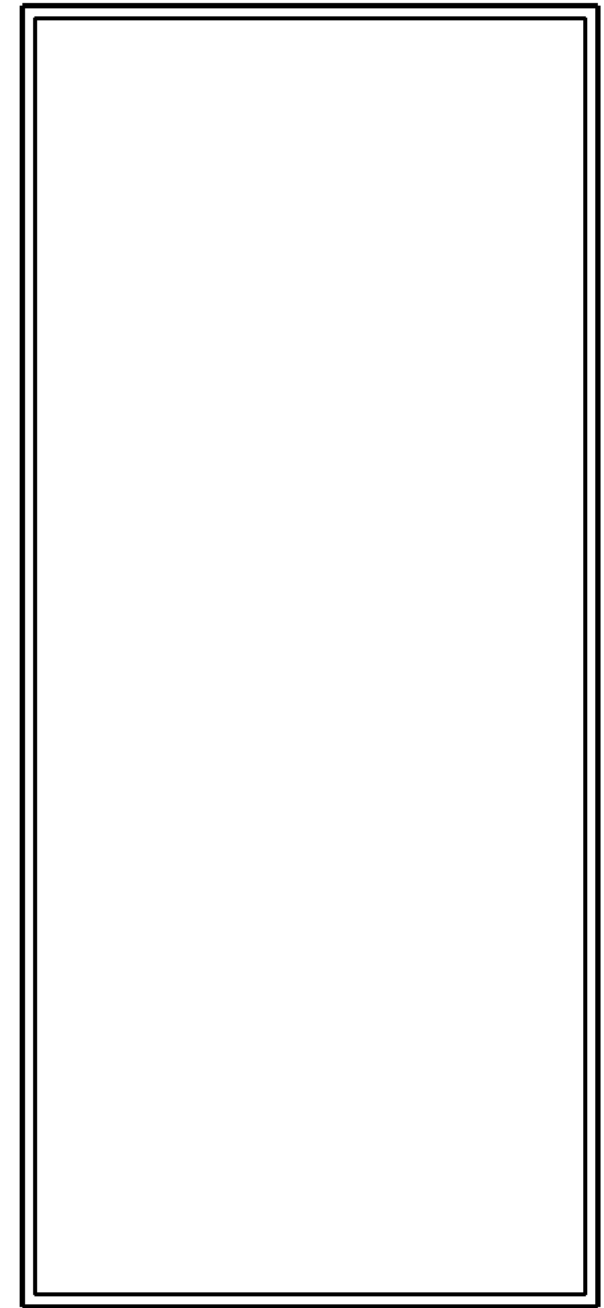
A101

DATE: 01-13-2022



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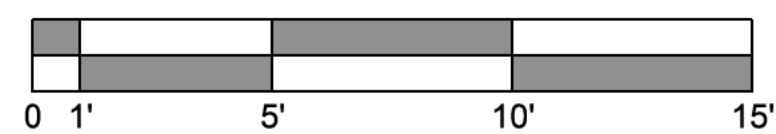
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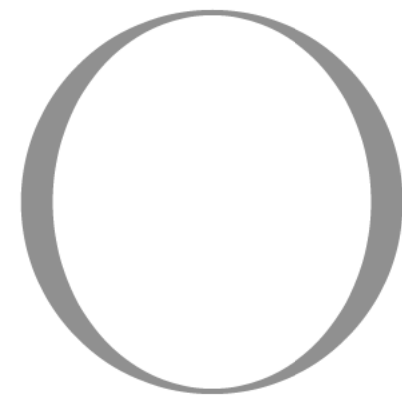


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LOT: 0836 SQUARE: 1235

PROPOSED
SITE PLAN
A102
DATE: 01-13-2022

1
A102
PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"

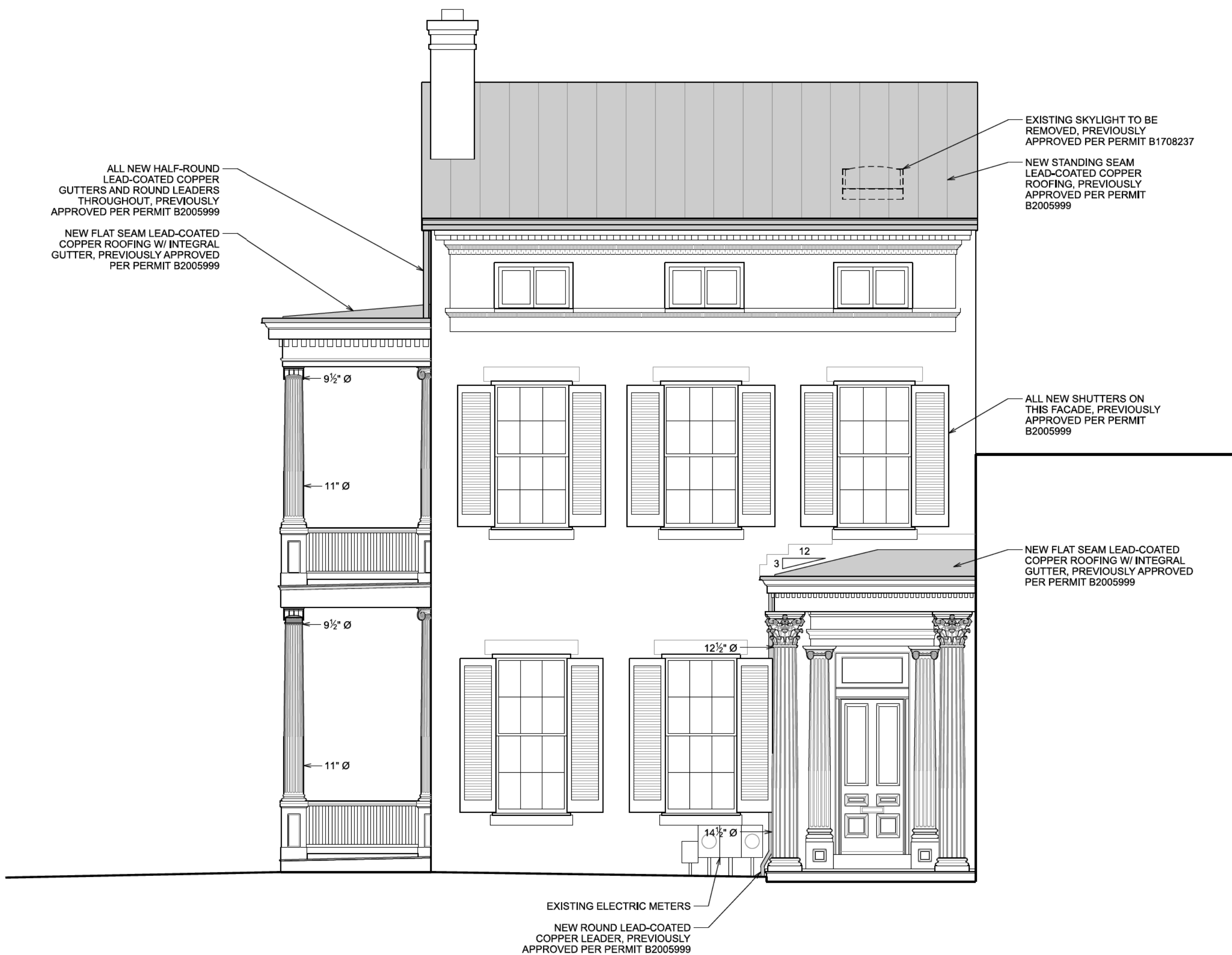




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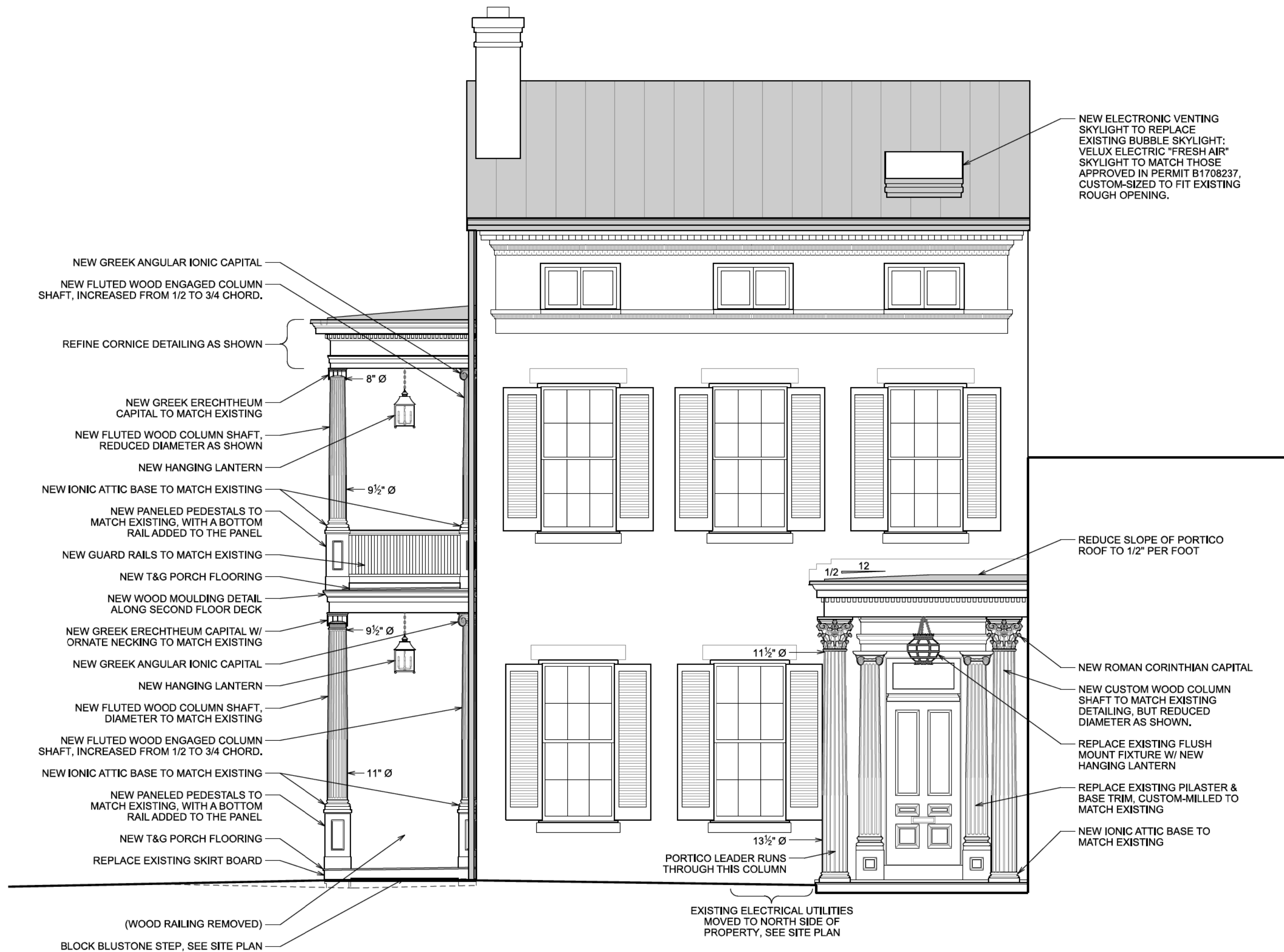
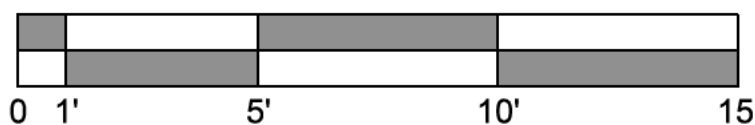
THE NOTES ON THIS DRAWING INDICATE APPROVED CHANGES FROM THE EXISTING CONDITIONS.

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1
A201

EXISTING SOUTH ELEVATION

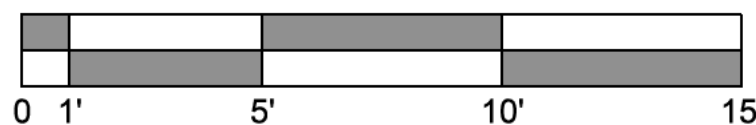
SCALE: 1/4" = 1'-0"



2
A201

PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



RENOVATION TO THE

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RESIDENCE

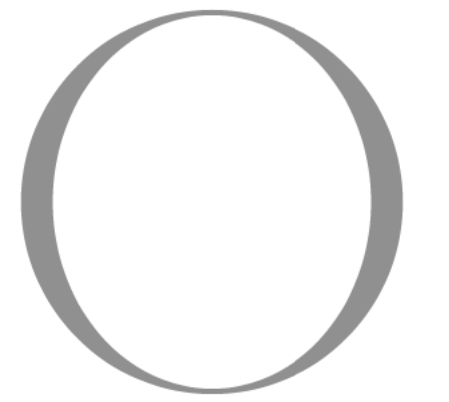
2823 N STREET NW
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EXISTING AND
PROPOSED
SOUTH ELEVATIONS

A201

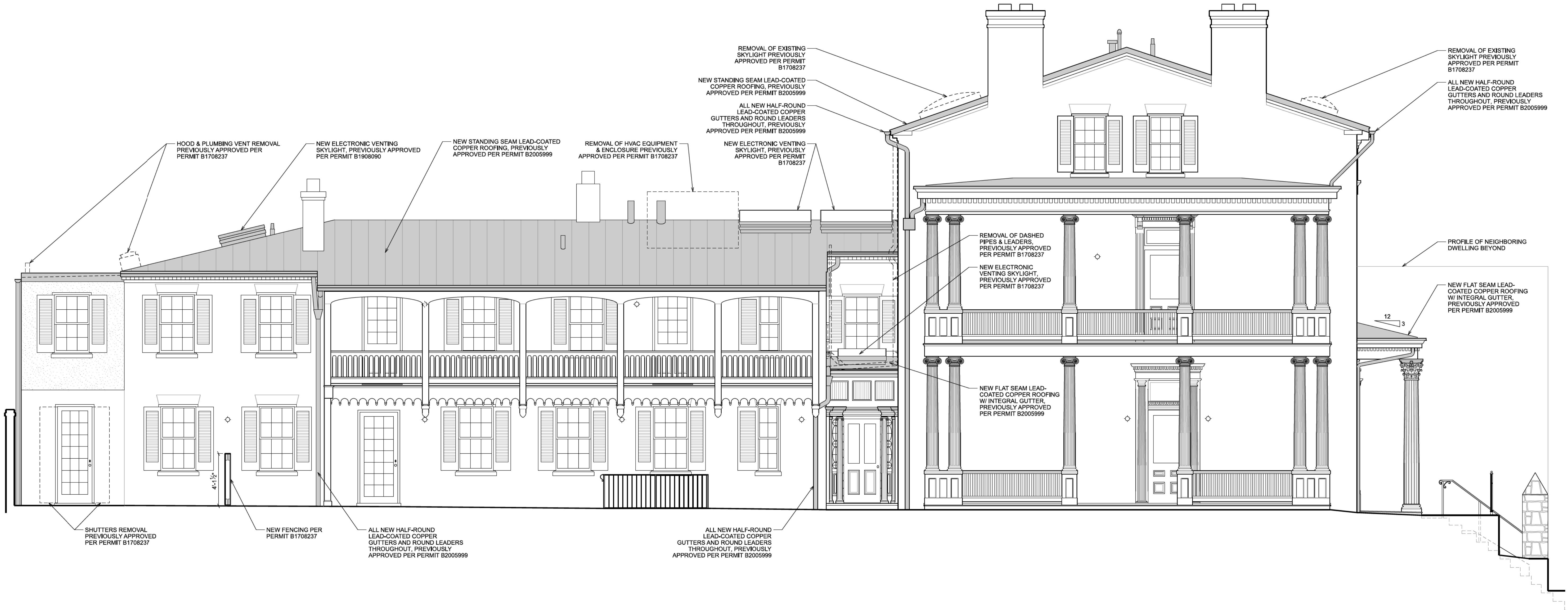
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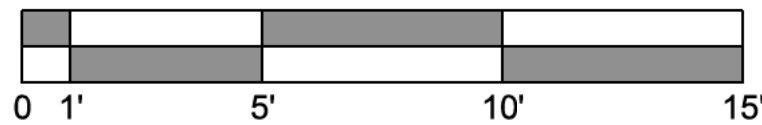
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1
A202.1

EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



RENOVATION TO THE

KRAMER
RESIDENCE

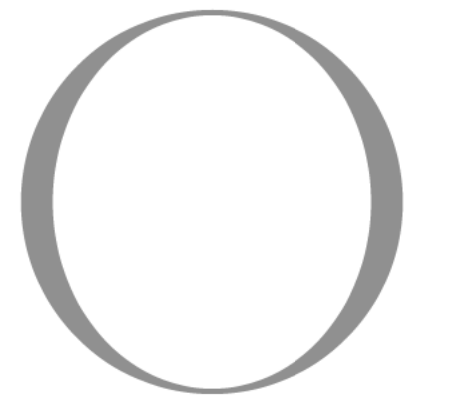
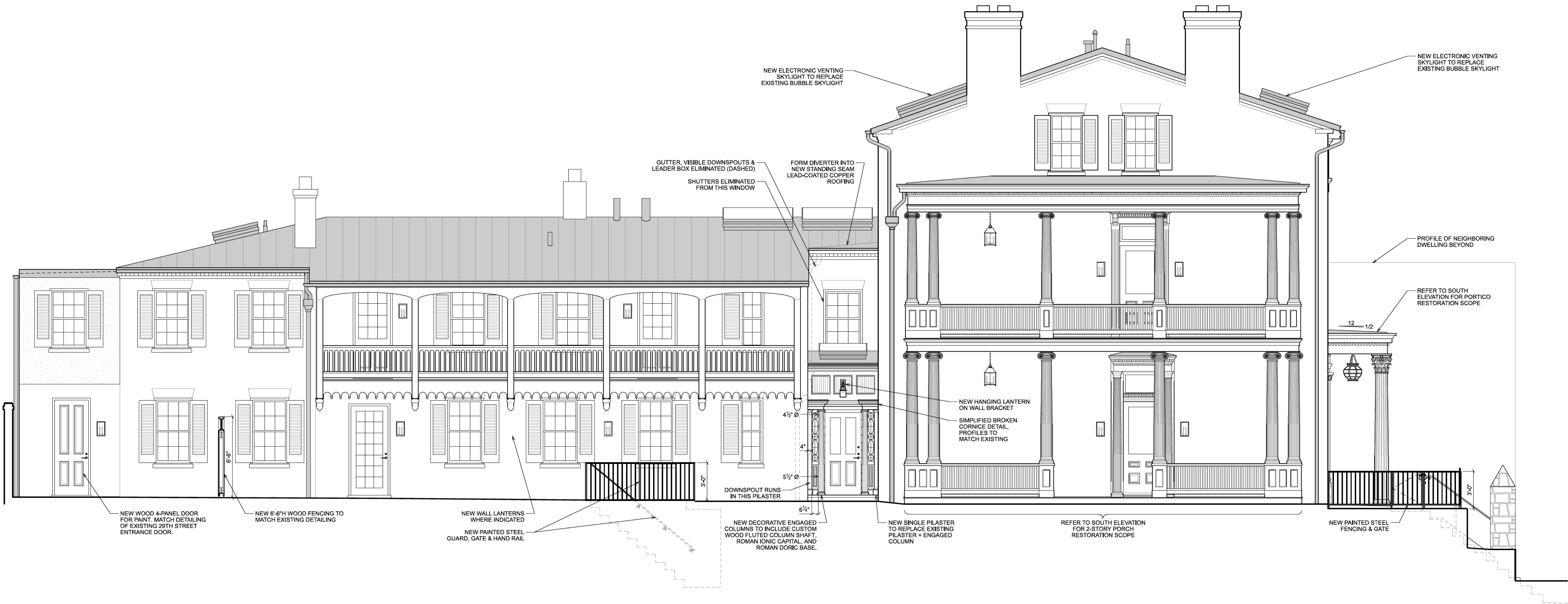
2823 N STREET NW
WASHINGTON, DC 20007

LOT: 0836 SQUARE: 1235

EXISTING
WEST ELEVATION

A202.1

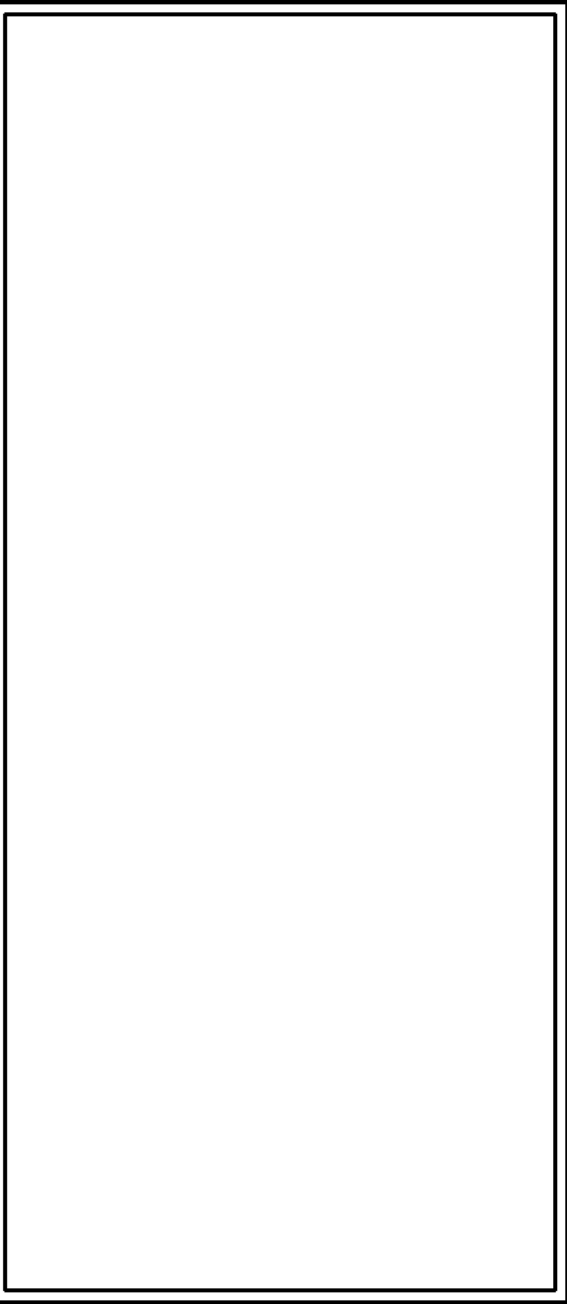
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PROPOSED
WEST ELEVATION

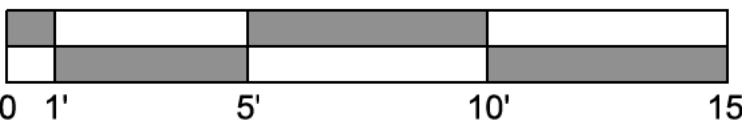
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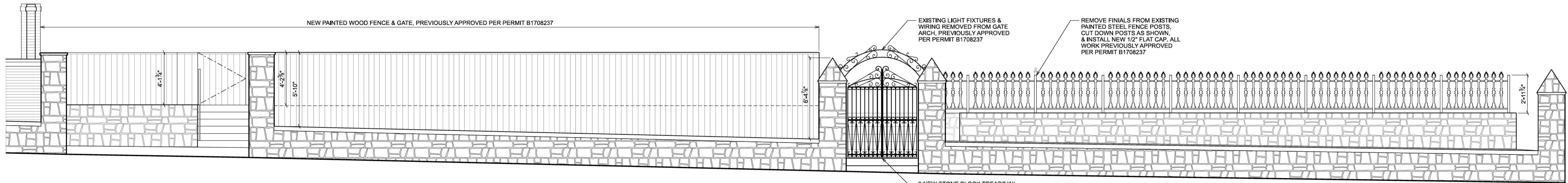
DATE: 01-13-2022

1
A202.2

PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



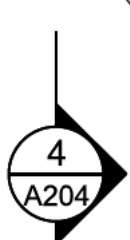
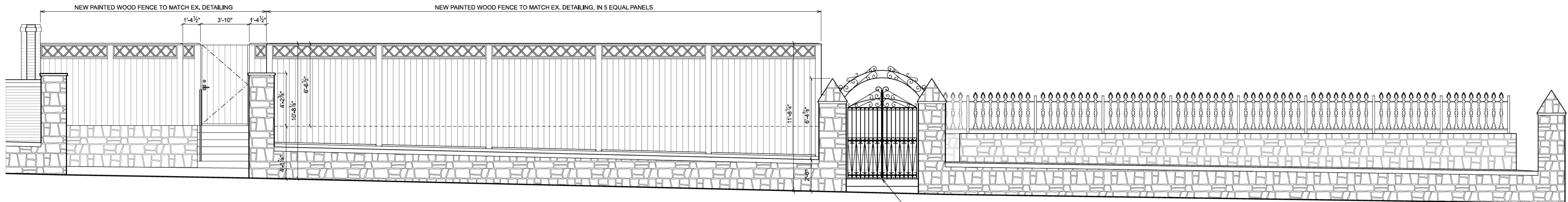


1
A203
EXISTING 29TH STREET SITE ELEVATION
SCALE: 1/4" = 1'-0"
0 1' 5' 10' 15'

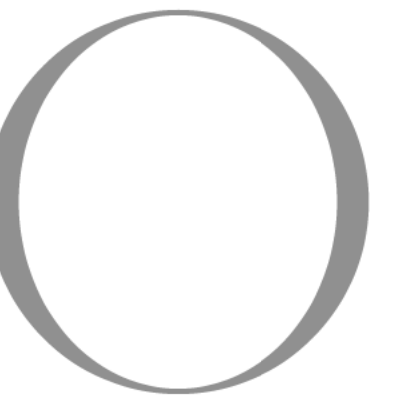
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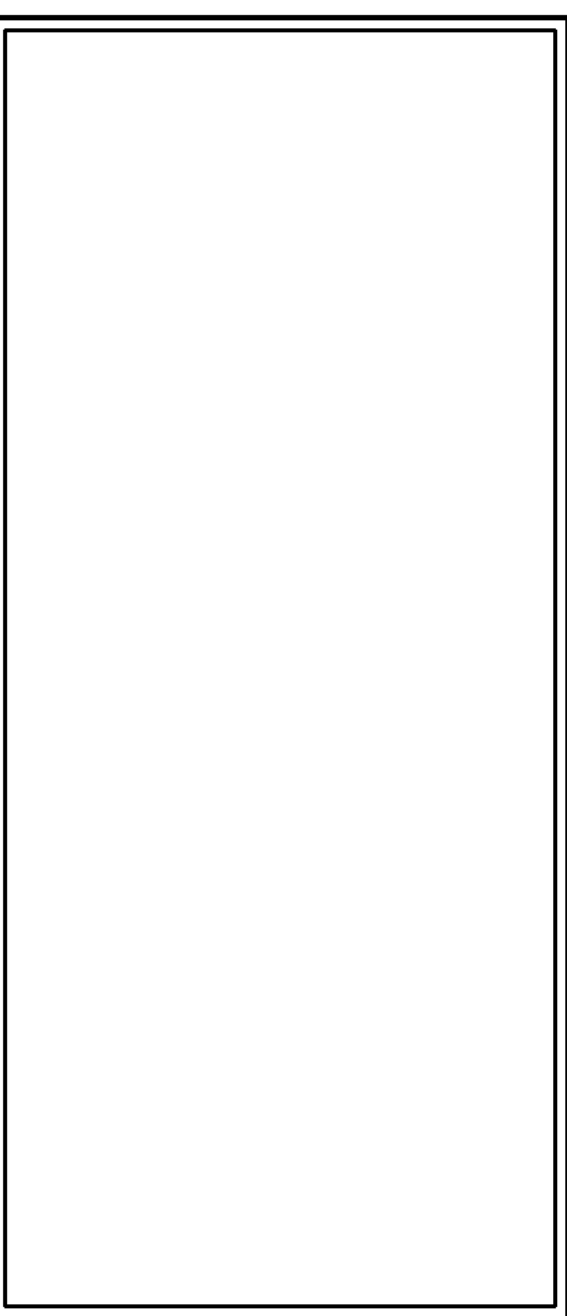
2
A203
PROPOSED 29TH STREET SITE ELEVATION
SCALE: 1/4" = 1'-0"
0 1' 5' 10' 15'



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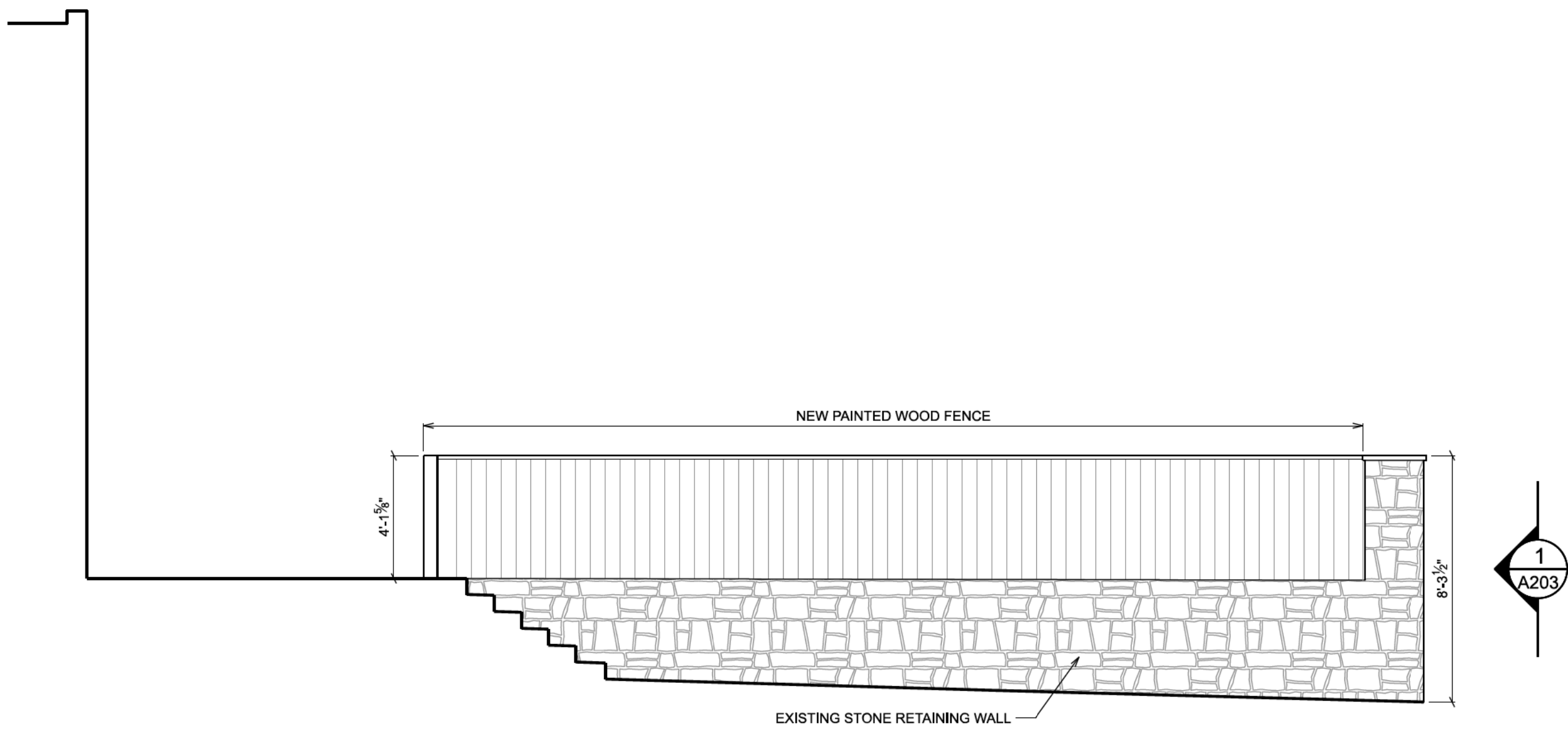
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29TH STREET
SITE ELEVATIONS

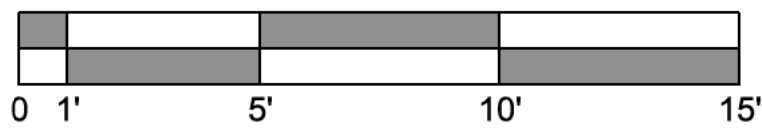
A203

DATE: 01-13-2022



1
A204

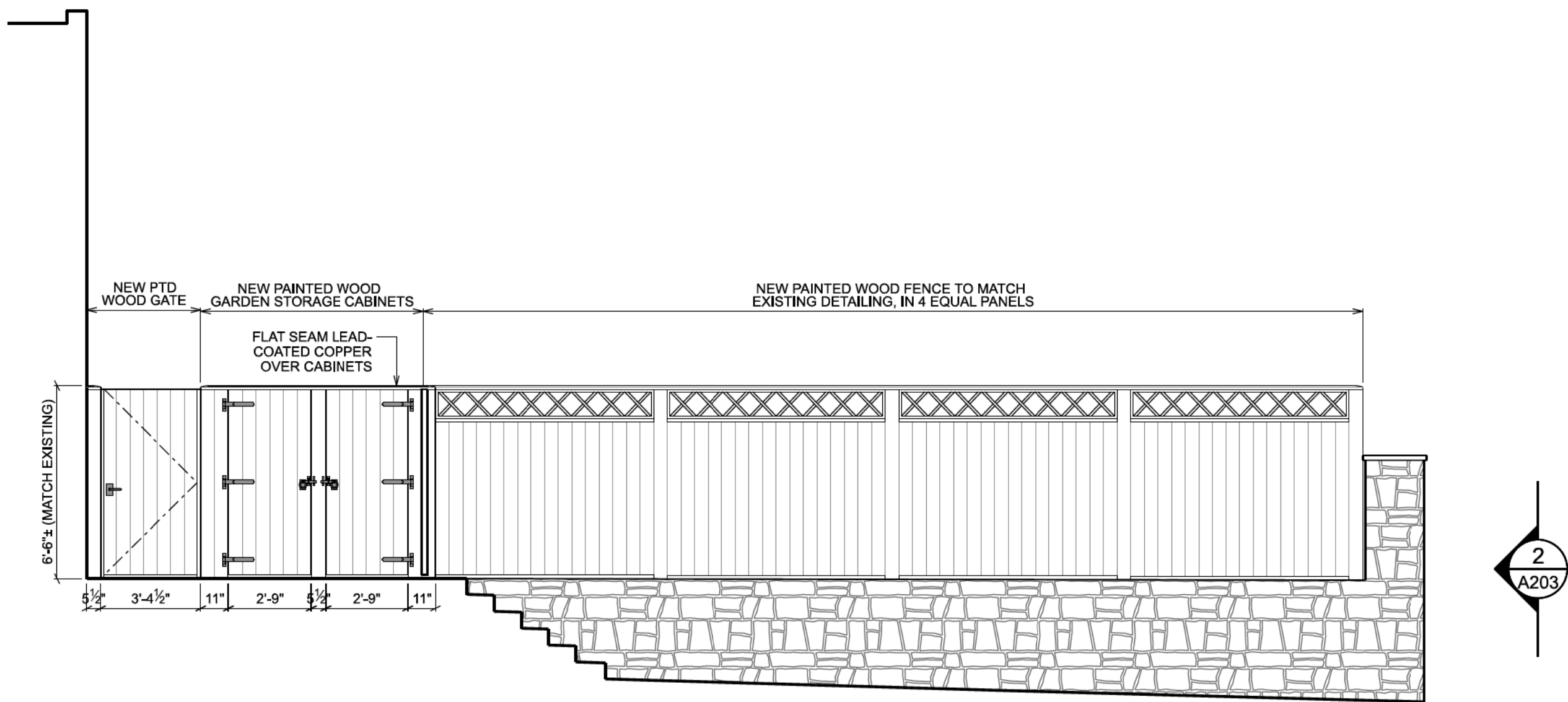
EXISTING DRIVEWAY ELEVATION, FACING SOUTH
SCALE: 1/4" = 1'-0"



THESE "EXISTING" ELEVATIONS REFLECT THE APPROVED DESIGN TO-DATE, PER PERMITS B1708237, B1908090, & B2005999.

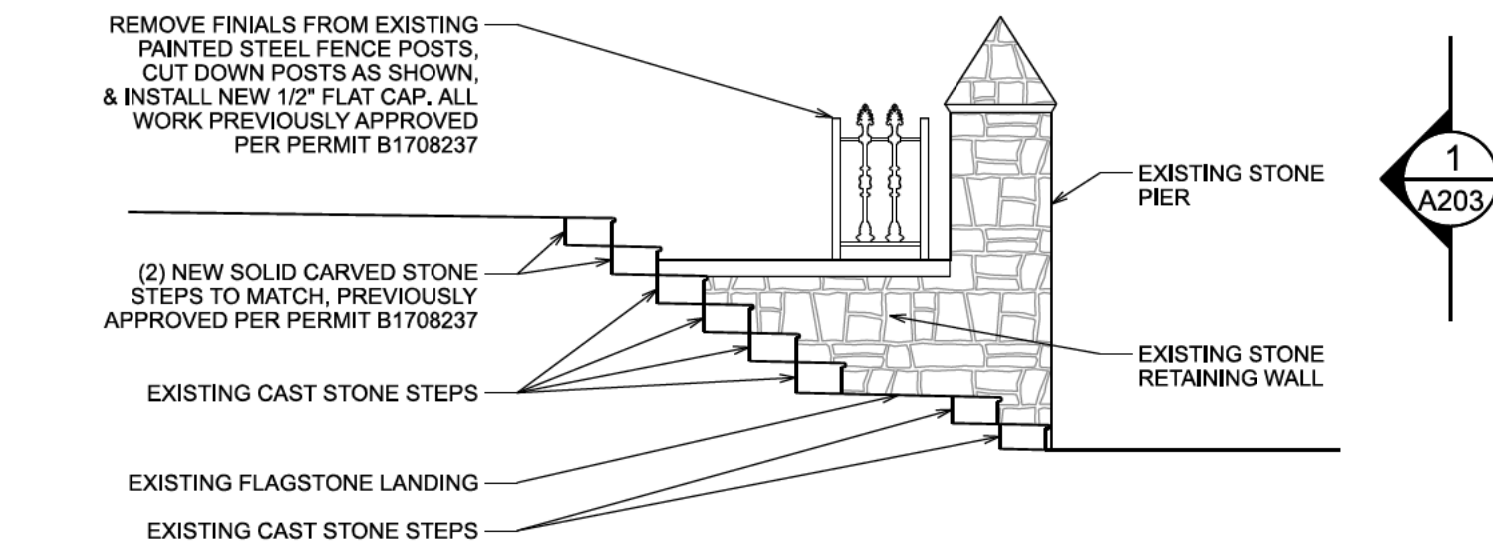
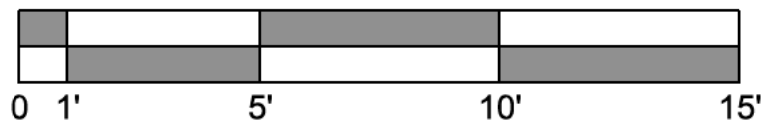
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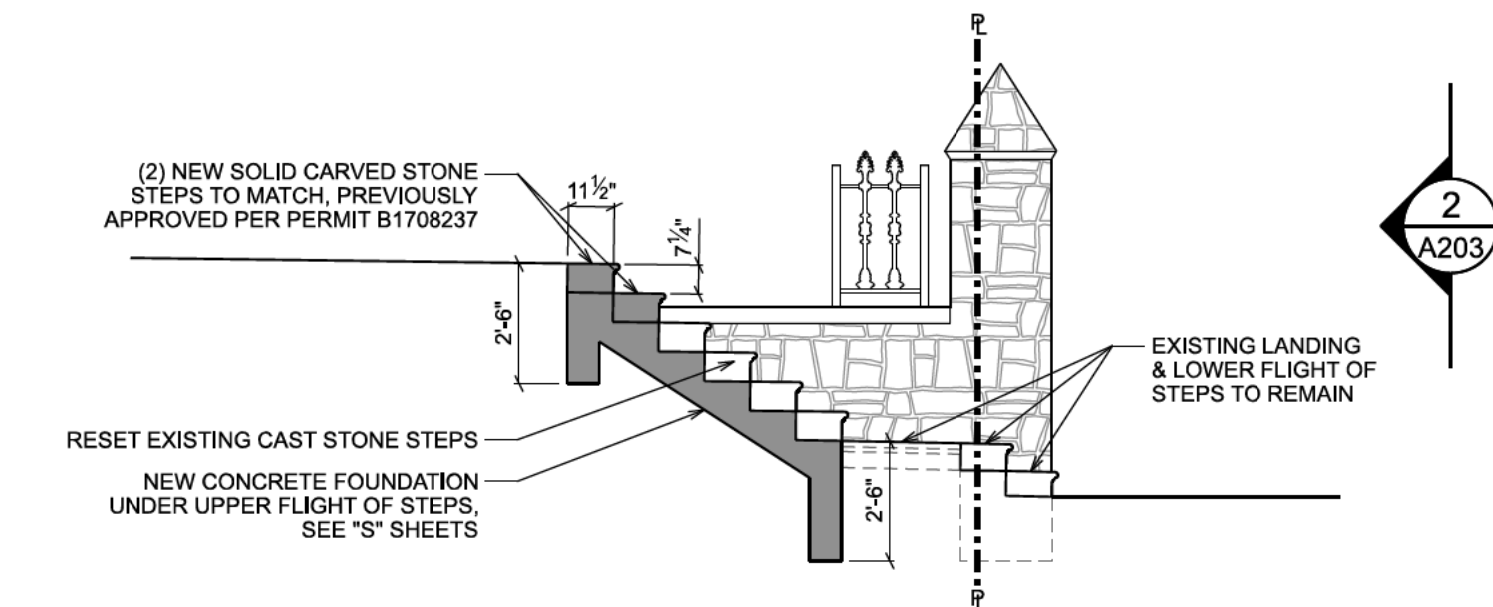
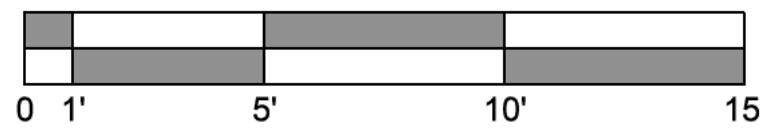
2
A204

PROPOSED DRIVEWAY ELEVATION, FACING SOUTH
SCALE: 1/4" = 1'-0"



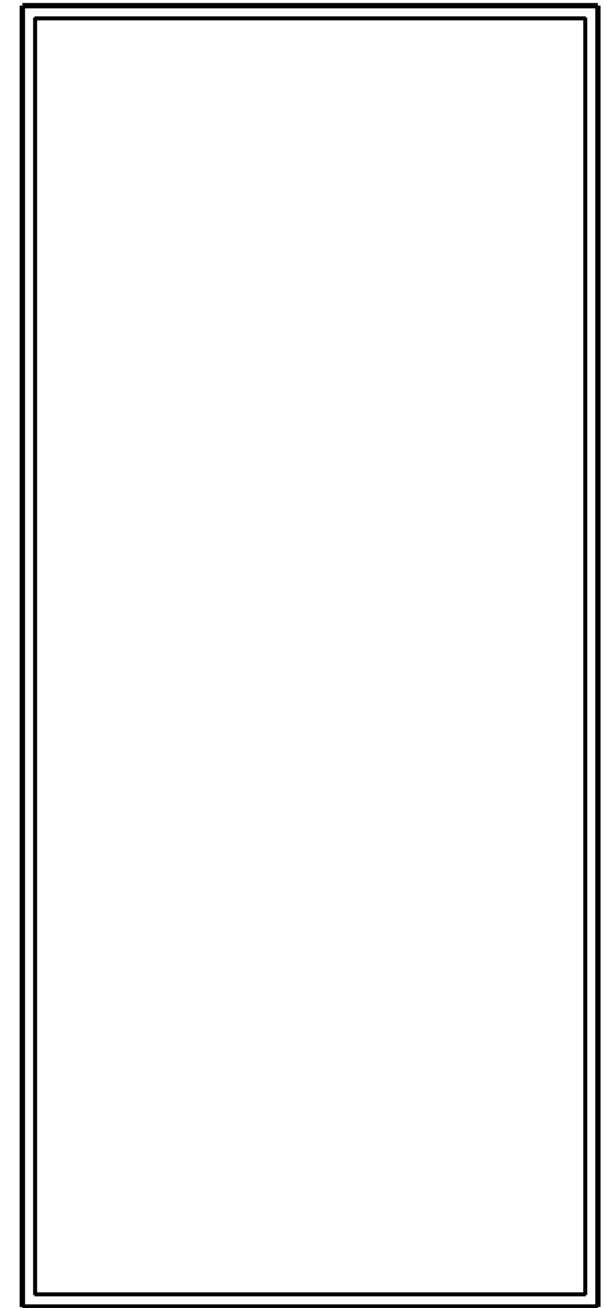
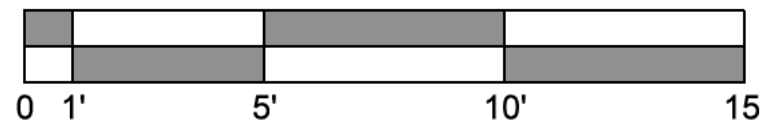
3
A204

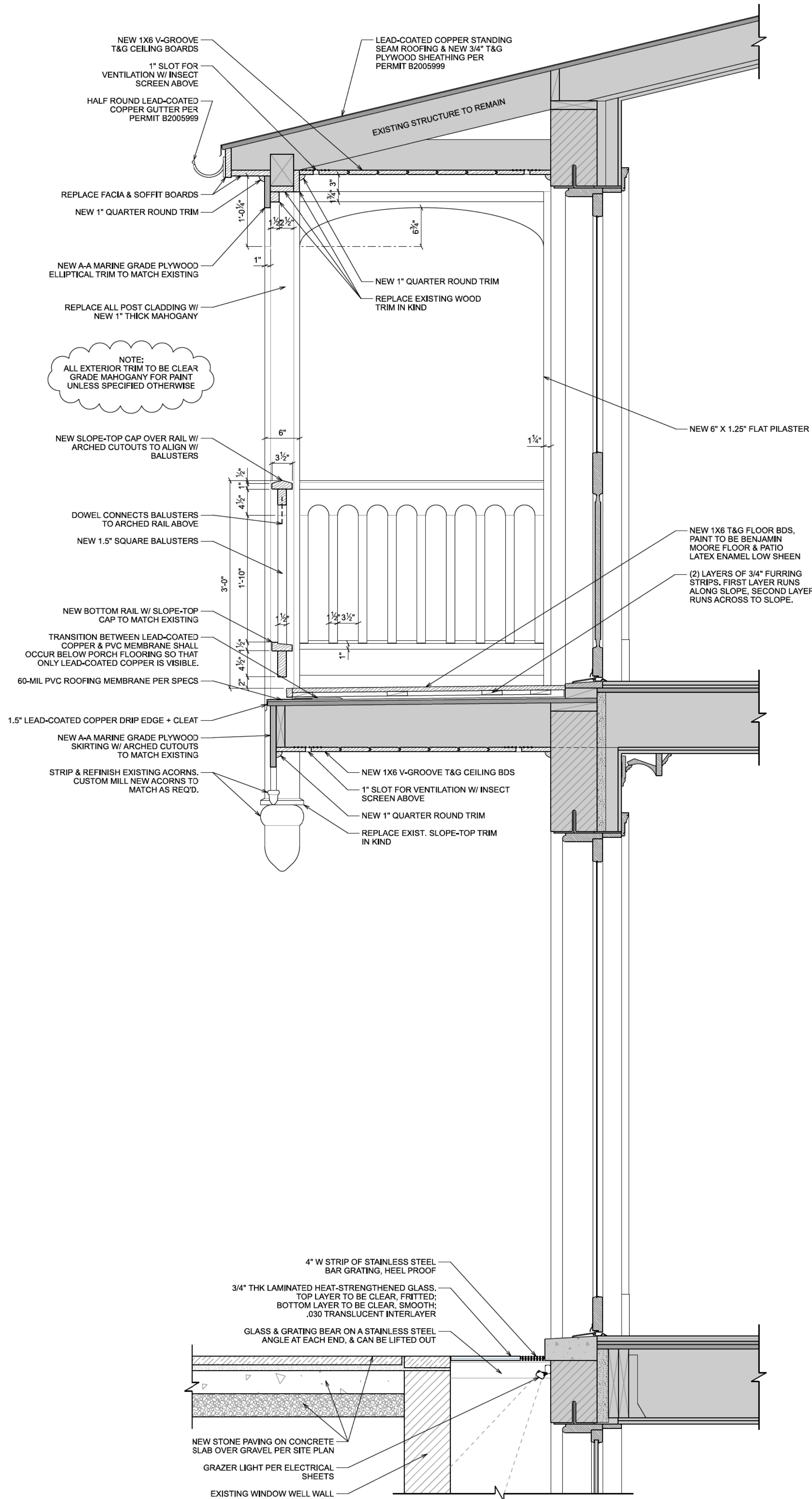
EXISTING 29TH STREET STAIR ELEVATION
SCALE: 1/4" = 1'-0"



4
A204

PROPOSED 29TH STREET STAIR ELEVATION
SCALE: 1/4" = 1'-0"





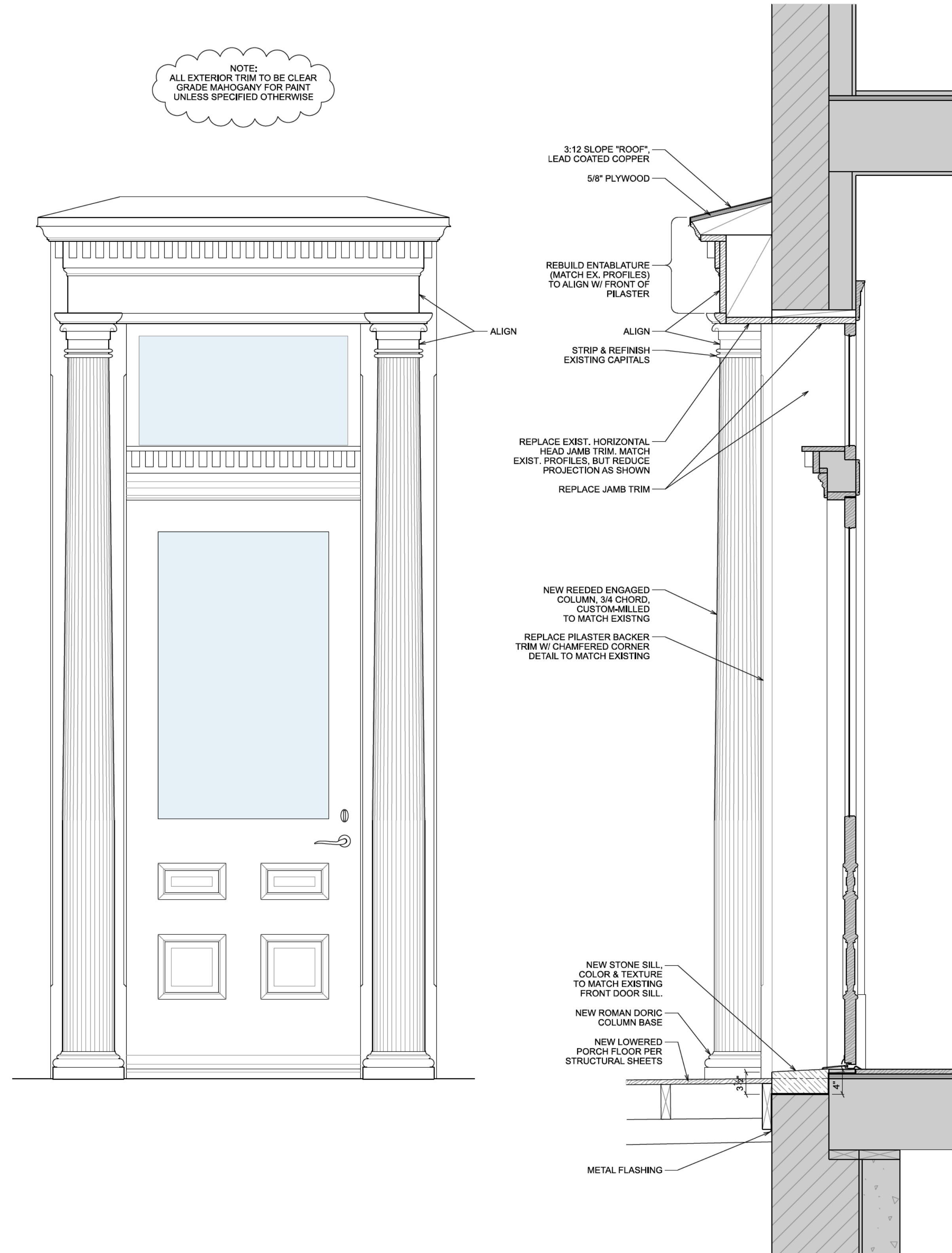
1
A401

NORTH PORCH DETAIL
SCALE: 1" = 1'-0"

SHADING INDICATES EXISTING
CONDITIONS & PREVIOUSLY-
APPROVED NEW WORK

SCALE: 1" = 1'-0"

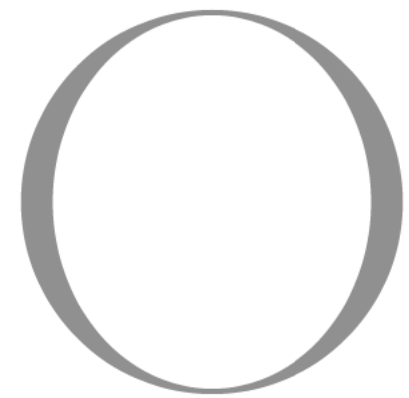
0 1' 2' 5'



2
A401

**1ST FLOOR SOUTH
PORCH DOOR TRIM DETAILS**
SCALE: 1" = 1'-0"

SHADING INDICATES EXISTING
CONDITIONS & PREVIOUSLY-
APPROVED NEW WORK



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RENOVATION TO THE

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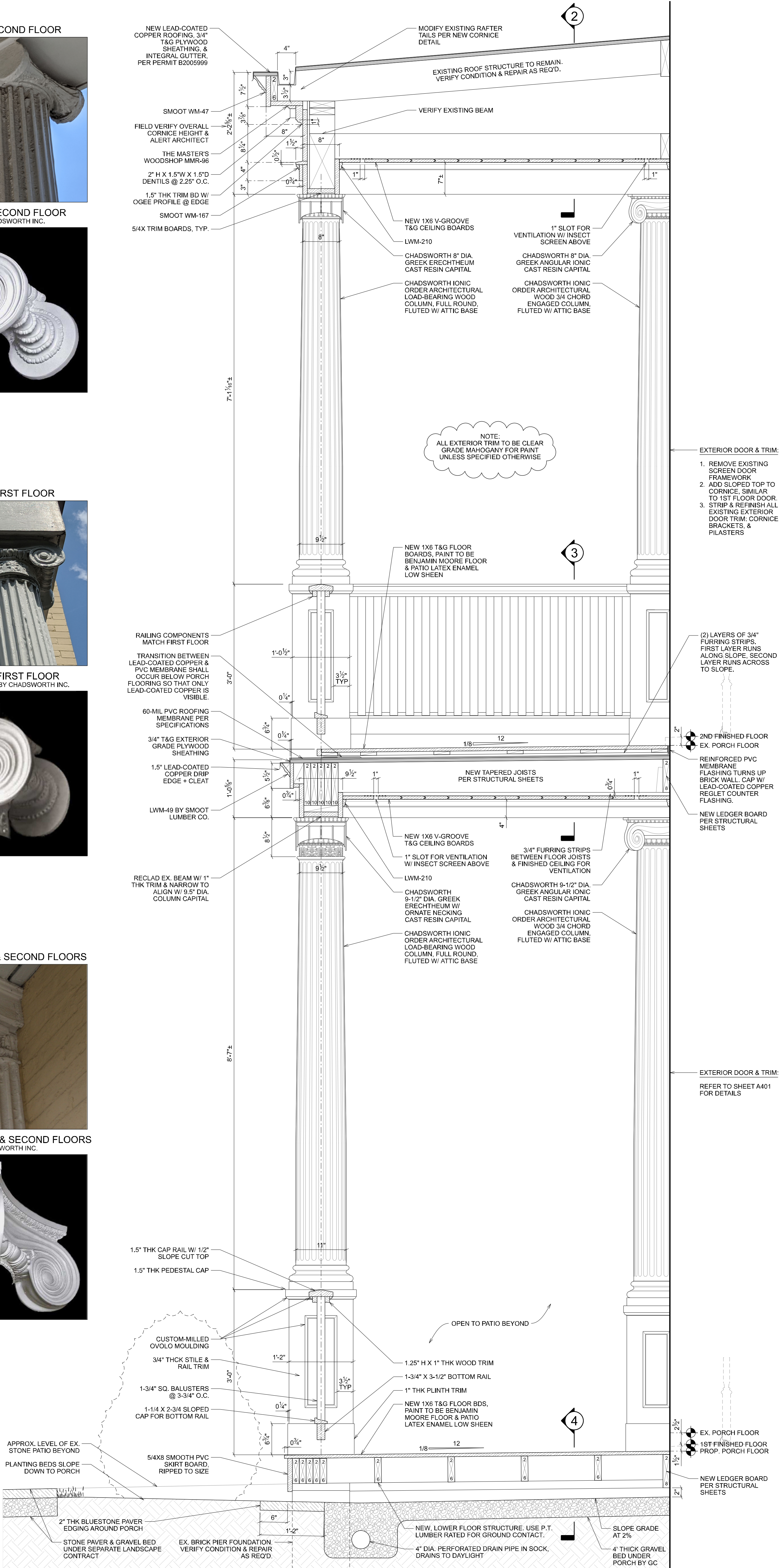
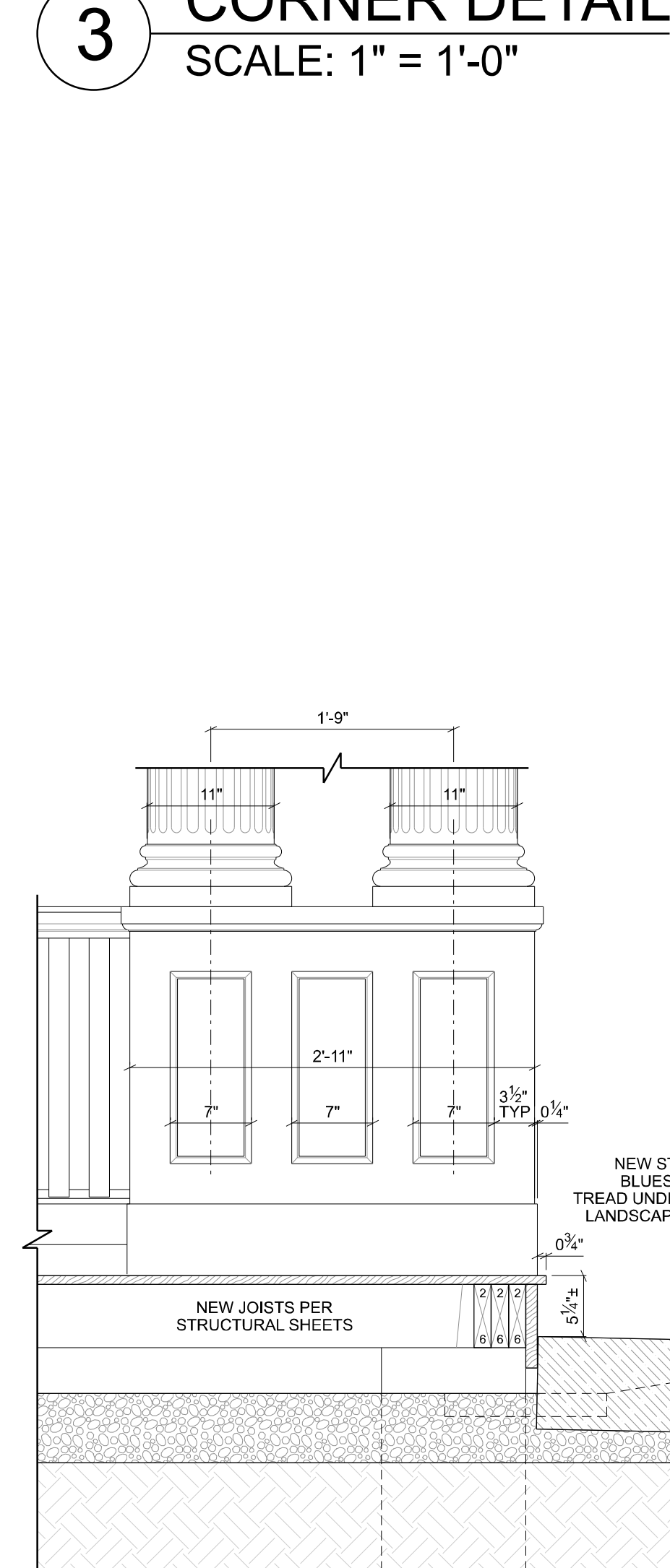
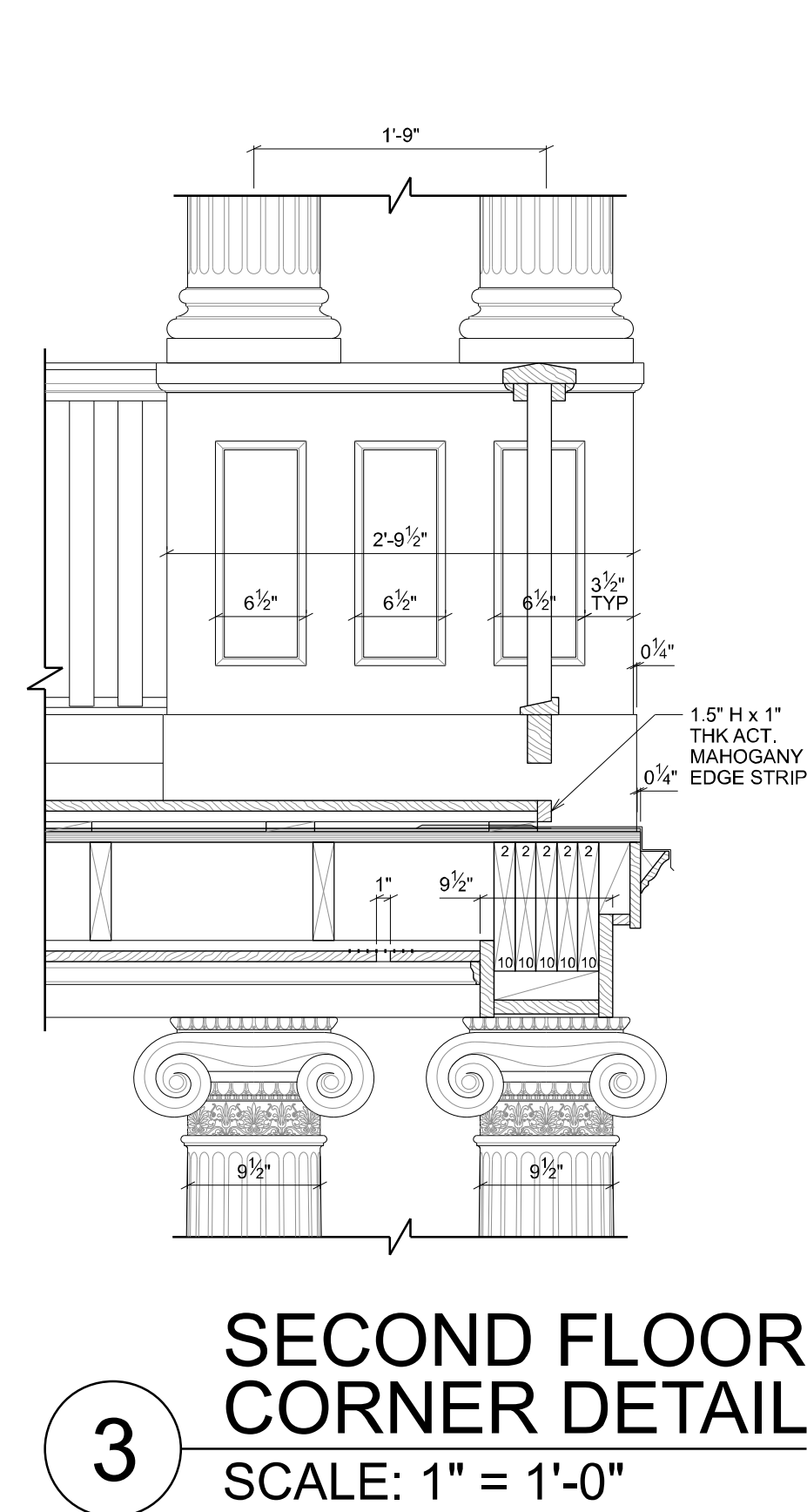
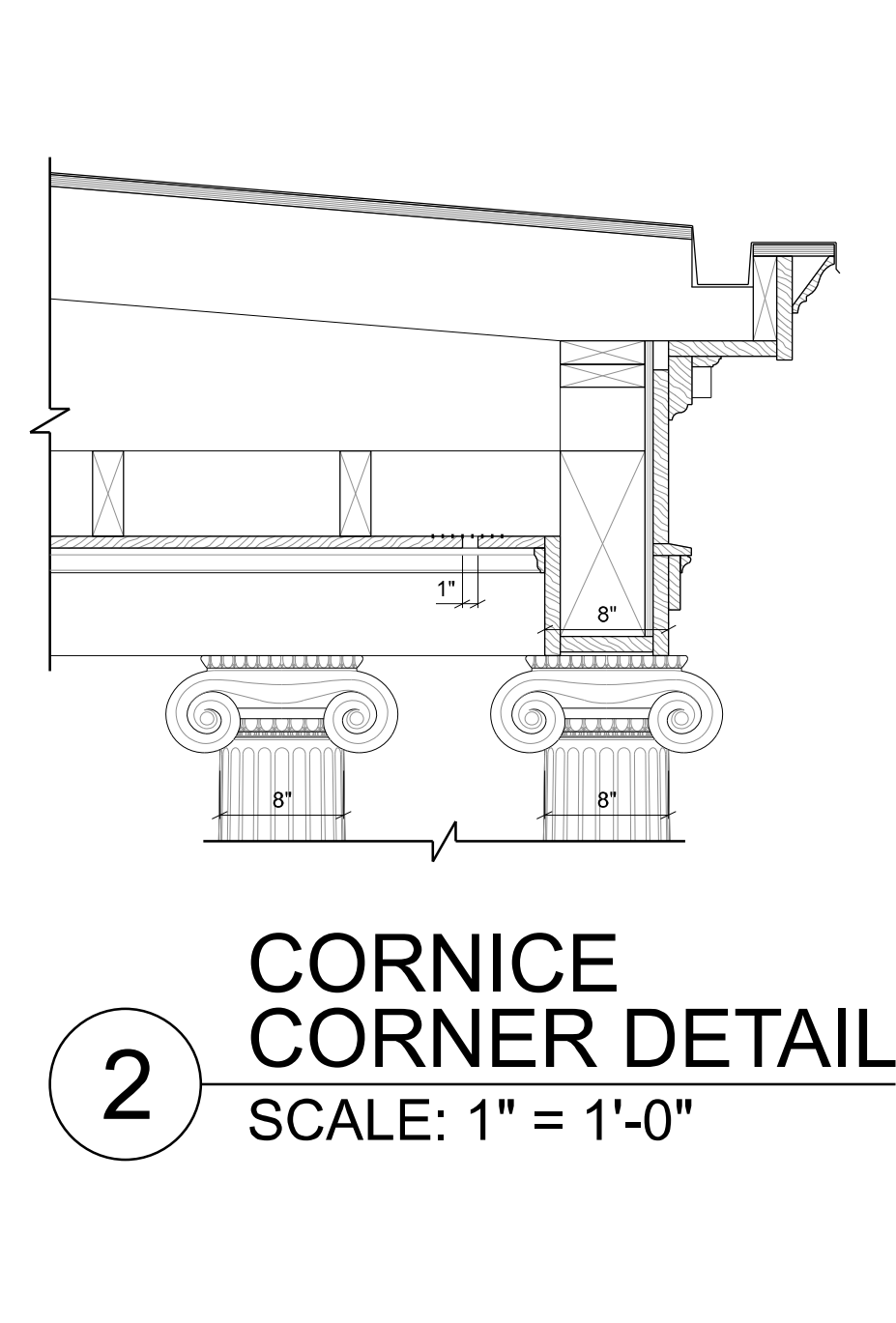
2823 N STREET NW
WASHINGTON, DC 20007

LOT: 0836 SQUARE: 1235

**NORTH PORCH &
SOUTH PORCH
DOOR DETAILS**

A401

DATE: 01-13-2022



1
A403

PORTICO DETAIL

SCALE: 1" = 1'-0"

SHADING INDICATES EXISTING CONDITIONS & PREVIOUSLY-APPROVED NEW WORK

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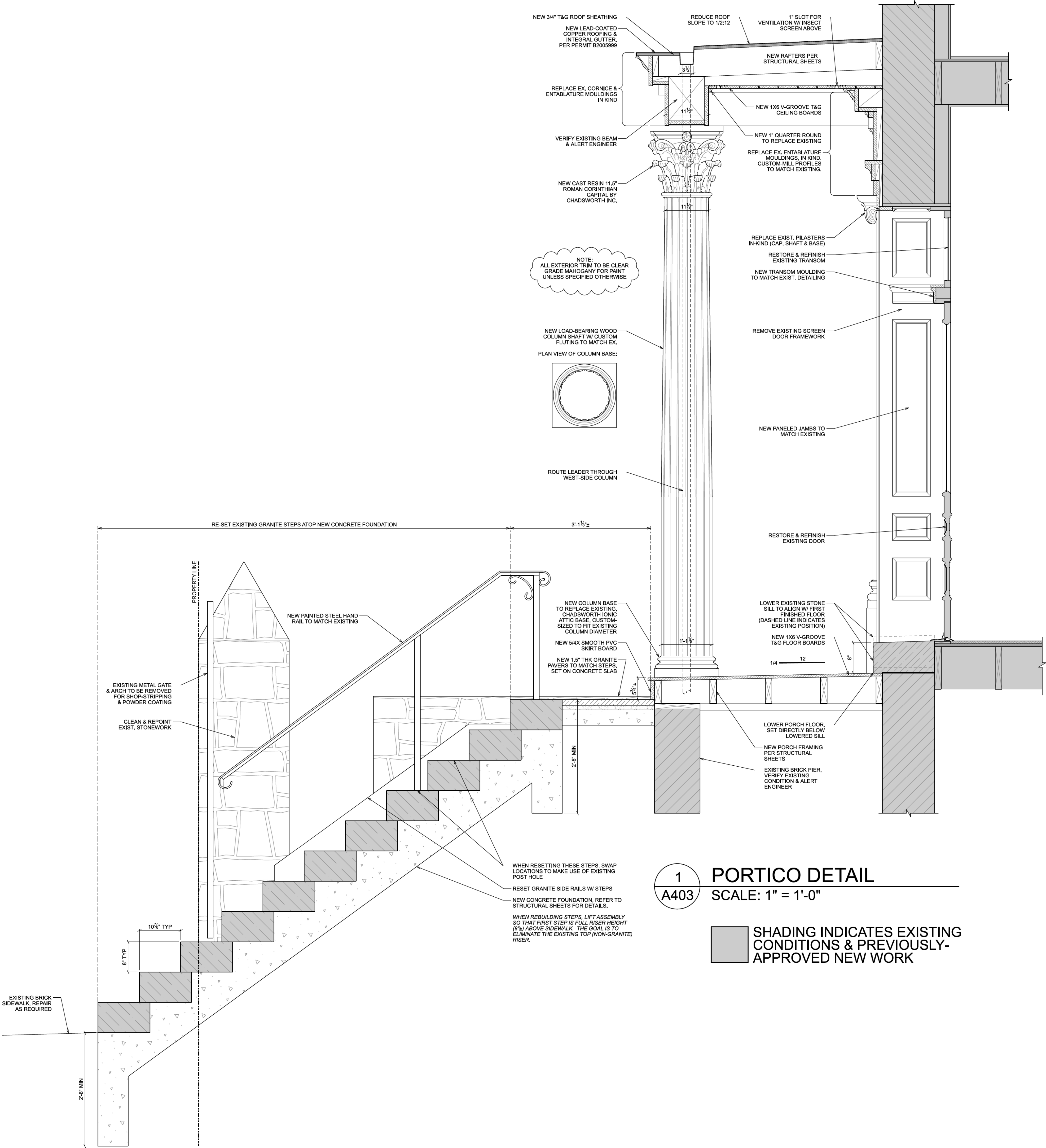
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RESIDENCE

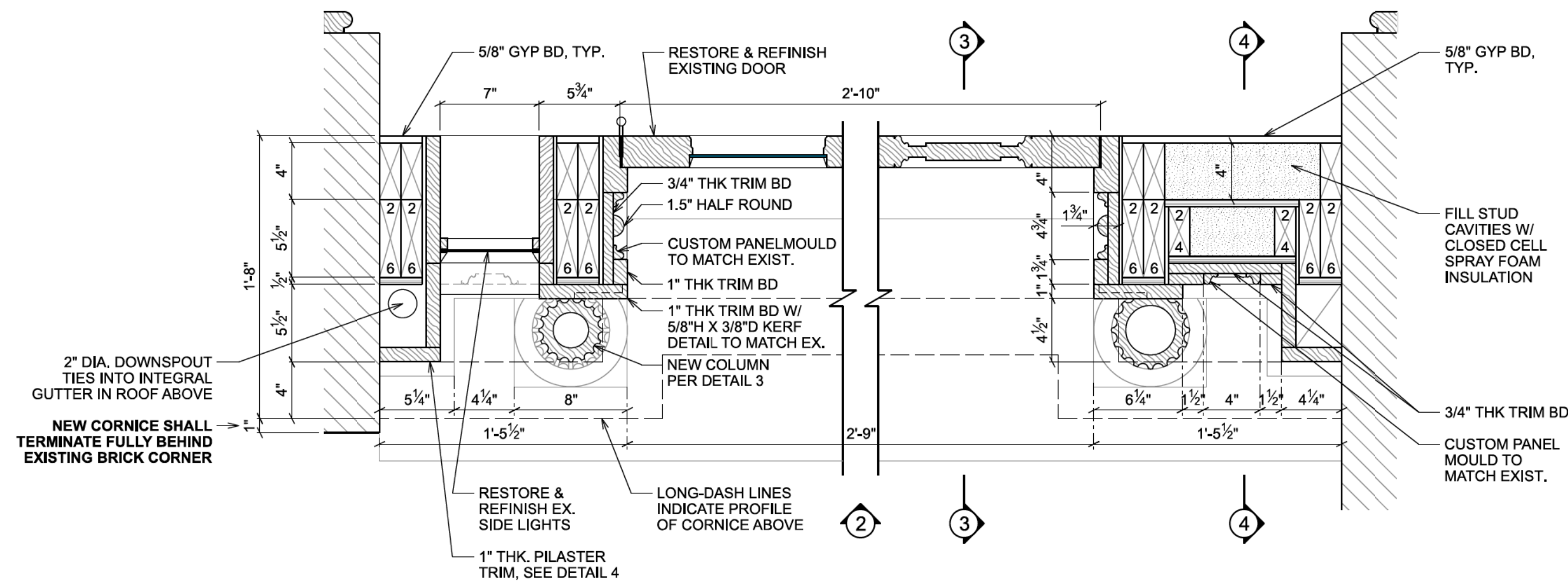
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WASHINGTON, DC 20007
LOT: 0836 SQUARE: 1235

PORTICO DETAIL

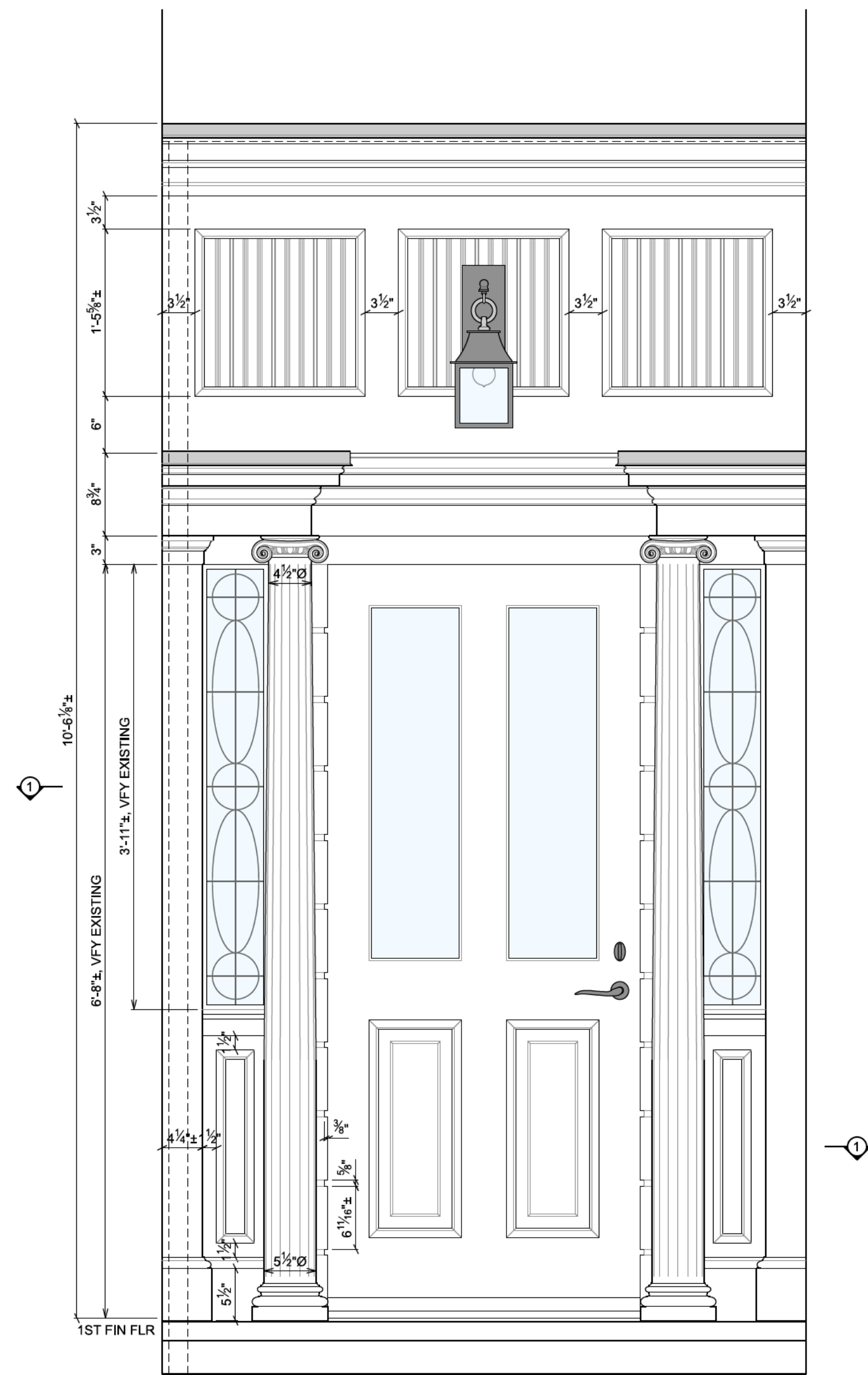
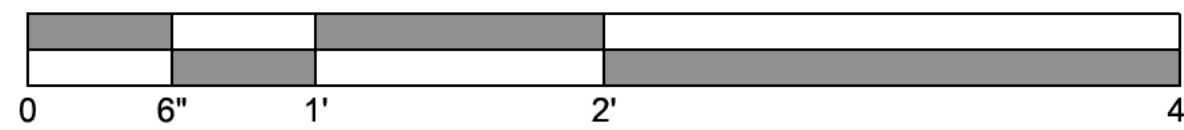
A403

DATE: 01-13-2022

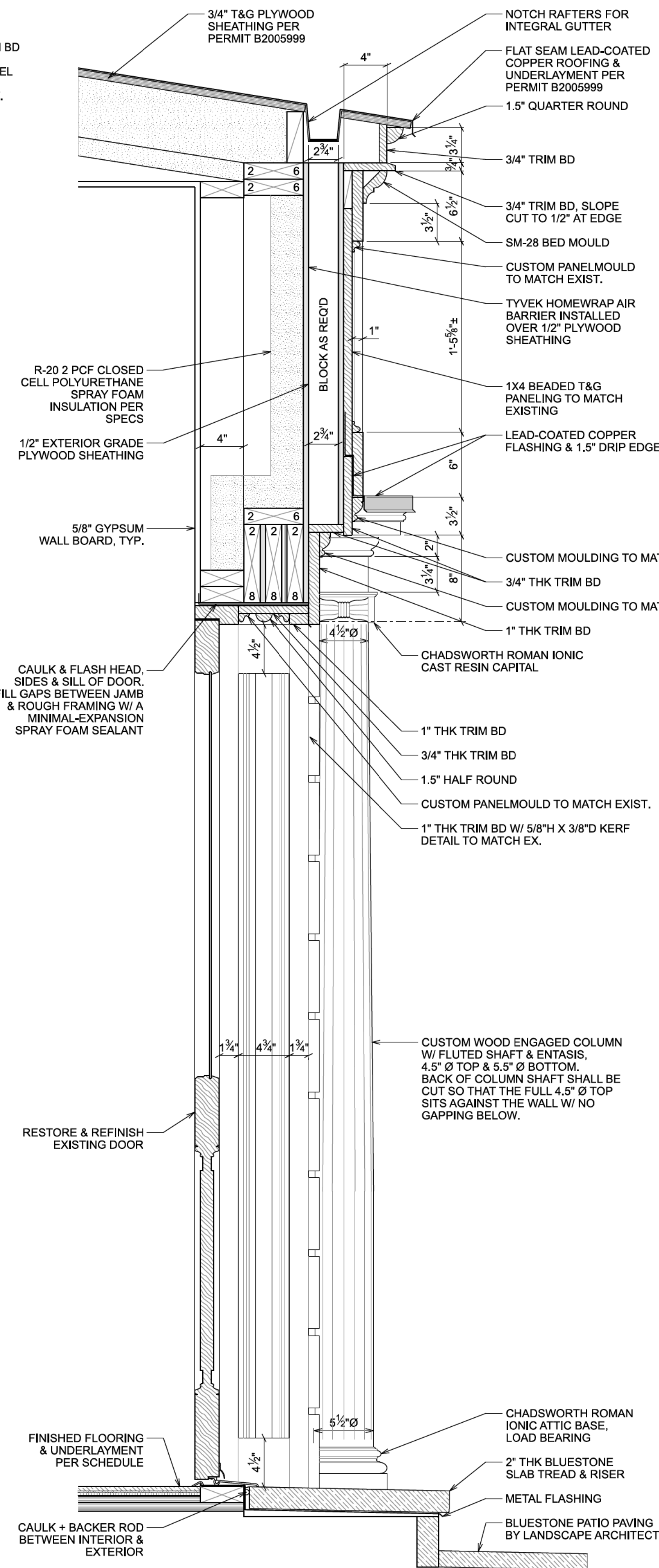
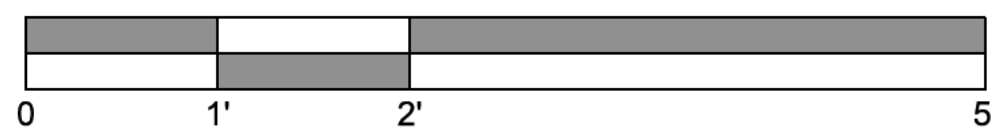




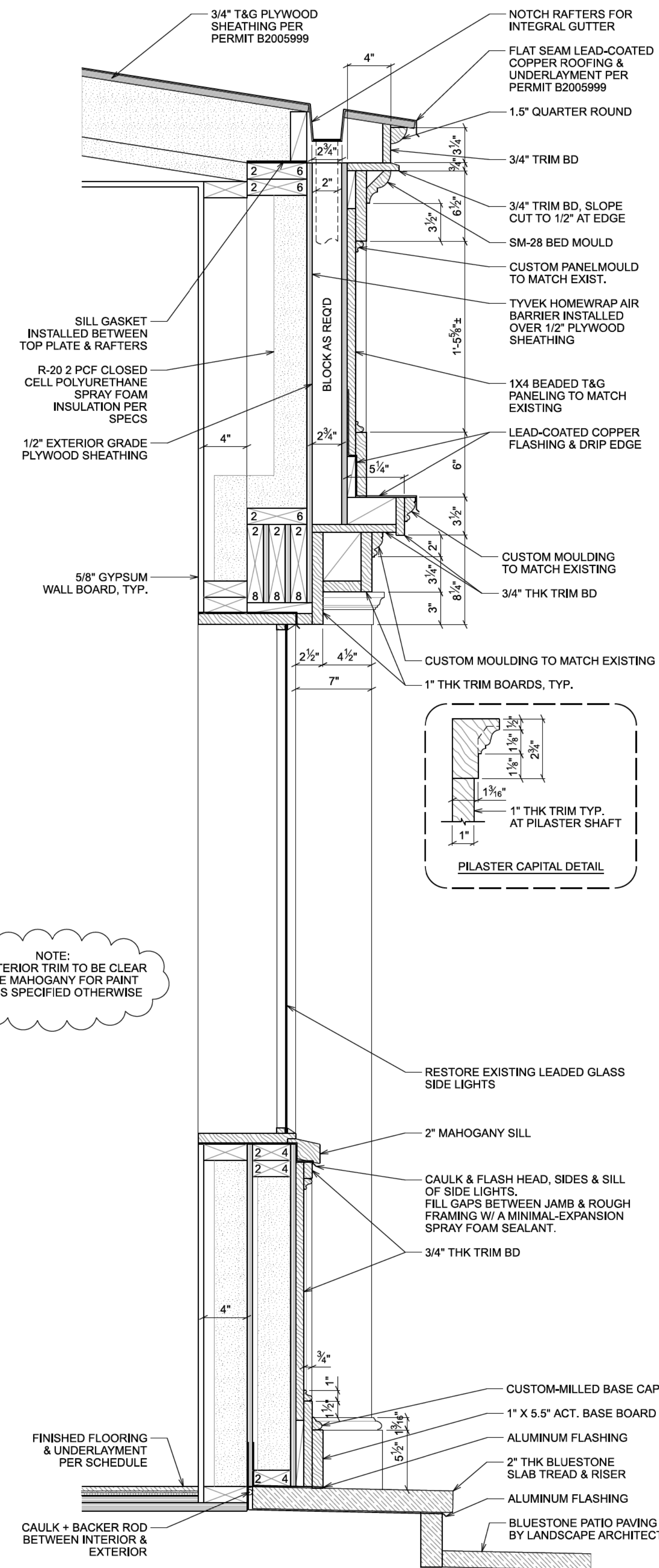
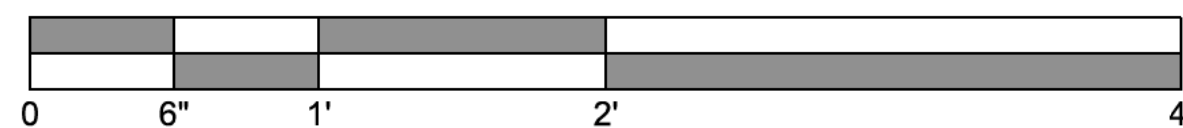
1 DETAILED PLAN
A404 SCALE: 1-1/2" = 1'-0"



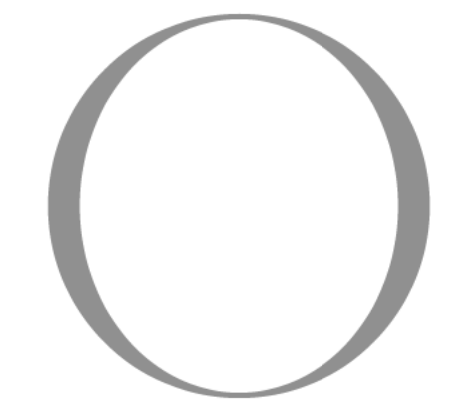
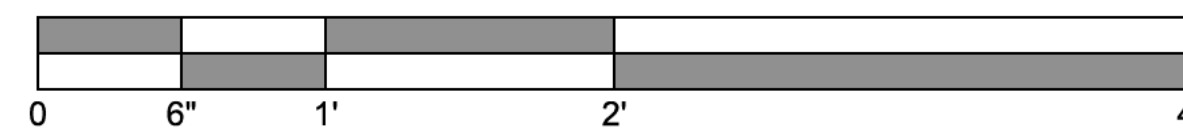
2 ELEVATION
A404 SCALE: 1" = 1'-0"



3 DETAILED SECTION 3
A404 SCALE: 1-1/2" = 1'-0"



4 DETAILED SECTION 4
A404 SCALE: 1-1/2" = 1'-0"



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RENOVATION TO THE

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29TH STREET
ENTRANCE DETAILS

A404

DATE: 01-13-2022

1
E201

EXTERIOR LIGHTING & POWER PLAN
AT CELLAR STAIR & WINDOW WELLS

SCALE: 1/4" = 1'-0"

| PLAN SYMBOL | SPECIFICATION |
|-------------|---|
| | URBAN ELECTRIC CO. 'VIC' EXTERIOR SCONCE IN BLACKENED PEWTER. FURNISHED BY OWNER. INSTALLED BY CONTRACTOR. |
| | URBAN ELECTRIC CO. 'MINI STABLE' EXTERIOR HANGING LANTERN ON CUSTOM UECO WALL BRACKET, IN BLACKENED PEWTER. FURNISHED BY OWNER. INSTALLED BY CONTRACTOR. |
| | URBAN ELECTRIC CO. 'NEEDLES HANG' EXTERIOR LANTERN, IN BLACKENED PEWTER. FURNISHED BY OWNER. INSTALLED BY CONTRACTOR. |
| | URBAN ELECTRIC CO. 'STABLE' EXTERIOR HANGING LANTERN, IN BLACKENED PEWTER. CANDELABRA SHAFTS TO BE METAL. FURNISHED BY OWNER. INSTALLED BY CONTRACTOR. |
| | FLEXALIGHTING 'BUNGA' # BG 1 N 27 SINGLE-EMITTING OUTDOOR RECESSED LIGHT 2700K, BLACK, CRI 93+, 128LM. ORIENT LIGHT DOWN TOWARD STEPS. |
| | ECOSENSE TROVE L50 GRAZE L50-E-12-12-27-90-MULT-25x25 CBL-3P-L-UNV-10 LDCM-PL-120-277-010V-GR LV-L50-SYM-12 EXTERIOR, 12" L, POWER 12, 2700K, 90 CRI, WASHING 25X25 OPTICS POWER CABLE ASSEMBLY, TROV, LEADER/JUMPER, 10 FOOT 100-120VAC / 277VAC LINEAR DIMMING CONTROL MODULE 0-10V, PLENUM RATED LOUVER, SYMMETRIC, 12 INCH, L50 |
| | SWITCH |
| | WET LOCATION DUPLEX RECEPTACLE W/ IN-USE WEATHERPROOF ENCLOSURE & GFCI PROTECTION |

2
E201

EXTERIOR LIGHTING & POWER PLAN
AT FIRST FLOOR

SCALE: 1/4" = 1'-0"

3
E201

EXTERIOR LIGHTING & POWER PLAN
AT SECOND FLOOR

SCALE: 1/4" = 1'-0"

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RENOVATION TO THE
KRAMER
RESIDENCE

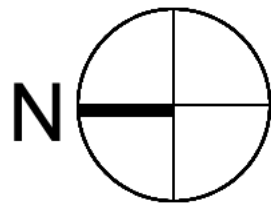
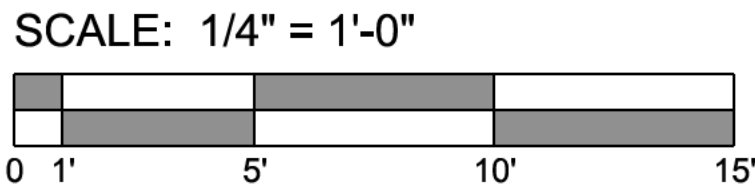
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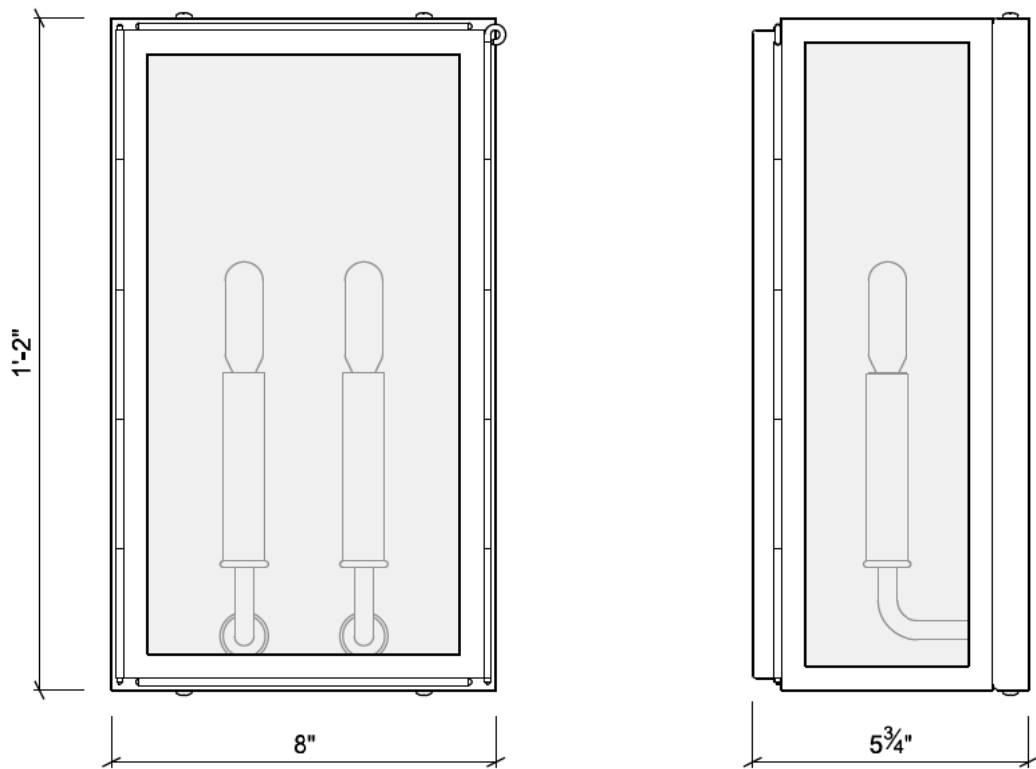
LOT: 0836 SQUARE: 1235

EXTERIOR
LIGHTING &
POWER PLANS

E201

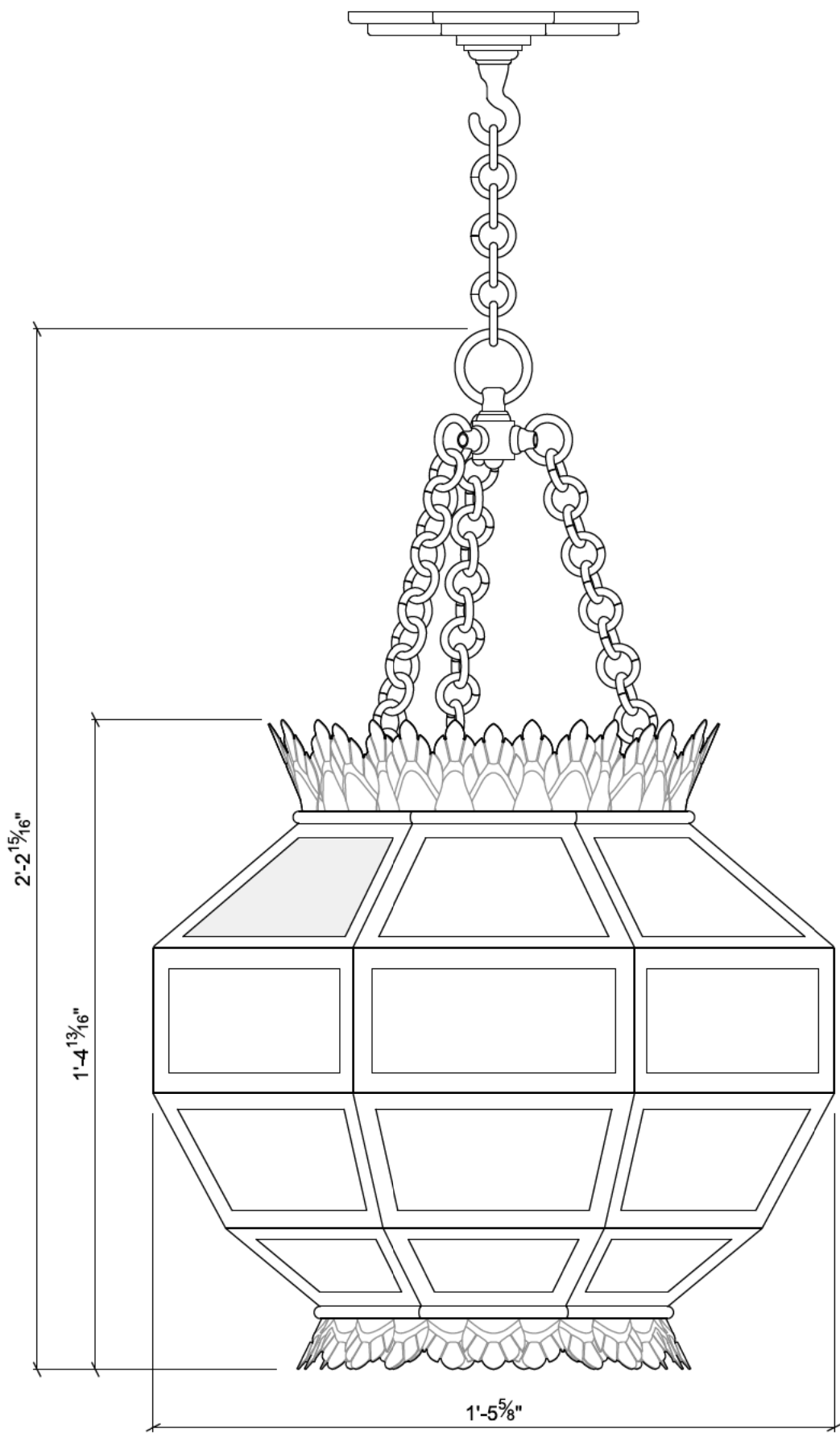
DATE: 01-13-2022





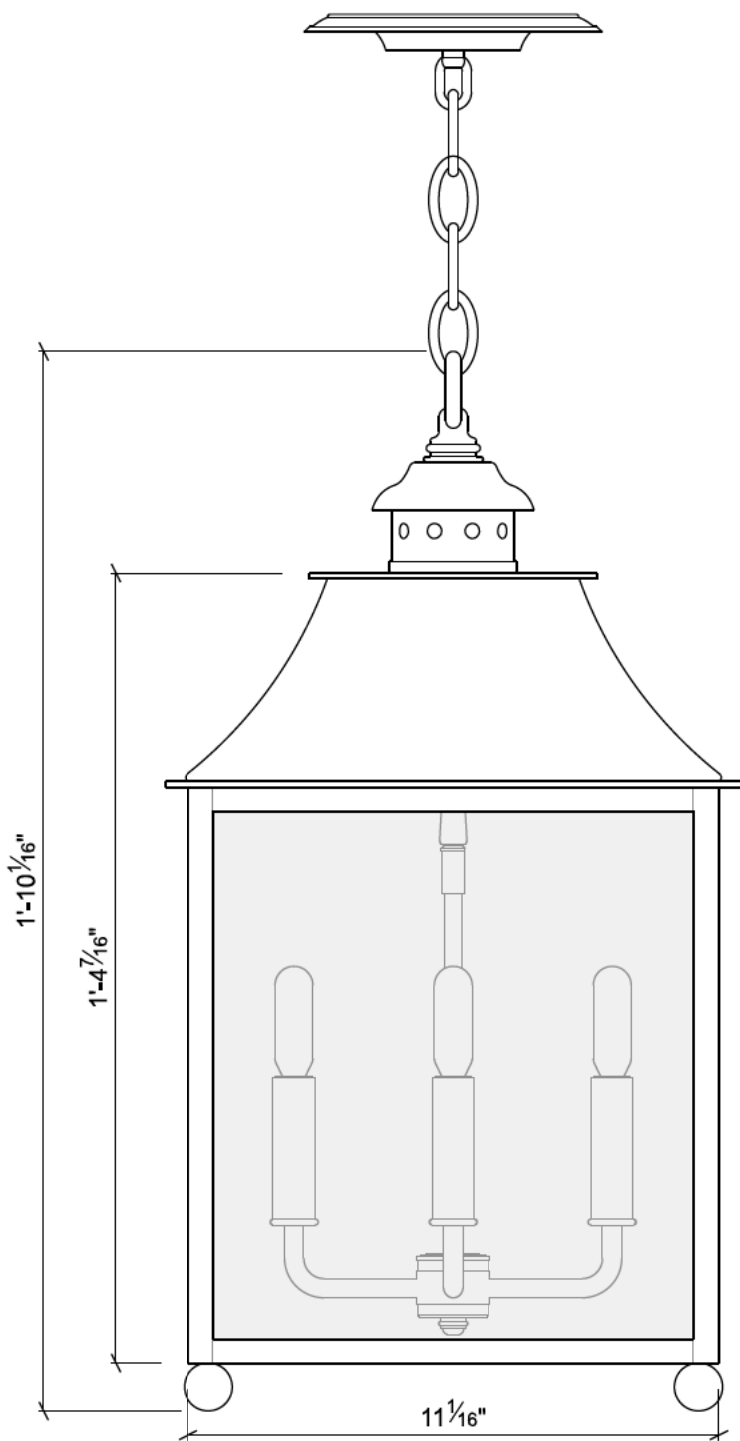
VIC | URBAN ELECTRIC CO.

SCALE: 3" = 1'-0"



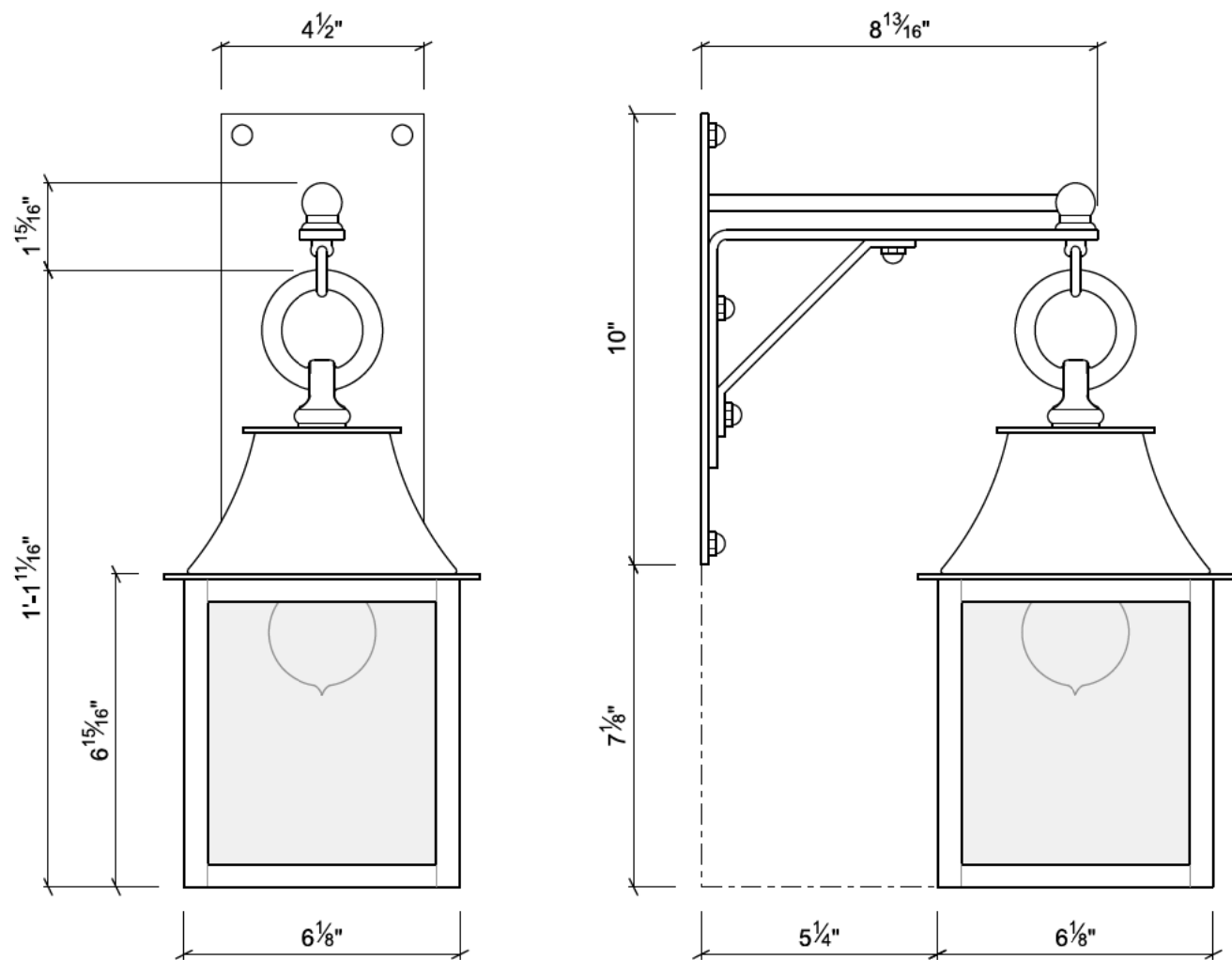
NEEDLES HANG | URBAN ELECTRIC CO.

SCALE: 3" = 1'-0"



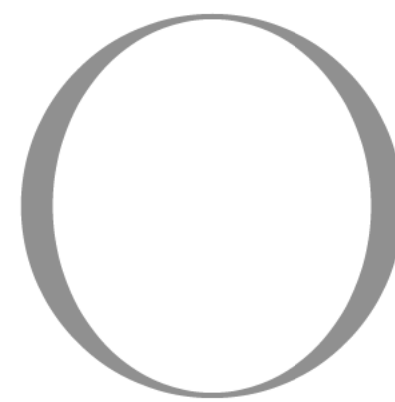
STABLE | URBAN ELECTRIC CO.

SCALE: 3" = 1'-0"



MINI STABLE | URBAN ELECTRIC CO.

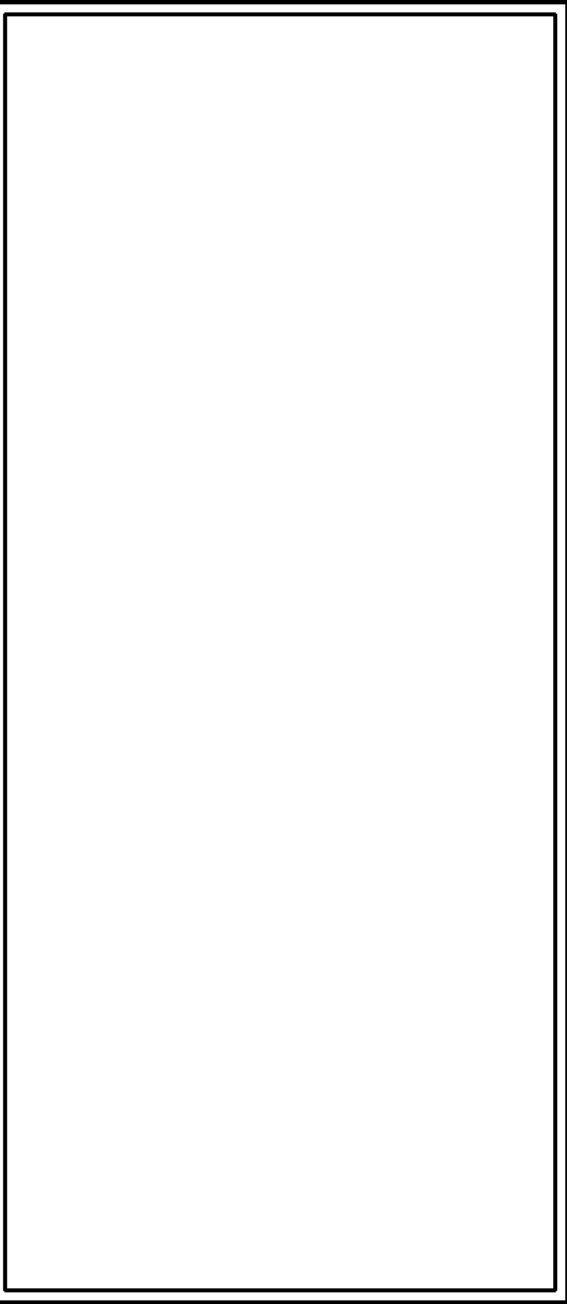
SCALE: 3" = 1'-0"



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RENOVATION TO THE

KRAMER
RESIDENCE

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WASHINGTON, DC 20007

LOT: 0836 SQUARE: 1235

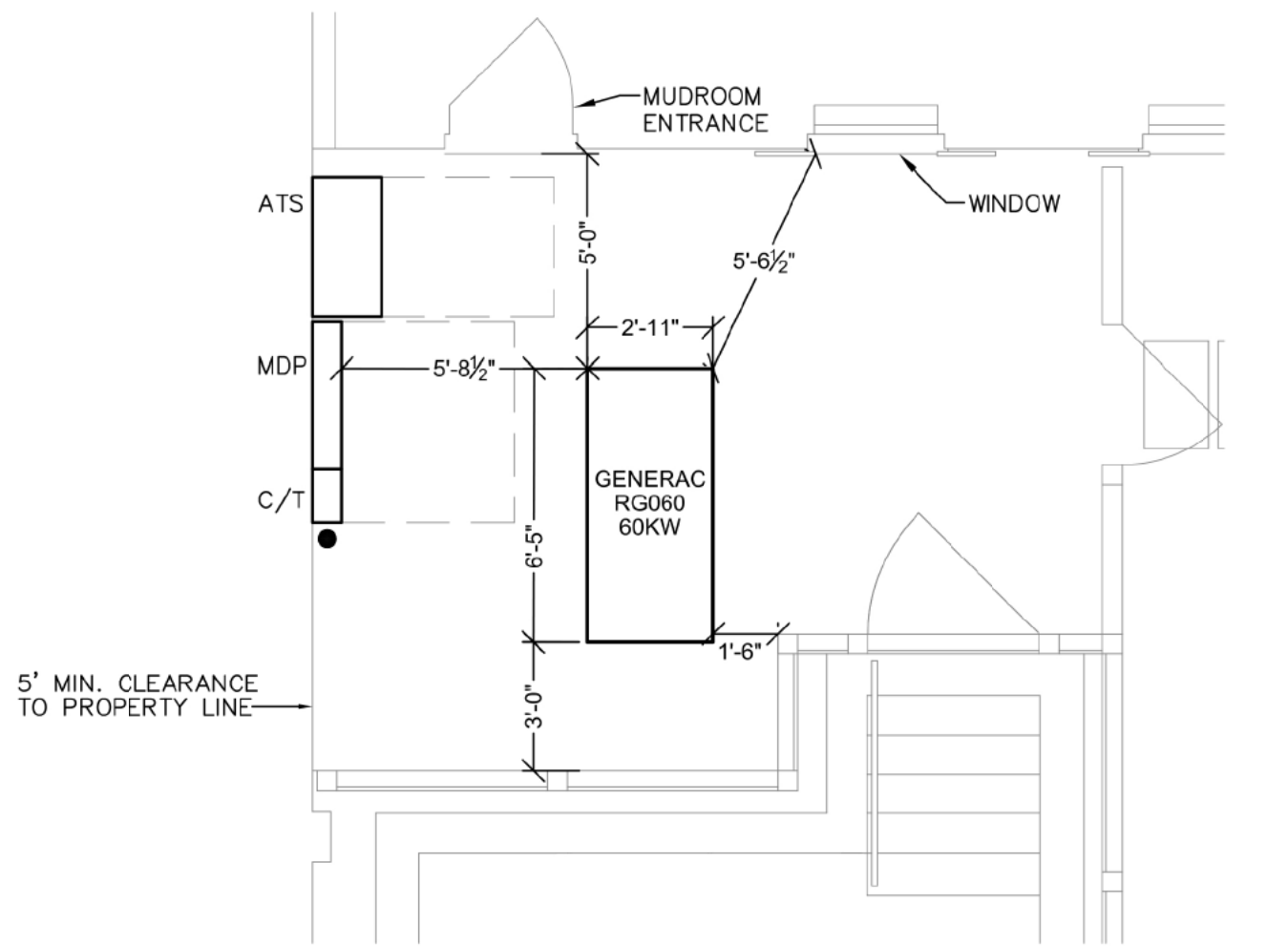
LANTERN
DIMENSIONS

E202

DATE: 01-13-2022

SCALE: 3" = 1'-0"



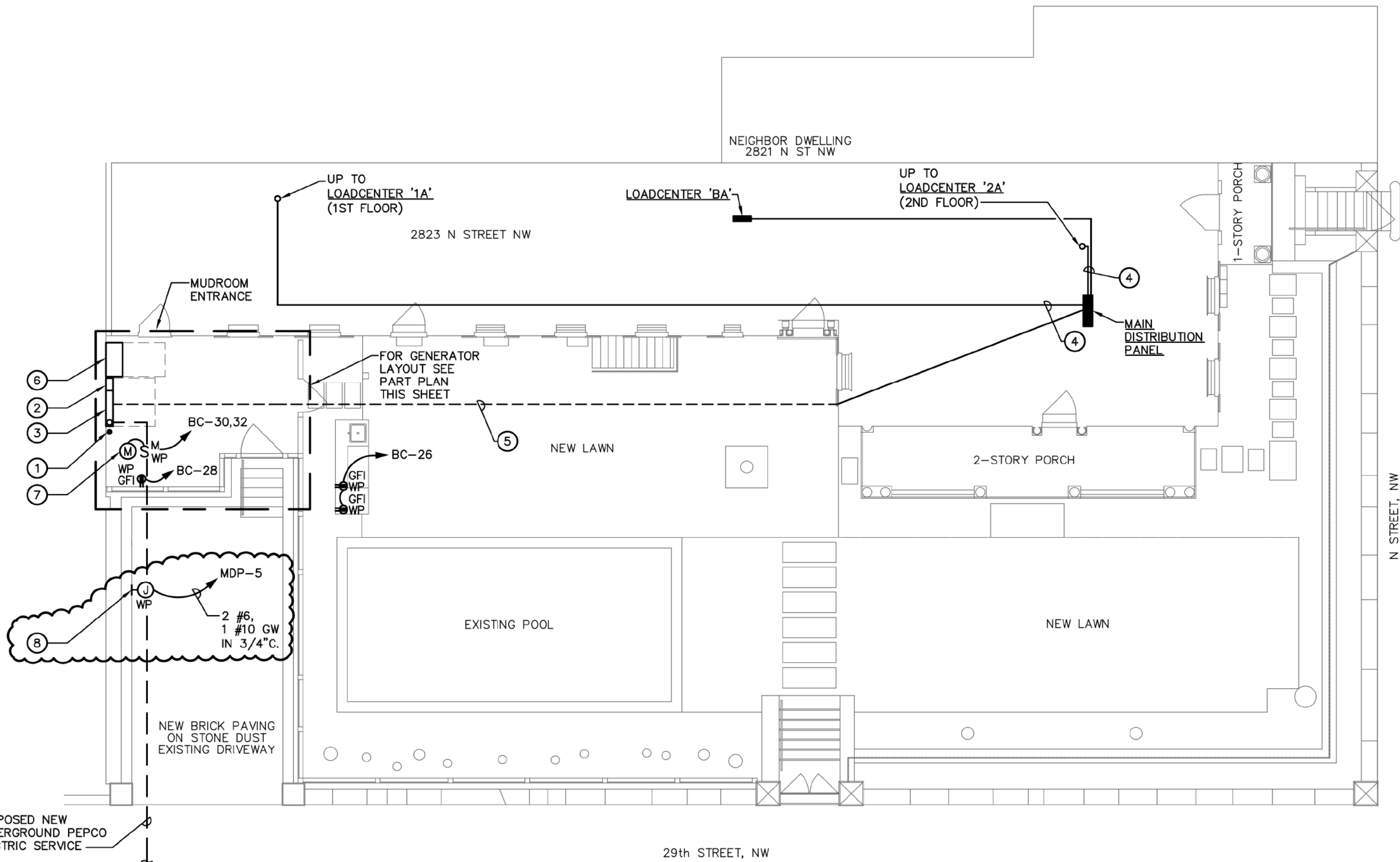


**SITE PLAN PART PLAN –
ELECTRICAL – NEW WORK**
SCALE: 1/4"=1'-0"



GENERAL NOTE: (APPLIES TO THIS SHEET ONLY)

1. COORDINATE FINAL RECEPTACLE LOCATIONS WITH ARCHITECT. COORDINATE REQUIREMENTS FOR SWITCHED RECEPTACLES WITH ARCHITECT AND LIGHTING CONTROL SYSTEM DESIGN. LIGHTING AND LIGHTING CONTROL DESIGN BY OTHERS.
- ① GROUND ROD. SEE E-501 FOR ADDITIONAL INFORMATION.
- ② SERVICE RATED DISCONNECT. SEE E-501 FOR ADDITIONAL INFORMATION.
- ③ NEW C/T CABINET AND ELECTRIC METER. COORDINATE WITH DC INSPECTOR AND PEPCO FOR EXACT LOCATION PRIOR TO INSTALLATION.
- ④ SEE E-501 FOR ADDITIONAL FEEDER INFORMATION.
- ⑤ DIRECT BURIED ELECTRICAL CONDUITS FROM SERVICE DISCONNECT TO MDP. BURY AT 24" BELOW FINISHED GRADE. PROVIDE METALLIC MARKING TAPE 6" ABOVE TOP OF CONDUIT. SEE E-501 FOR FEEDER AND CONDUIT INFORMATION.
- ⑥ KOHLER SERIES KEP, 120/240V, 2P-400AMP AUTOMATIC TRANSFER SWITCH IN NEMA 3R ENCLOSURE WITH A MINIMUM AIC RATING OF 42,000 AMPERES AND 400 CIRCUIT BREAKER (MODEL NUMBER: KEP-DFNC-0400-SNN). MOUNT ON STAINLESS STEEL KINDORF. REMOVE NEUTRAL/GROUND BOND CONDUCTOR.
- ⑦ POOL PUMP, 3HP, 240V, 17.0 FLA. VIA 2 #10 & 1 #10 GROUND WIRE IN 3/4" CONDUIT TO 2P-35A CIRCUIT BREAKER IN LOADCENTER 'BC'.
- ⑧ PROVIDE JUNCTION BOX FOR LEVEL 2 ELECTRIC VEHICLE CHARGING STATION.



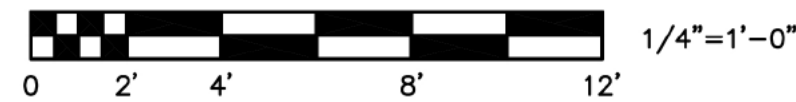
SITE PLAN ELECTRICAL – NEW WORK
SCALE: 1/8"=1'-0"



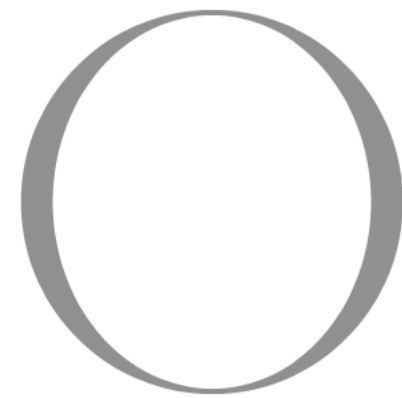
CAUTION:

IF THIS PLAN IS A REDUCTION, GRAPHIC SCALES MUST BE USED.

GRAPHIC SCALE



GRAPHIC SCALE



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RENOVATION TO THE

KRAMER
RESIDENCE

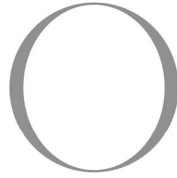
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SITE PLAN
ELECTRICAL
NEW WORK

E205

DATE: 01-13-2022



O V E R M Y E R
A R C H I T E C T S

Index of Photos

2823 N Street NW

| | |
|----------------------------------|---------|
| General | Page 2 |
| Portico | Page 5 |
| South Porch | Page 9 |
| 29 th Street Entrance | Page 21 |
| North Porch | Page 24 |
| Cellar Stairwell | Page 29 |



















