



Government of the  
District of Columbia

# APPLICATION AND REFERRAL TO THE US COMMISSION OF FINE ARTS FOR OLD GEORGETOWN REVIEW

OG

HPA

In accordance with the Old Georgetown Act of 1950 (Public Law 808, 81<sup>st</sup> Congress) this application/transmittal is being transmitted to the US Commission of Fine Arts (CFA) for review and recommendation before a building permit can be issued. Work in Georgetown is also subject to a coordinated historic preservation review under the DC Historic Landmark and Historic District Protection Act of 1978. These reviews are initiated with the completion and submission of this form.

**THIS IS A REQUEST FOR THE FOLLOWING REVIEW BY THE COMMISSION OF FINE ARTS:**

- ☒ **CONCEPTUAL REVIEW** to receive guidance at the early stages of design
- ☐ **PERMIT REVIEW** to receive a recommendation on building permit application No. \_\_\_\_\_  
*I have submitted a permit application with the DC Department of Consumer and Regulatory Affairs*

## 1. OWNER, APPLICANT, AND PROPERTY INFORMATION

Project Address: 1530 30th St NW

Square: 1269 Lot: 0357 (To find your square and lot, see [www.propertyquest.dc.gov](http://www.propertyquest.dc.gov))

Property Owner's Name: 30th St Residence

Owner Address (if different from project address): \_\_\_\_\_

Owner Phone: \_\_\_\_\_ Owner Email: \_\_\_\_\_

Applicant's Name (if different from owner): Neal Thomson

Agent's Capacity: ☐ Tenant ☒ Architect ☐ Contractor ☐ Contract Purchaser ☐ Expediter ☐ Other

Agent Address (if different from owner): 5155 MacArthur Blvd NW

Agent Phone: 202-686-6583 Agent Email: neal@thomsoncooke.com

- ☐ I am currently the owner of the property
- ☐ I am a homeowner currently receiving the DC homestead deduction for this property
- ☒ I am an authorized representative of the property owner
- ☐ I am or represent a potential purchaser of the property

## 2. SUBMISSION MATERIALS FOR THE COMMISSION OF FINE ARTS AND HISTORIC PRESERVATION REVIEW

All materials must be submitted electronically via email to [historic.preservation@dc.gov](mailto:historic.preservation@dc.gov).

The following digital materials are included with this application:

- ☒ Scaled drawings, including, as applicable, floor plans, elevations, details, and a site plan sufficient to illustrate the footprint, location, height, massing, design, and materials of the proposed work and its surrounding context; site plans should show the existing footprint of the property and adjacent buildings.
- ☒ Comprehensive exterior photographs of the property, showing area of proposed work, views from the street and the public alley (if applicable) and context photos (e.g., adjacent buildings, immediate surroundings, and the areas of proposed work)

For more information on submission requirements, see [www.cfa.gov/project-review/old-georgetown](http://www.cfa.gov/project-review/old-georgetown) or contact CFA staff at 202-504-2200

## 3. PROJECT DESCRIPTION (CHECK ALL THAT APPLY)

☒ Addition ☒ Exterior Alteration or Repair ☐ New Construction ☐ Subdivision ☐ Other

Briefly describe the nature of the project: Addition and renovation to existing two-story single family home with cellar.

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(over)

	YES	NO	UNSURE
Is the proposed work visible from a public street or alley?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Will there be work on the front of the building or in the front yard?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Does the project include work in public space?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Does the project include removal of roof or floor framing or bearing walls?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is this a Fair Housing Act request for "reasonable accommodation"?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

#### 4. ADDITIONAL INFORMATION FOR LARGER PROJECTS

For renovation or new construction projects exceeding 20,000 square feet, attach a full narrative description indicating the general nature of the project, program of uses, estimated gross floor area by use, number of residential units, scope of preservation work, and any other pertinent features or benefits, including aspects of sustainability. *Homeowners proposing work on their own house do not need to provide this information.*

#### 5. EASEMENTS

	YES	NO	UNSURE
Is there a conservation easement on the property?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the easement holder?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

#### 6. COMMUNITY CONSULTATION

	YES	NO	UNSURE
Have you shared project information with abutting neighbors?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Have you contacted the affected Advisory Neighborhood Commission (ANC 2E)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Have you contacted any neighborhood community organizations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

*For more information about project review by ANC 2E, see [www.anc2E.com](http://www.anc2E.com) or call the ANC at 202-338-7427*

#### 7. ZONING REGULATIONS AND CONSTRUCTION CODE

	YES	NO	UNSURE
Will the project cause a change in building footprint or lot occupancy?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are any zoning variances or special exceptions required for the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the Zoning Administrator?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the Office of Planning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is any building code relief required for the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Briefly describe the nature of any zoning variances or code relief being sought: \_\_\_\_\_

\_\_\_\_\_

#### 8. CERTIFICATION

I hereby certify that the information given in this application is true and accurate. If applying as an agent of the owner, I certify that I have the owner's permission to make this application.

Signature:  Date: 2022/06/15

When completed, submit this form with all plans, photographs, and other attachments to the Historic Preservation Office (HPO) via email to [historic.preservation@dc.gov](mailto:historic.preservation@dc.gov). Upon review of this submission, CFA or HPO staff may contact the owner or agent for consultation, and may request additional information if determined necessary to review the project.

Referral to CFA or the Historic Preservation Review Board, if required, may be deferred if information is not received within sufficient time to allow staff evaluation and preparation for review. All application materials are part of the public record and are made available to the public for inspection. For more information, see [www.cfa.gov](http://www.cfa.gov) or [www.preservation.dc.gov](http://www.preservation.dc.gov).



**Historic Preservation Office**  
DC Office of Planning  
(202) 442-8800  
[historic.preservation@dc.gov](mailto:historic.preservation@dc.gov)

District of Columbia  
Office of Planning





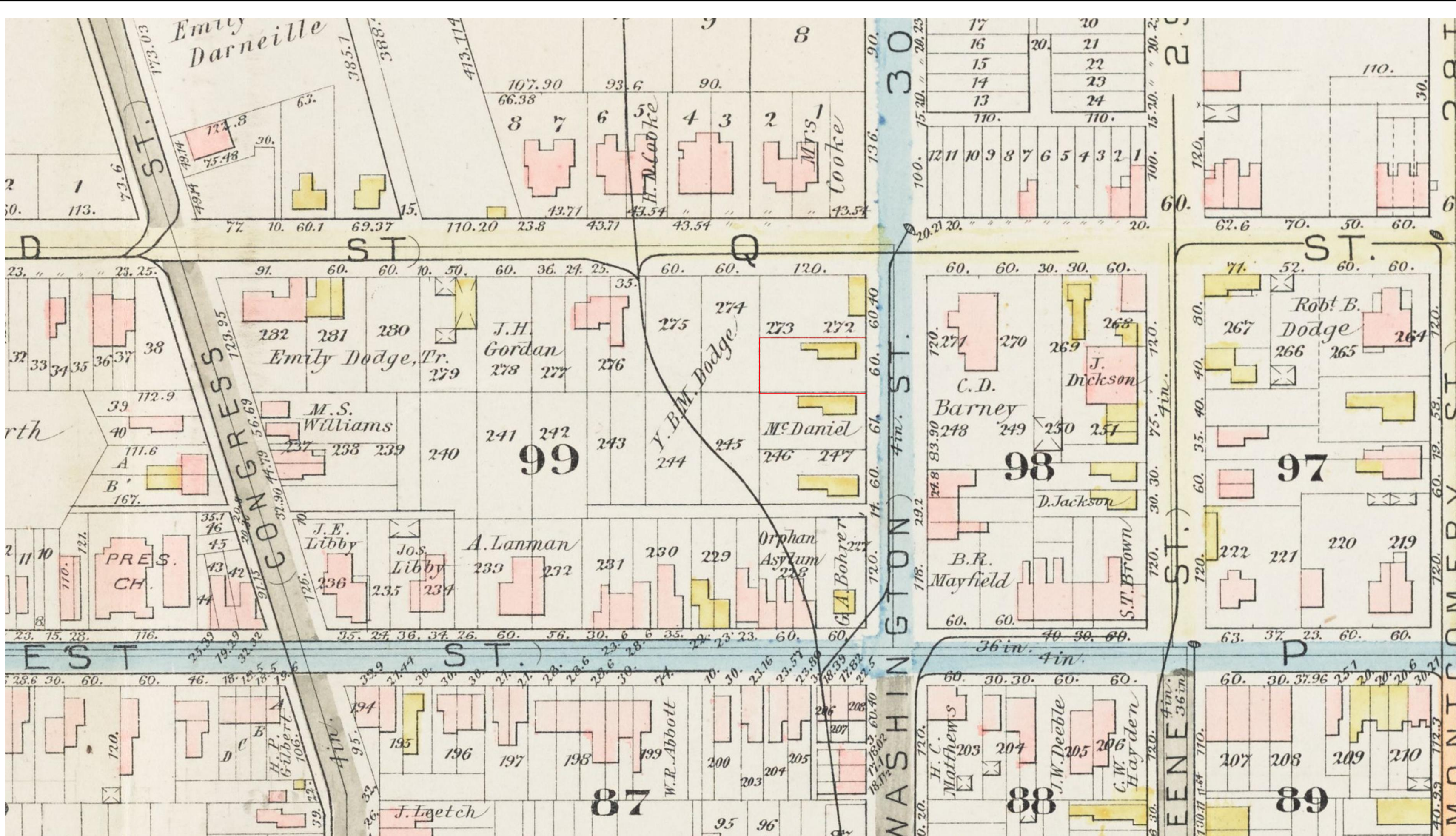
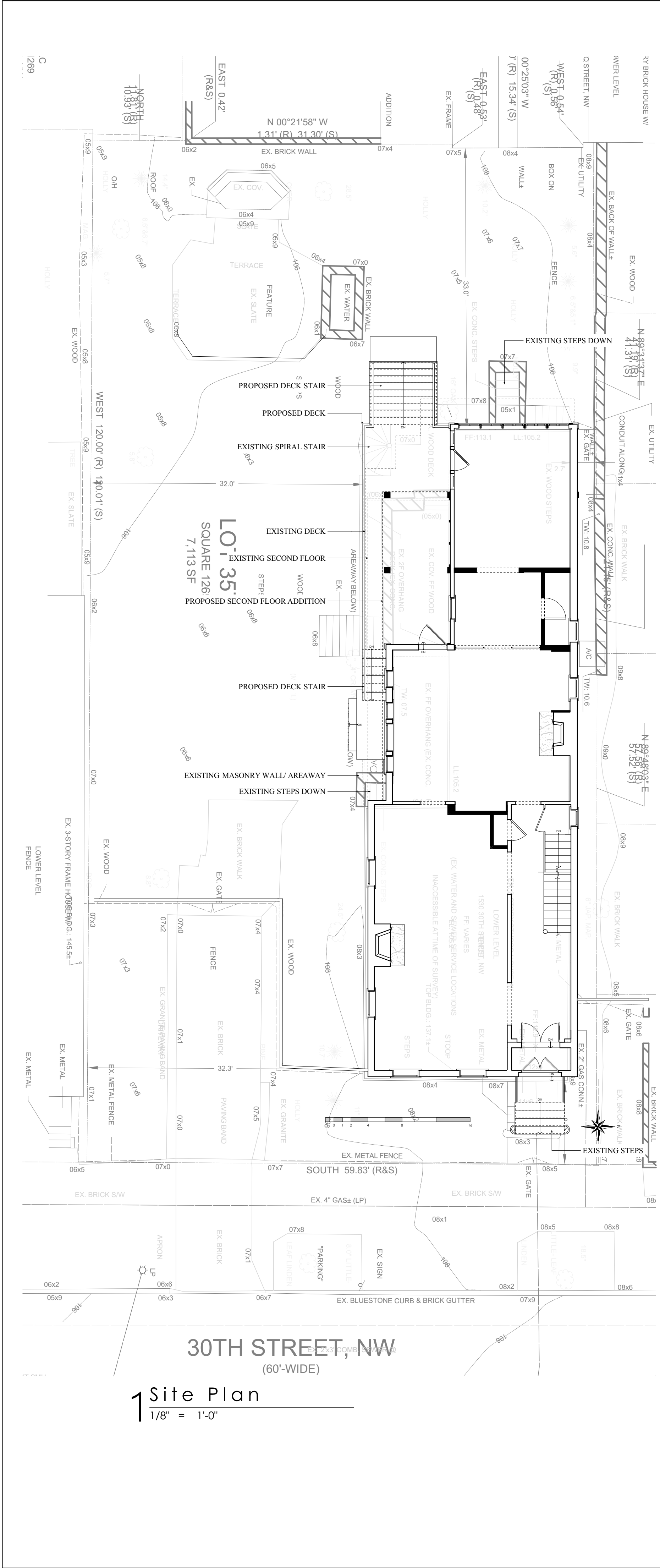
1530 30th Street NW  
Washington, DC 20007

Printed: 6/23/2022

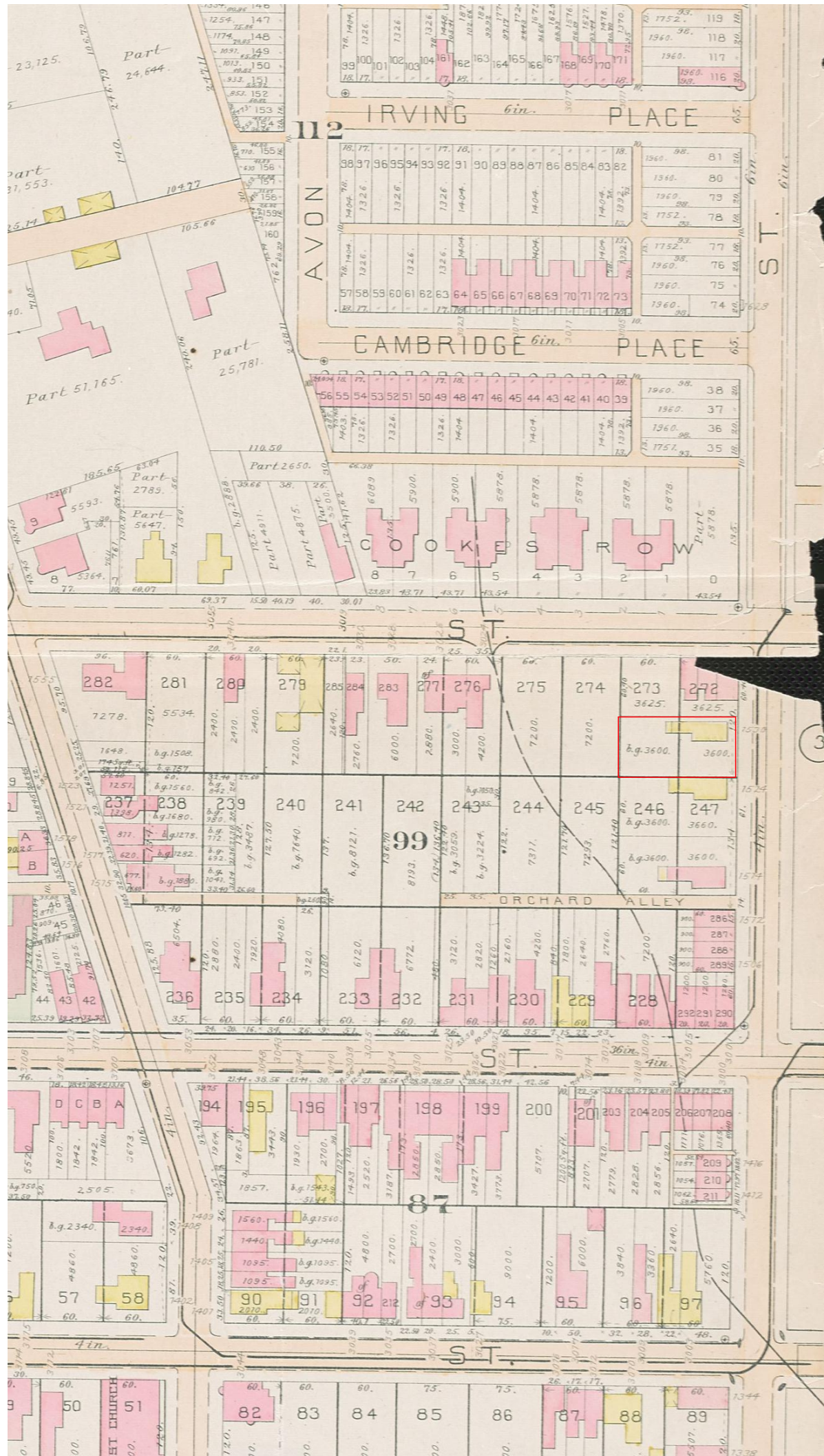








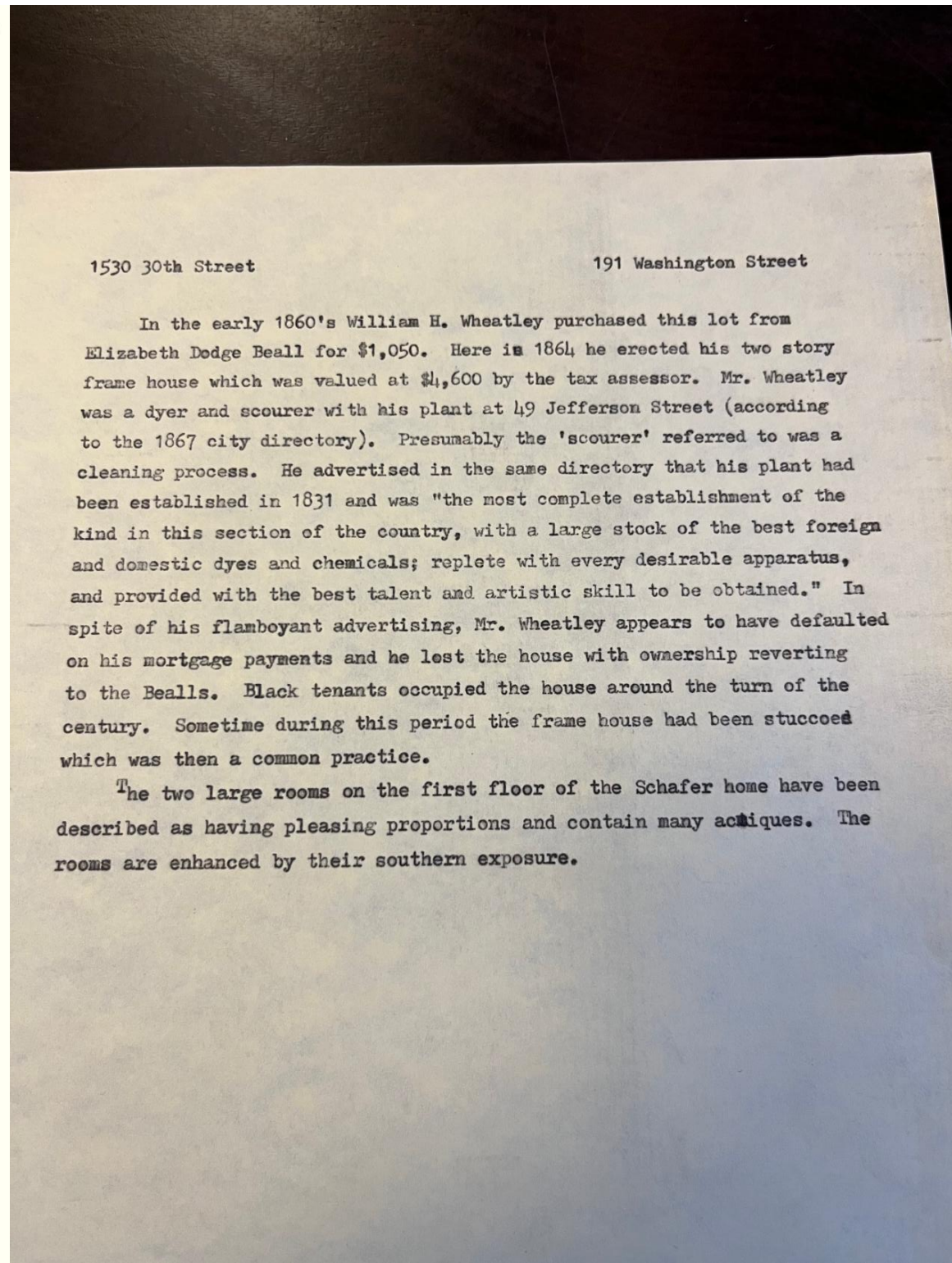
A complete set of surveys and plats of properties in the city of Washington, District of Columbia, 1887 - Plate 39



Real estate plat-book of Washington, District of Columbia, volume 3, 1894 - Plate 4



Sanborn Fire Insurance Map from Washington, District of Columbia, Sanborn Map Company, 1903 - 1916 Vol. 1, 1903



Property History, Public Library Research

THOMSON & COOKE ARCHITECTS

30th St Residence  
1530 30th Street NW Washington, DC 20007

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202.686.6583  
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Site Plans

2022/03/02	Existing Conditions
2022/06/23	OGB Concept

0002





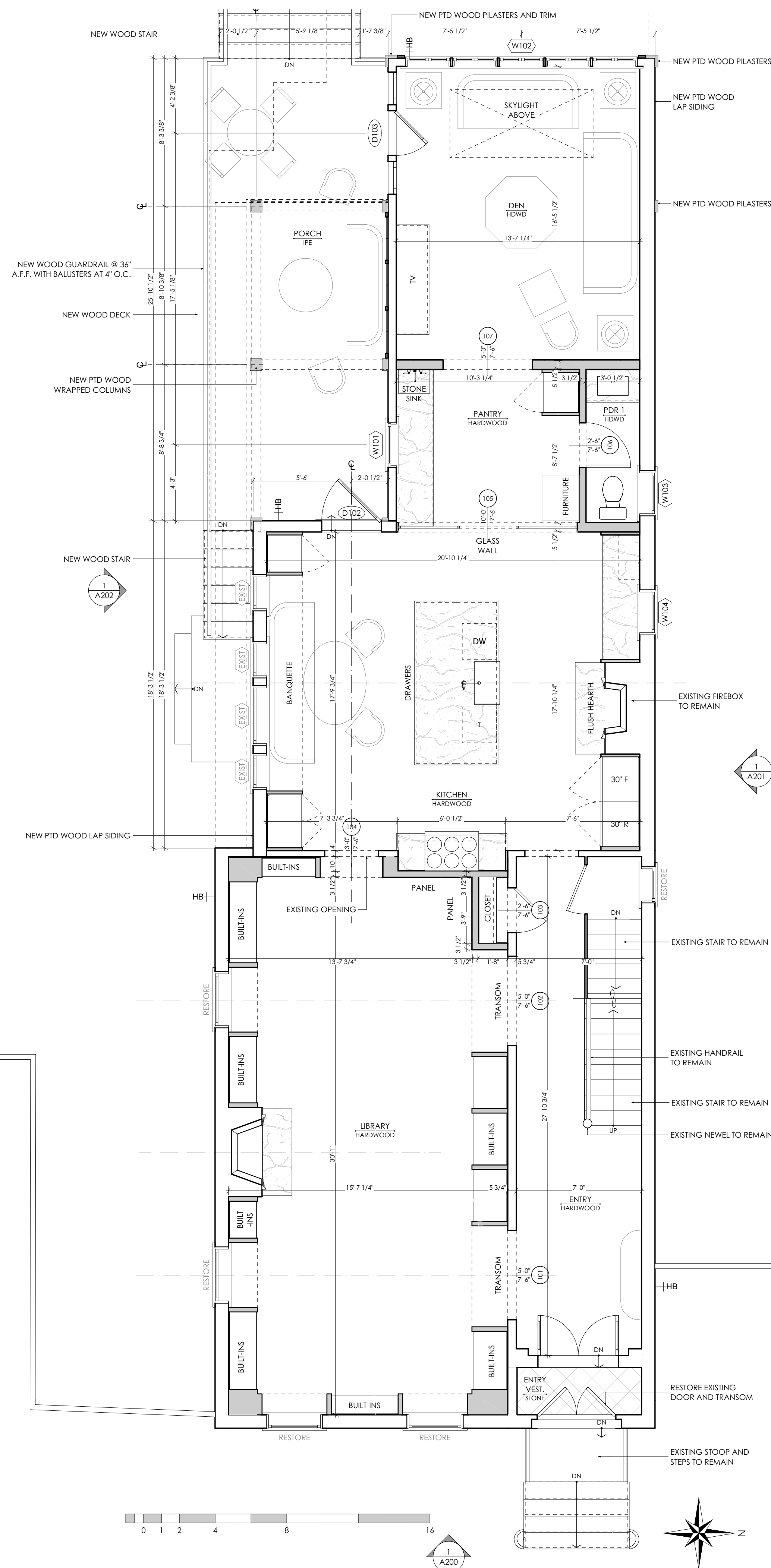
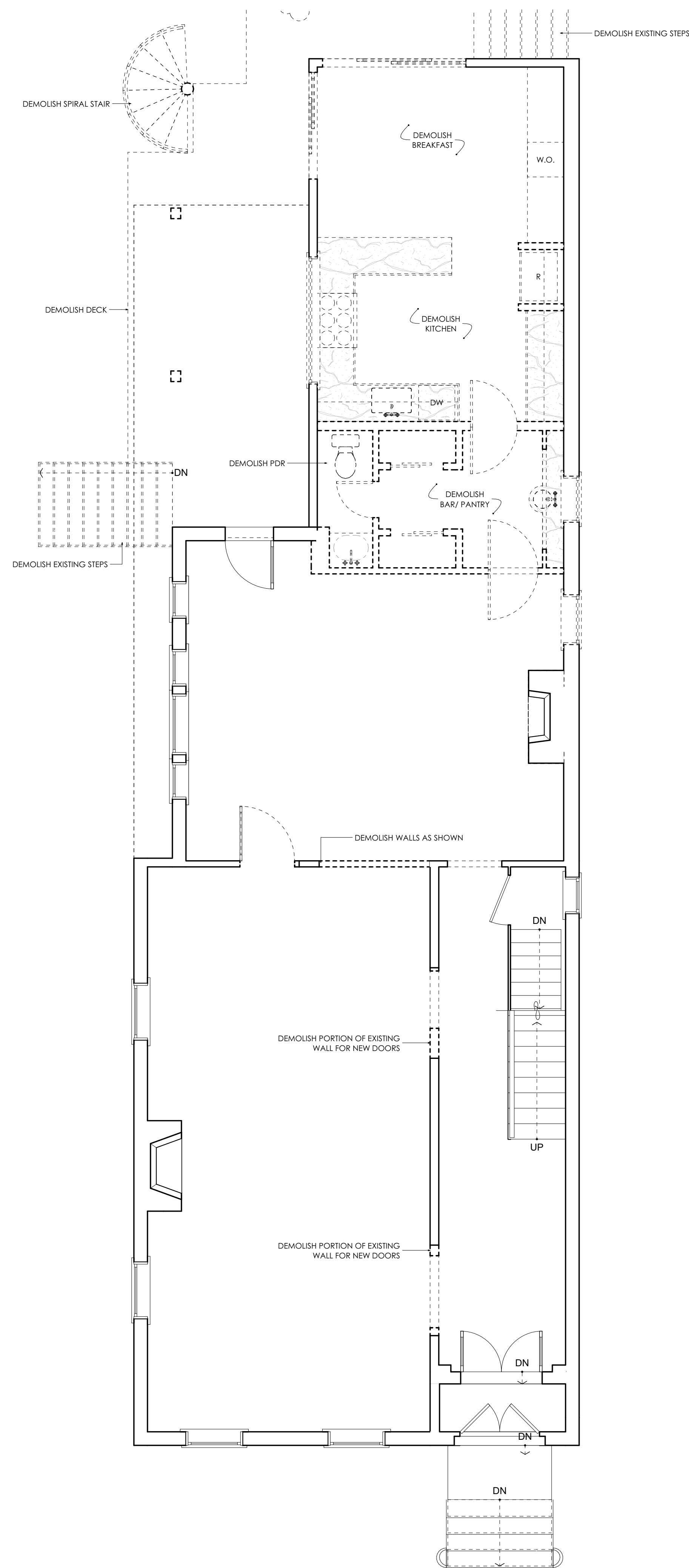






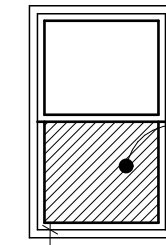






note: \*

ALL BEDROOM (I.E. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (IRC 2015, 310). THIS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT WITH A CLEAR HEIGHT OF 24 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (IRC 2015, 310)



## WINDOW DETAIL

GENERAL NOTES:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING OR MASONRY.
2. VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
3. ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO DEDICATED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP
4. PROVIDE CARBON MONOXIDE ALARMS PER R315.1
5. ALL STAIR HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311.1 AND R312 OF THE 2015 IRC.
6. SEE FRAMING PLANS FOR COORDINATION OF POST REQUIREMENTS.
7. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 1/2" OR 5/8" ANGLES ARE 10 AND OR 45 UNLESS NOTED OTHERWISE.
8. REFER TO EXTERIOR ELEVATIONS & DOOR/ WINDOW SCHEDULE FOR WINDOW HEAD HEIGHTS.
9. ALL DOOR DIMENSIONS GIVEN IN FEET AND INCHES.
10. ALL INTERIOR DOORS & CASED OPENINGS THAT ARE NOT DIMENSIONED TO CENTER LINE SHALL BE CENTERED IN THE WALL OR HEAD MIN. DISTANCE FROM CORNER FOR COMPLETE CASING, U.N.O.

### WALL TYPES

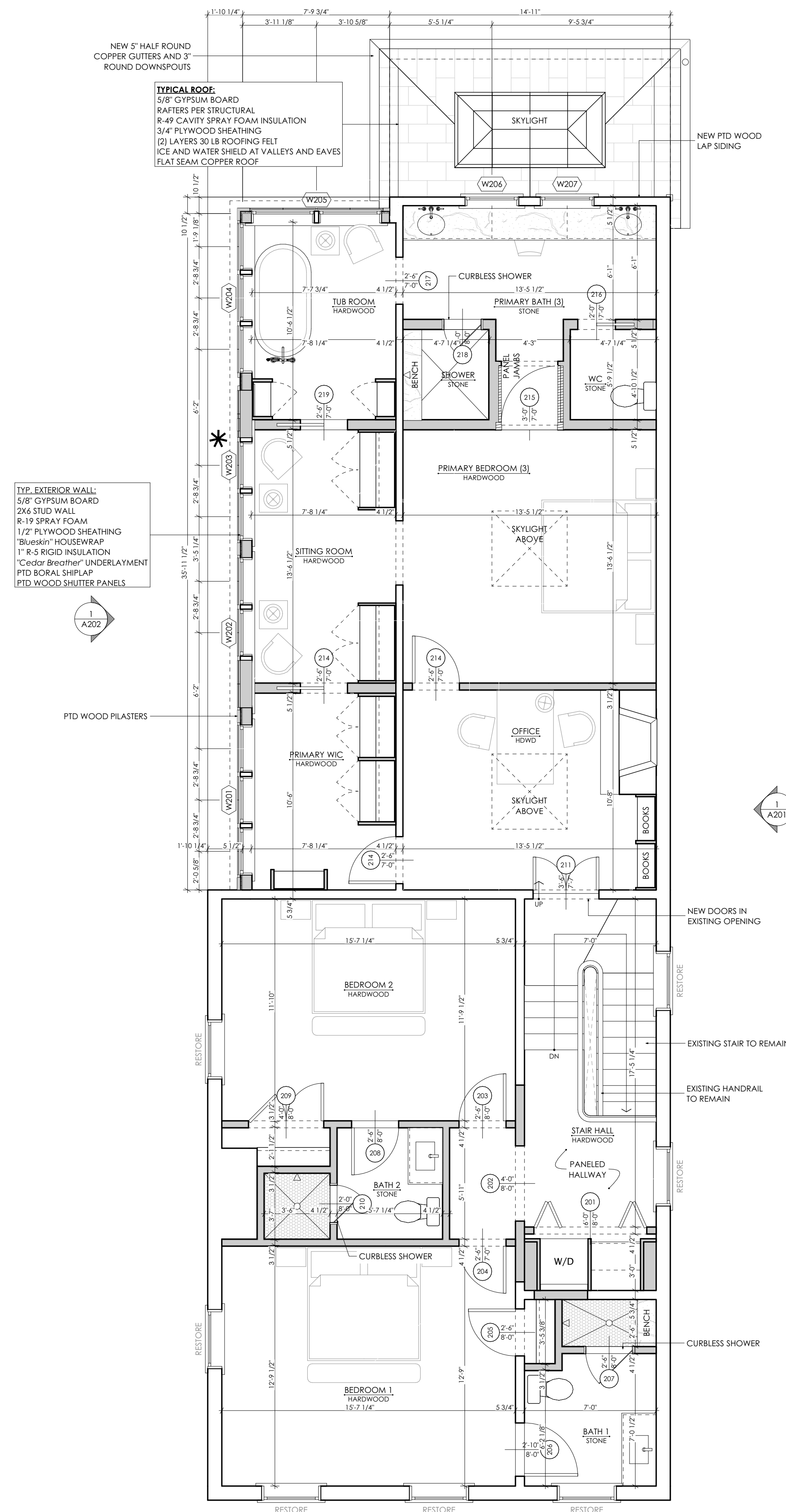
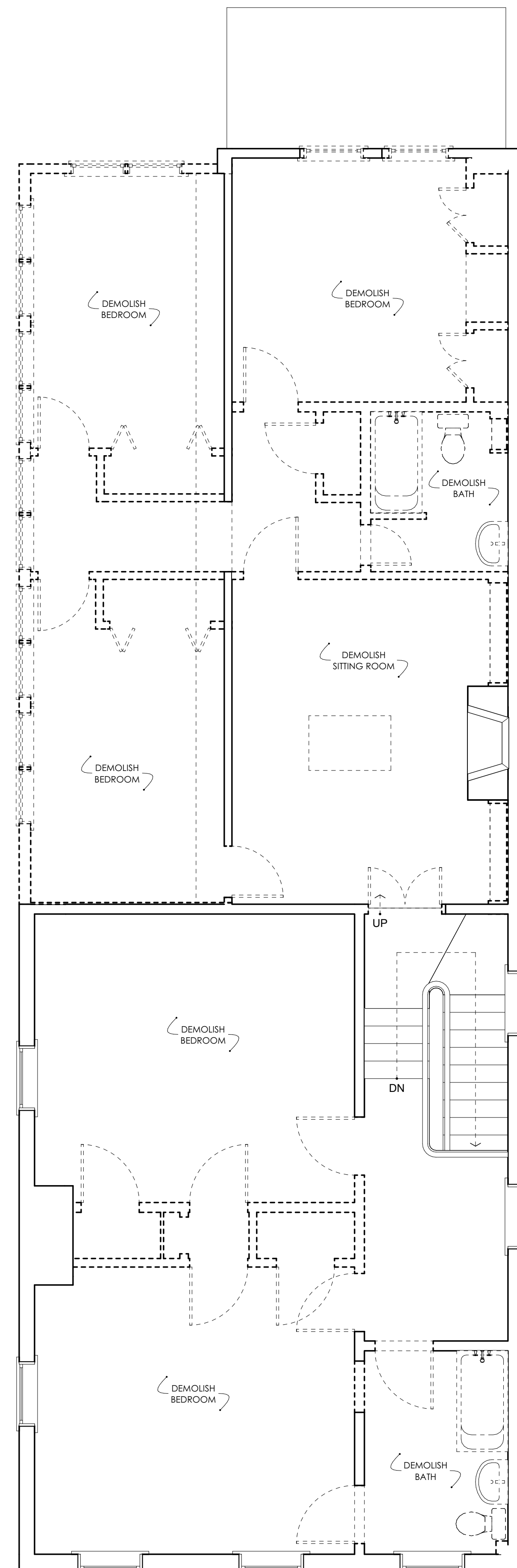
TYPICAL EXTERIOR WALL: 5/8" GYPSUM BOARD ON 2X6 STUD WALLS U.N.O. WITH R-19 CAVITY SPRAY FOAM INSULATION, 1/2" EXTERIOR SHEATHING, AND "Henry Blueskin SA" HOUSEWRAP. CONTINUOUS EXTERIOR 1" R-5 RIGID INSULATION AND "Benjamin Obdyke Cedar Breather" UNDERLAYMENT WITH PAINTED WOOD LAP SIDING OR WOOD PANELING - SEE ELEVATIONS.

TYPICAL INTERIOR WALL: 2X4 OR 2X6 STUDS 16" O.C. WITH 5/8" GYP BOARD EACH SIDE.


 DENOTES EXISTING WALLS

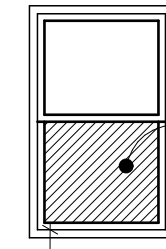
--- DENOTES WALLS TO BE DEMOLISHED

 DENOTES PROPOSED WALLS[illegible]



note: \*

ALL BEDROOM (I.E. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (IRC 2015, 310). THIS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT WITH A CLEAR HEIGHT OF 24 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (IRC 2015, 310)



## WINDOW DETAIL

GENERAL NOTES:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING OR MASONRY.
2. VERIFY ALL EXTERIOR RISER AND TRAIL DIMENSIONS IN THE FIELD.
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5. ALL STAIR HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE 2015 IRC.
6. SEE FRAMING PLANS FOR COORDINATION OF POST REQUIREMENTS.
7. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" X 4" ANGLES ARE 90 AND OR 45 UNLESS NOTED OTHERWISE
8. REFER TO EXTERIOR ELEVATIONS & DOOR/ WINDOW SCHEDULE FOR WINDOW HEAD HEIGHTS.
9. ALL DOOR DIMENSIONS GIVEN IN FEET AND INCHES.
10. ALL INTERIOR DOORS & CASED OPENINGS THAT ARE NOT DIMENSIONED TO CENTER LINE SHALL BE CENTERED IN THE WALL OR HELD MIN. DISTANCE FROM CORNER FOR COMPLETE CASING. U.T.O.

### WALL TYPES

TYPICAL EXTERIOR WALL: 5/8" GYPSUM SPRAY FOAM ON 2X6 STUD WALLS U.N.O. WITH R-19 CAVITY SPRAY FOAM INSULATION, 1/2" EXTERIOR SHEATHING, AND "Henry Blueskin SA" HOUSEWRAP. CONTINUOUS EXTERIOR 1" R-5 RIGID INSULATION AND "Benjamin Obdyke Cedar Breather" UNDERLAYMENT WITH PAINTED WOOD LAP SIDING OR WOOD PANELING - SEE ELEVATIONS.

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===== DENOTES EXISTING WALLS

----- DENOTES WALLS TO BE DEMOLISHED

 DENOTES PROPOSED WALLS

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## Second Floor Plans

[illegible]

A102

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TYPICAL CONSTRUCTION NOTES

1. TYPICAL ROOF

RAFTERS PER STRUCTURAL WITH R-49 CAVITY SPRAY FOAM INSULATION AND 5/8" GYPSUM BOARD, 3/4" PLYWOOD SHEATHING. (2) LAYERS OF 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS AND EAVES AND FLAT SEAM COPPER ROOF.

2. TYPICAL EXTERIOR WALL CONSTRUCTION

2X6 STUDS PER STRUCTURAL WITH R-19 CAVITY SPRAY FOAM INSULATION AND 5/8" GYPSUM BOARD, 3/4" PLYWOOD SHEATHING WITH "Henry Blueskin SA" HOUSEWRAP, 1" R-5 CONTINUOUS RIGID INSULATION, AND "Benjamin Obdyke Cedar Breather Ventilated Underlayment". PAINTED WOOD LAP SIDING OR TRIM PER ELEVATIONS

3A. TYPICAL FLOOR CONSTRUCTION

3/4" T&G PRE-FINISHED HARDWOOD FLOORS ON 3/4" T&G PLYWOOD SUBFLOOR ADVANTECH OR APPROVED EQUAL (GLUED AND NAILED) WOOD "T" JOIST WITH 1/2" GYP (SEE FRAMING PLANS FOR SIZE AND SPACING) R-21 @ PERIMETER BLOCKING AND R-49 AT CANTILEVERS/OVERHANGS.

3B. TYPICAL EXTERIOR DECK CONSTRUCTION

5/4 X 6 IPE ON P.T. LUMBER (SEE FRAMING PLANS FOR SIZE/SPACING).

4. TYPICAL FOUNDATION WALL

2X FLAT STUD FURRING UNDER 5/8" GYPSUM BOARD, R-15 CLOSED CELL SPRAY FOAM INSULATION OVER "Stego Wrap Class A Vapor Retarder (10-Mil)" TAPED TO TOP OF FOUNDATION WALL AND EXTENDED 24" MINIMUM HORIZONTALLY BELOW SLAB. FOUNDATION WALLS PER STRUCTURAL WITH BRICK VENEER ABOVE GRADE TO MATCH EXISTING AND EXTERIOR CEMENT WATERPROOFING.

5. TYP. SLAB ON GRADE CONSTRUCTION

4" CONCRETE SLAB PER STRUCTURAL ON 8 MIL POLY VAPOR BARRIER OVER 2" R-10 RIGID INSULATION AND 4" CRUSHED AGGREGATE ON UNDISTURBED SOIL. NEW INTERIOR DRAIN TILE THROUGHOUT.

6. TYP. INTERIOR WALL CONSTRUCTION

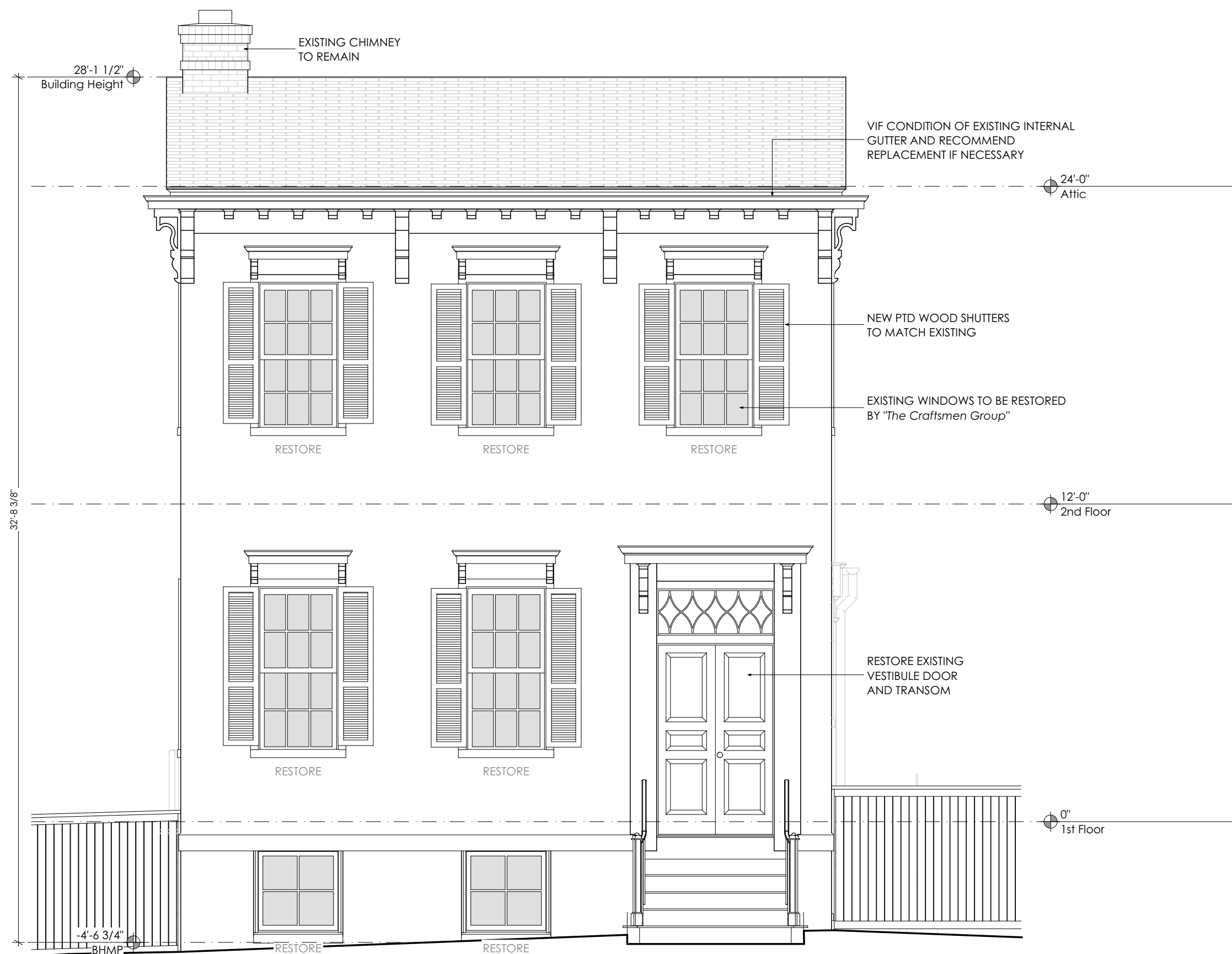
5/8" GYPSUM WALL BOARD ON 2X4 OR 2X6 STUDS (SEE PLANS) @ 16" O.C. (I/J.N.O) PRESSURE TREATED SILL AT BASEMENT. MOISTURE RESISTANT (GREEN BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.



3 Existing Front Elevation  
1/4" = 1'-0"

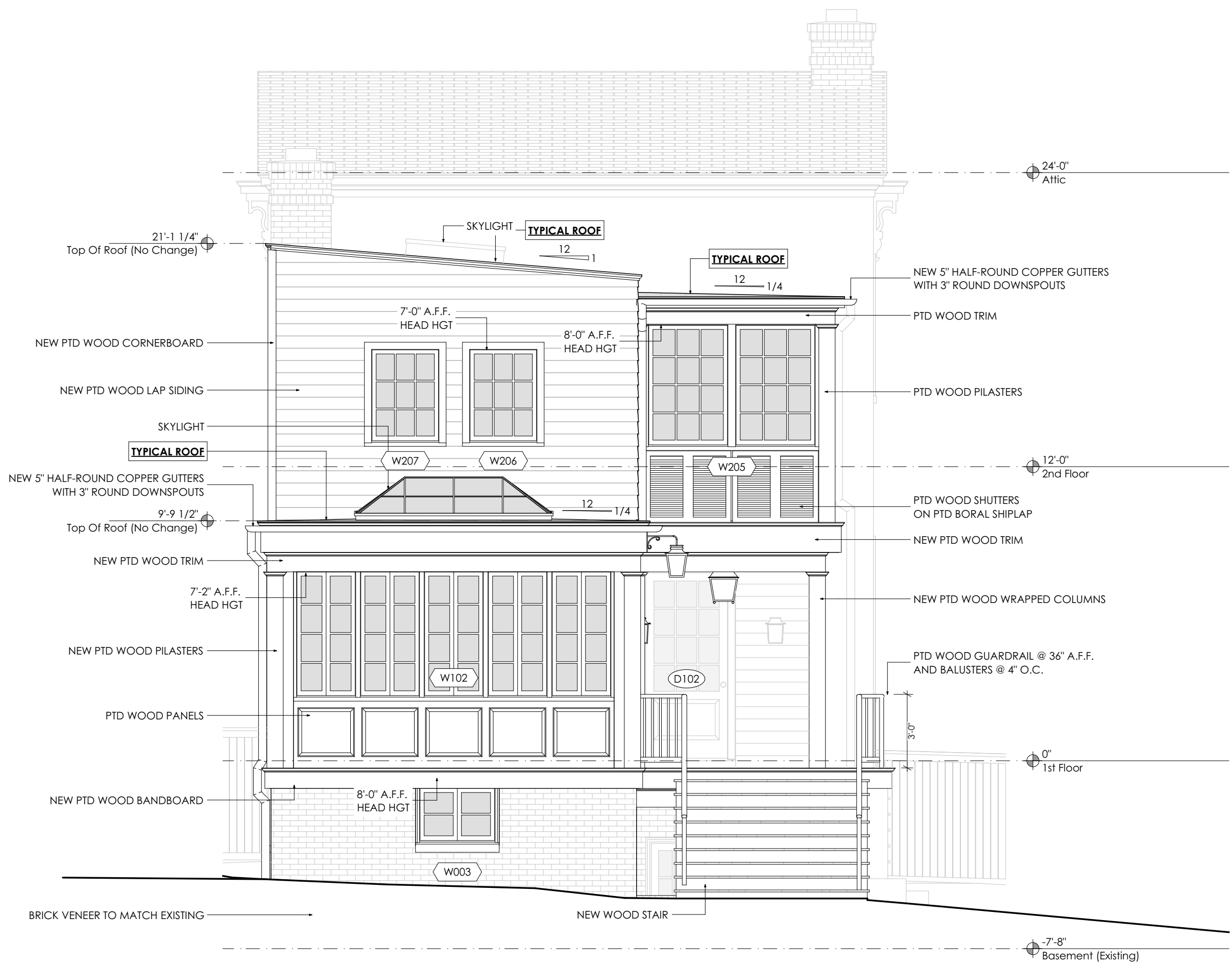


4 Existing Rear Elevation  
1/4" = 1'-0"



1 Proposed Front Elevation  
1/4" = 1'-0"

NOTE: NO CHANGE



2 Proposed Rear Elevation  
1/4" = 1'-0"

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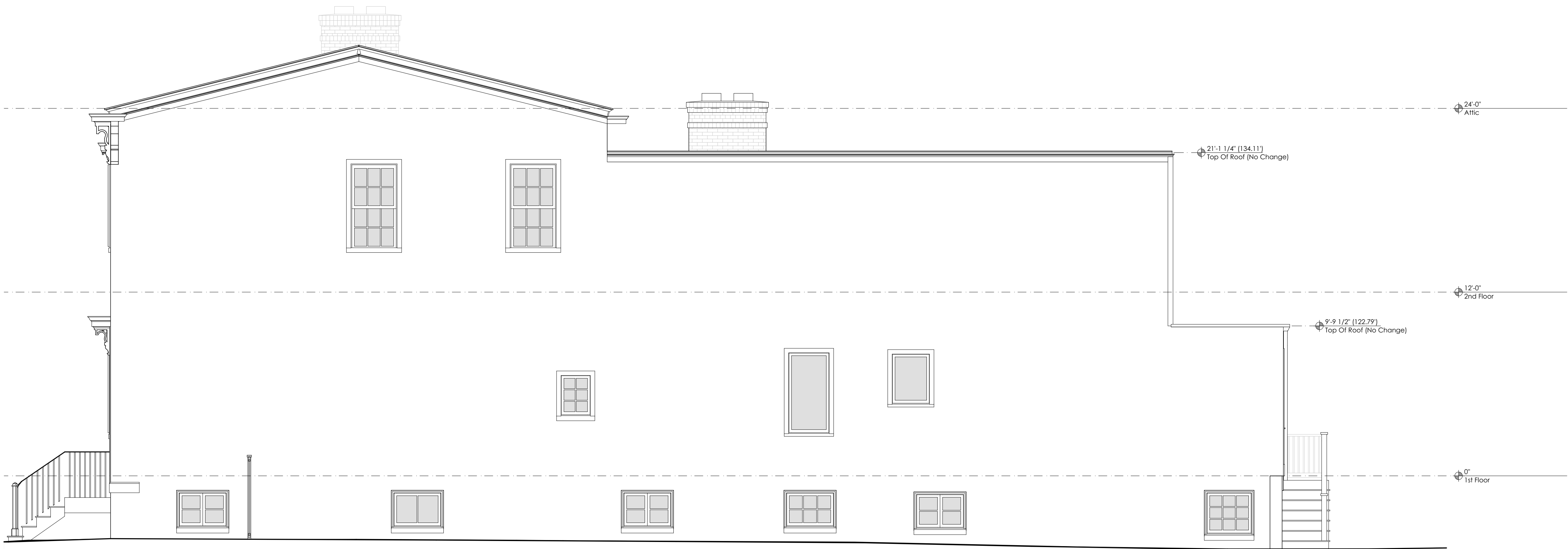
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Front & Rear  
Elevations

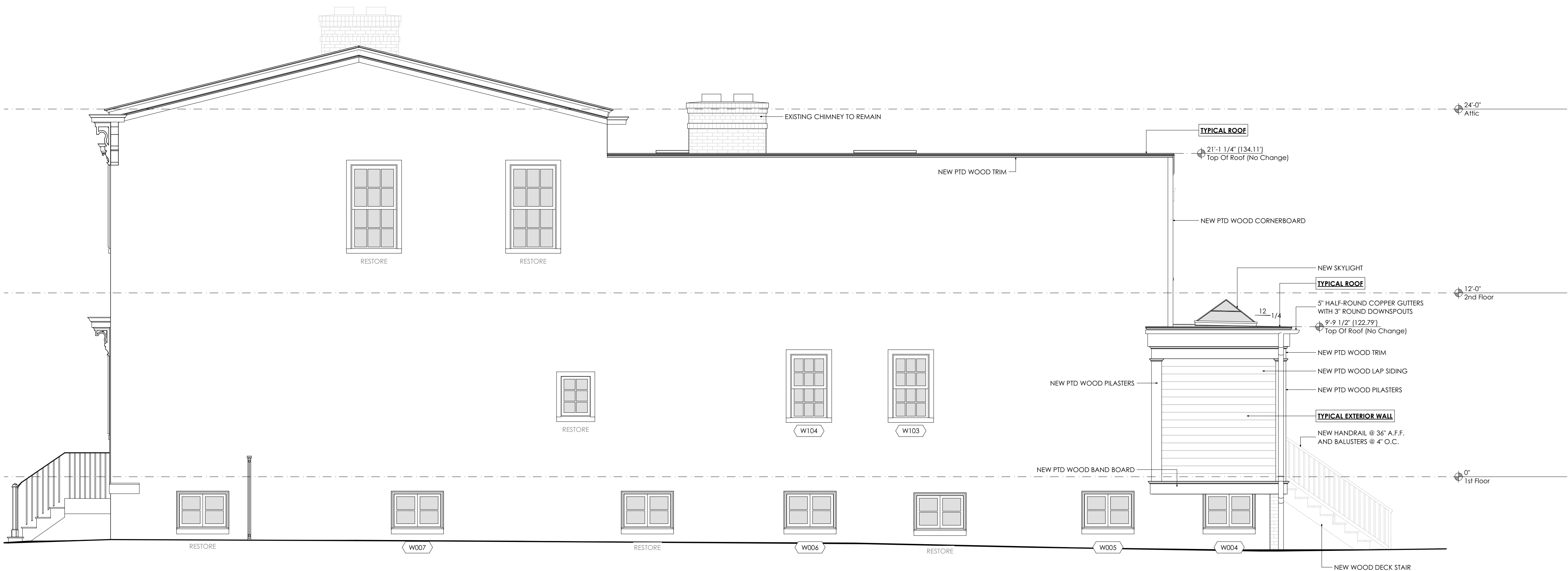
2022/03/02	Existing Conditions
2022/06/23	OGB Concept

A200





2 Existing North Elevation  
1/4" = 1'-0"



1 Proposed North Elevation  
1/4" = 1'-0"

TYPICAL CONSTRUCTION NOTES

1. TYPICAL ROOF

RAFTERS PER STRUCTURAL WITH R-49 CAVITY SPRAY FOAM INSULATION AND 5/8" GYPSUM BOARD, 3/4" PLYWOOD SHEATHING. (2) LAYERS OF 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS AND EAVES AND FLAT SEAM COPPER ROOF.

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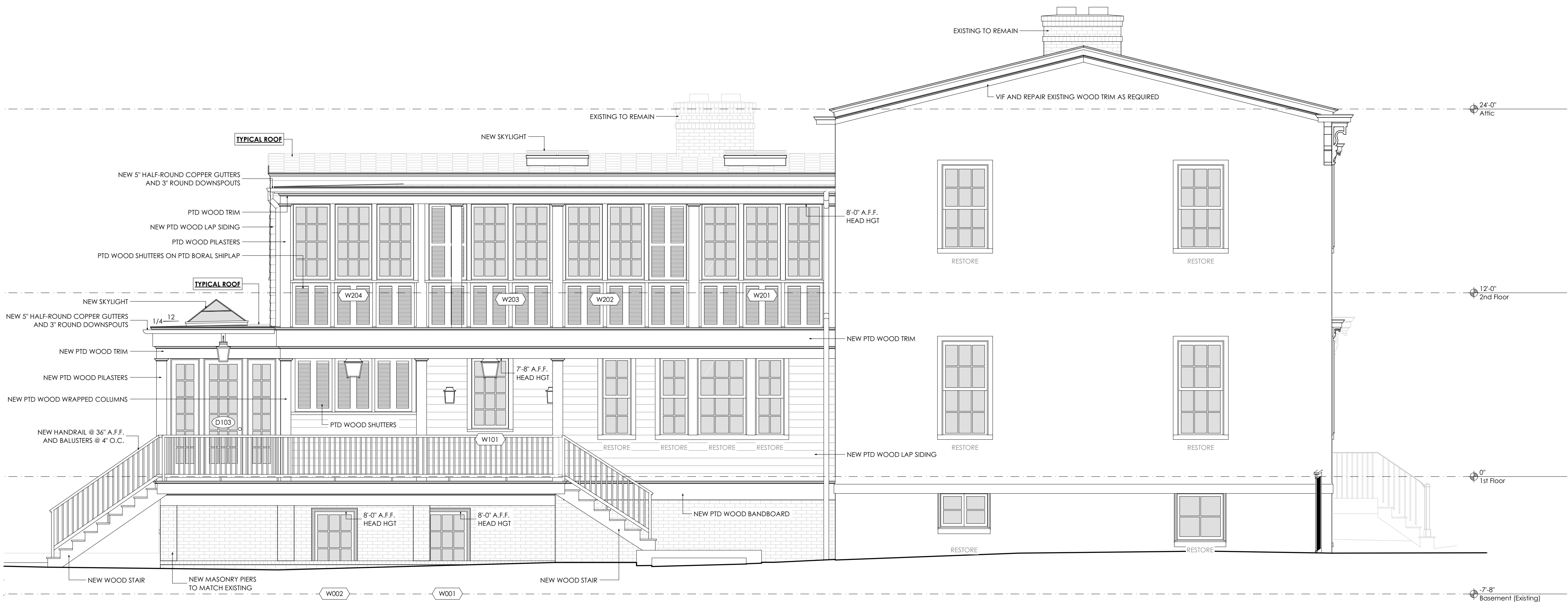
North  
Elevations

2022/03/02	Existing Conditions
2022/06/23	OGB Concept

A201



2 Existing South Elevation  
1/4" = 1'-0"



1 Proposed South Elevation  
1/4" = 1'-0"

TYPICAL CONSTRUCTION NOTES

1. TYPICAL ROOF

RAFTERS PER STRUCTURAL WITH R-49 CAVITY SPRAY FOAM INSULATION AND 5/8" GYPSUM BOARD, 3/4" PLYWOOD SHEATHING, (2) LAYERS OF 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS AND EAVES AND FLAT SEAM COPPER ROOF.

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South Elevations

2022/03/02	Existing Conditions
2022/06/23	OG8 Concept

A202