

Nike By M Street

Old Georgetown Board Project Concept Review

3235 M Street NW Washington, D.C. 20007

Revised: 6/23/2022

MBH Architects

960 Atlantic Ave Alameda, CA 94501 510 865 8663 mbharch.com
Jesus Malagon, Project Manager 646 933 1371 jesusm@mbharch.com



Map & Satellite View of Project Location



Map of Project Location



Satellite View of Project Location

Nike By M Street
 3235 M Street NW Washington, D.C. 20007

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Existing Site Reference Photos



M Street looking West



Exterior Facade, looking West



Exterior Facade



Neighbors Looking East



Facade Looking East



Retail Entrance, Detail

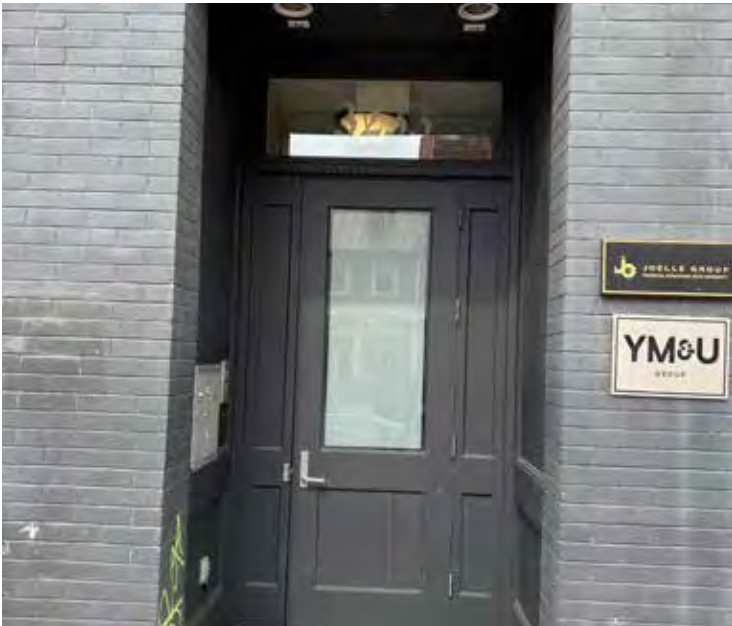


Office Entrance, Detail



Facade at Night

Existing Site Reference Photos



Office Entrance



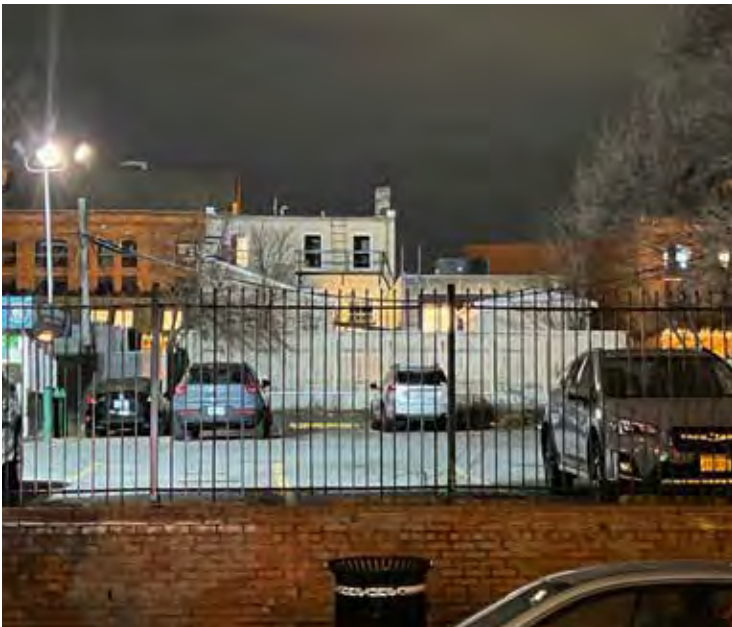
Resident Entrance, Lighting



Retail Main Entrance



Retail Main Entrance, Door Detail



Courtyard, Rear of Building



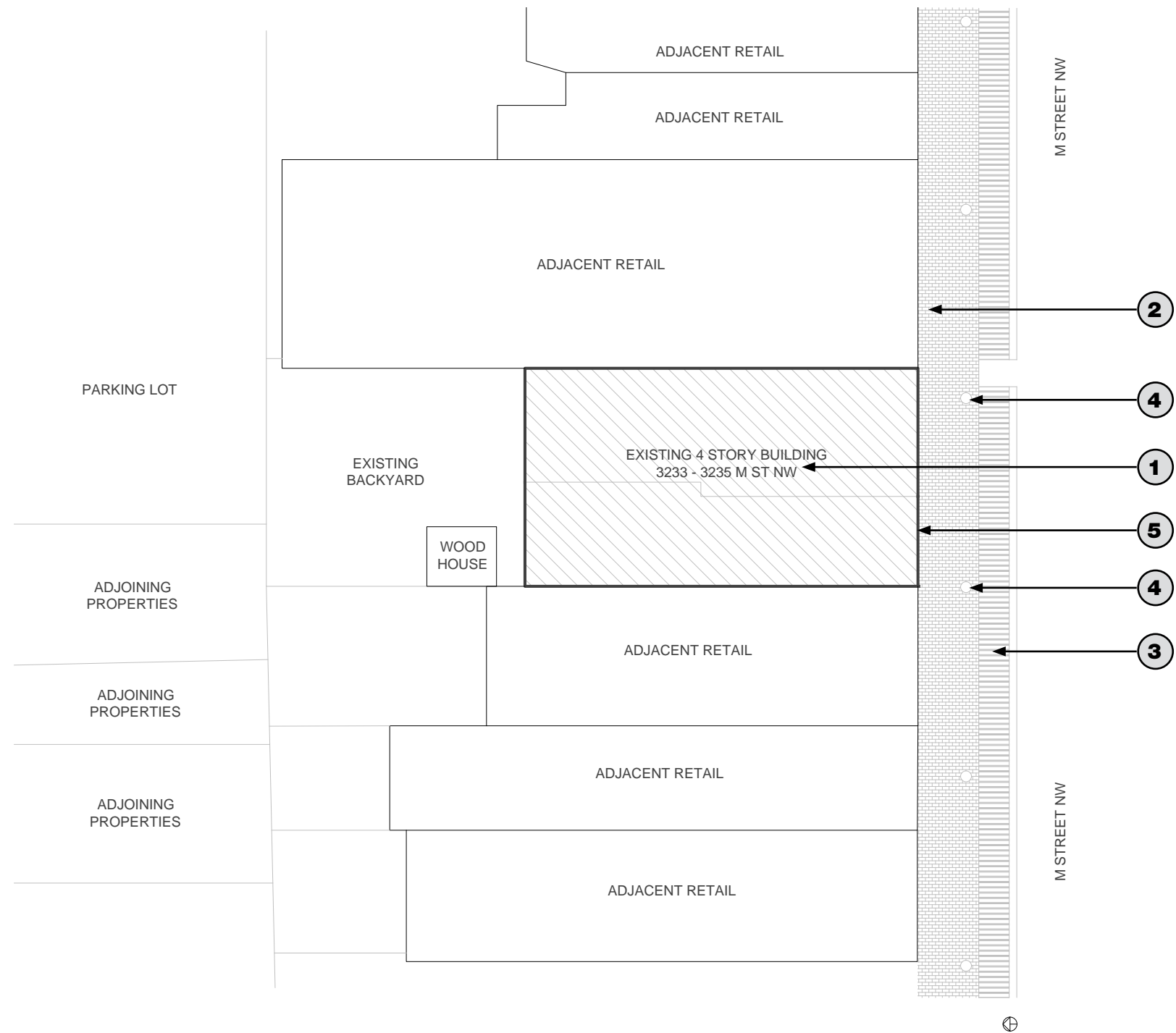
Courtyard, Back Fencing



Retail Main Entrance, Interior Signage

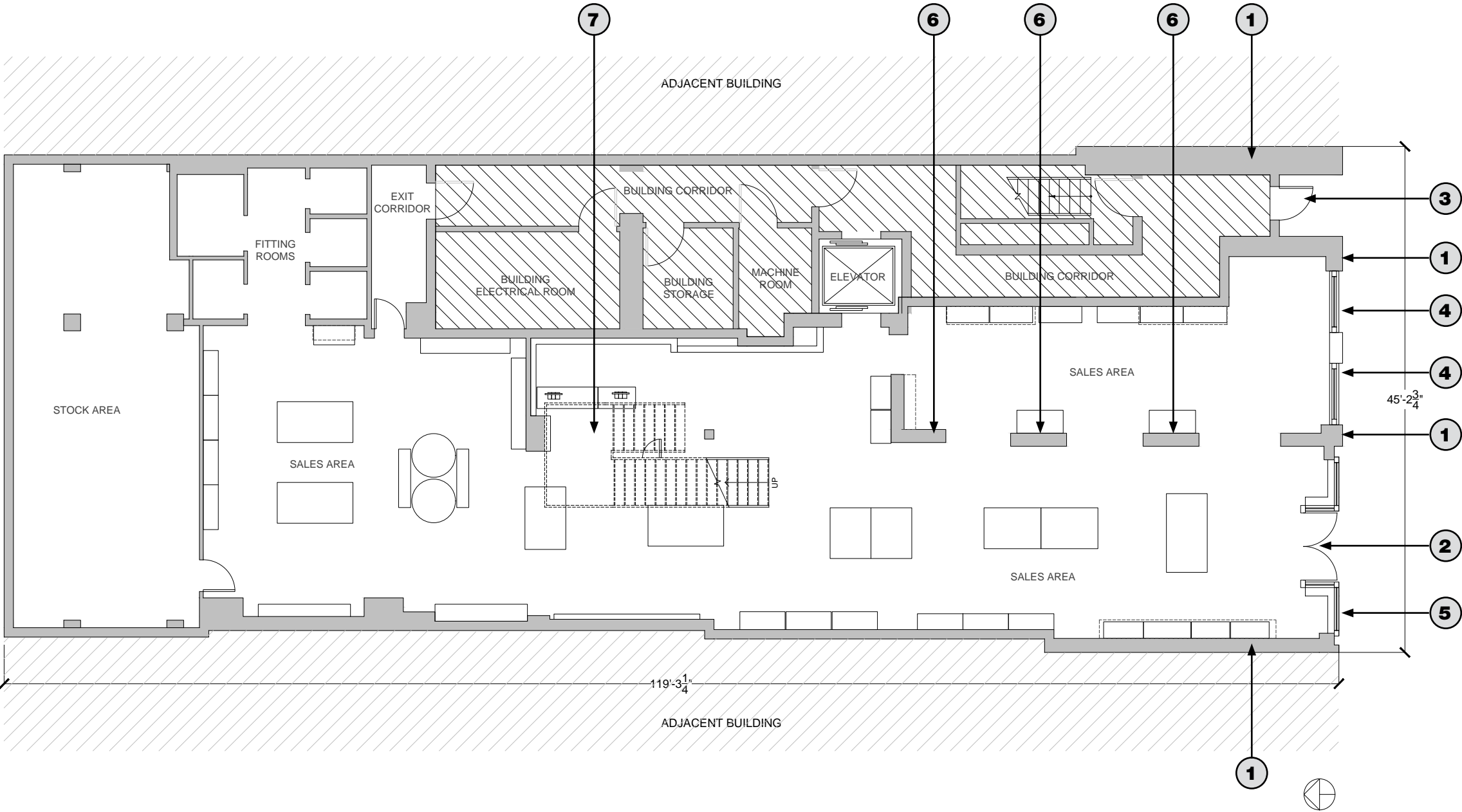


Street View, Looking East

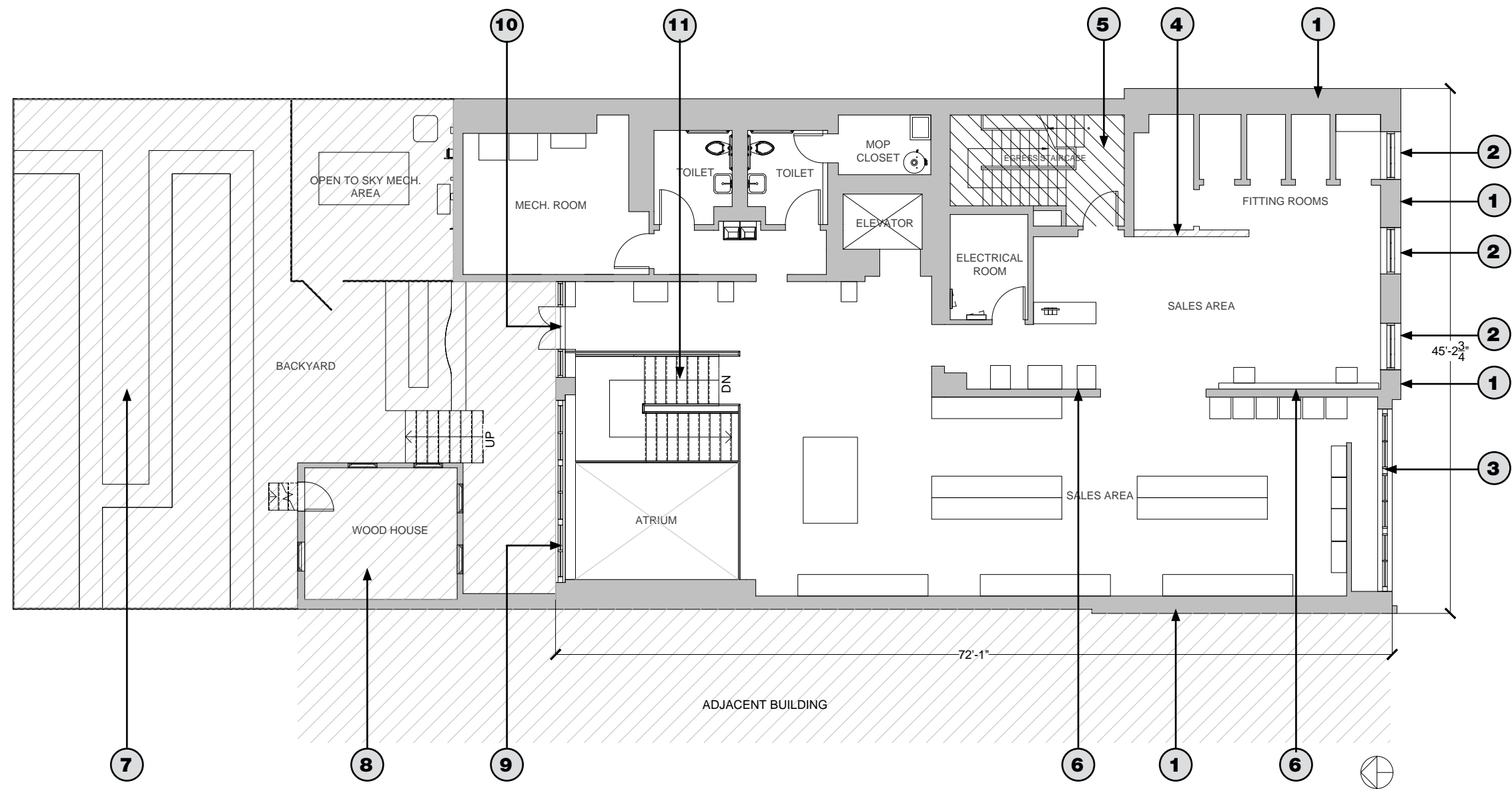


Key Notes

- 1 Existing Tenant Space
- 2 Public Sidewalk With Brick Pavers
- 3 Temporary Wooden Planks and Concrete Curb
- 4 Light Poles
- 5 Entrance to the Space



- Key Notes**
- ① Existing Masonry Walls
 - ② Recessed Retail Entrance
 - ③ Recessed Office Entrance
 - ④ Existing Windows
 - ⑤ Existing Storefront System
 - ⑥ Structural Masonry Walls
 - ⑦ Existing Interior Staircase



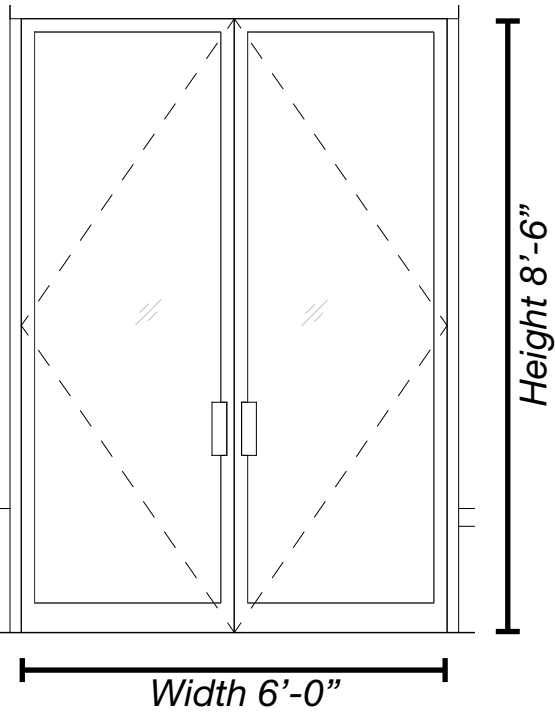
Key Notes

- ① Existing Masonry Walls
- ② Existing Windows
- ③ Existing Storefront System
- ④ Existing Wall to Be Removed
- ⑤ Egress Staircase
- ⑥ Structural Masonry Walls
- ⑦ Paved Backyard Area (Not in Scope)
- ⑧ Historic Wood House (Not in Scope)
- ⑨ Rear Storefront Glazing System
- ⑩ Access Door to Backyard
- ⑪ Existing Interior Staircase



Key Notes

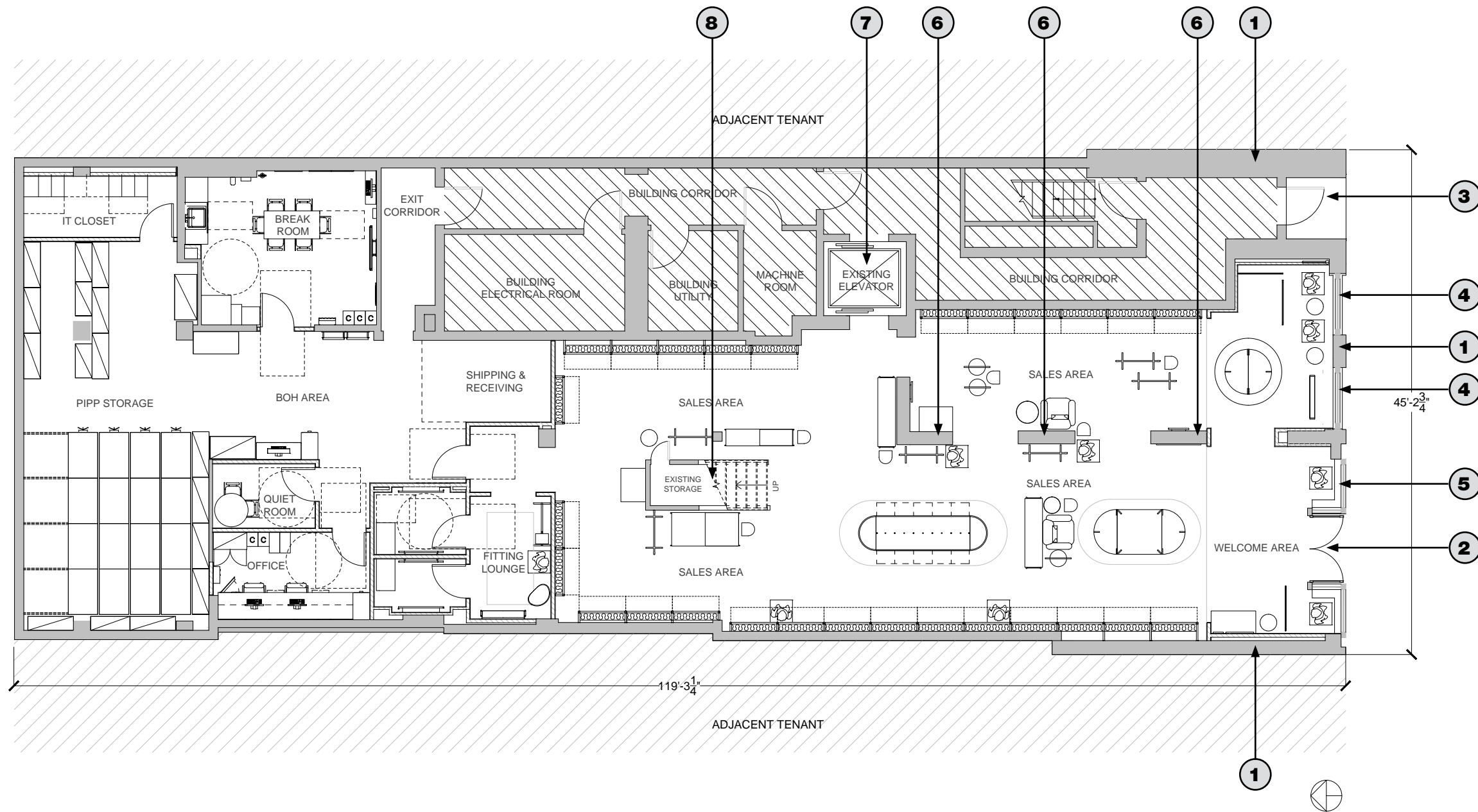
- 1 Existing Masonry Wall
- 2 Existing Windows
- 3 Existing Storefront System
- 4 Recessed Retail Entrance
- 5 Recessed Office Entrance
- 6 Existing Tenant's Signage Behind the Glazing
- 7 Office Windows (Not in Scope)
- 8 Parapet Coping with Paint Finish
- 9 Concrete Sill
- 10 Concrete Header



EXISTING DOOR ELEVATION

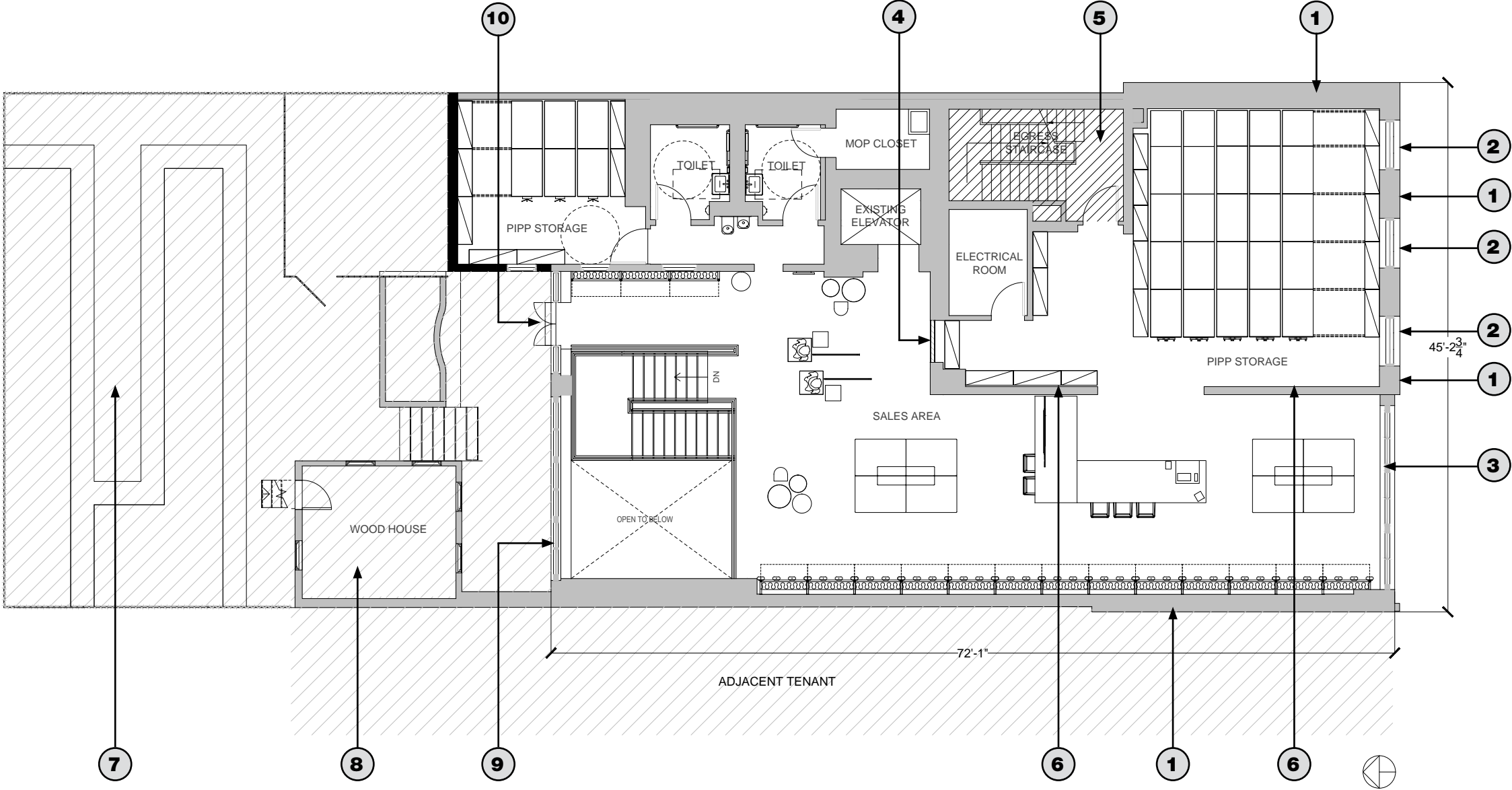
NOTE: New Door size to match existing doors. Please see page 14.

Architectural Drawings: Proposed Floor Plans - Floor 1



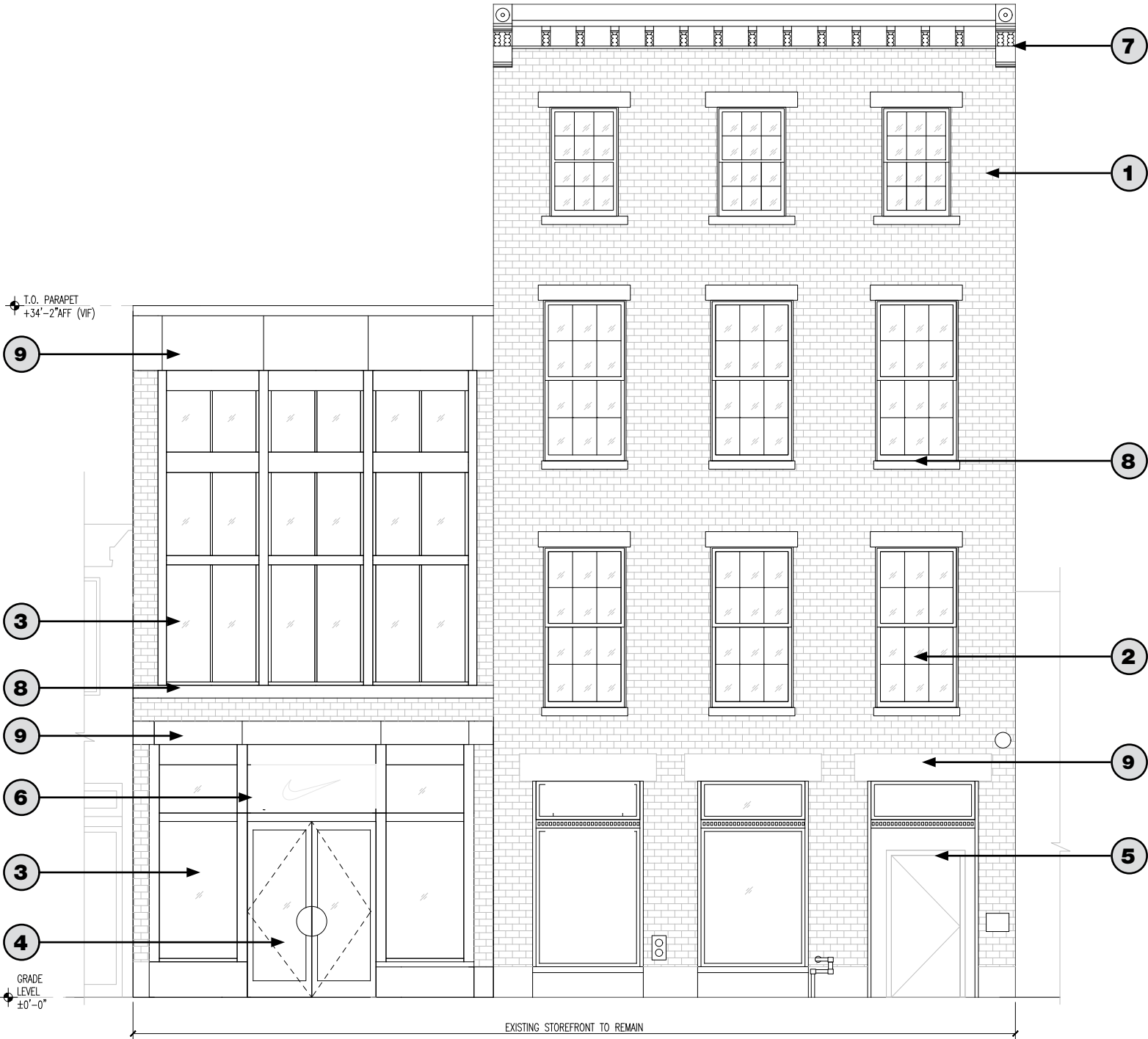
Key Notes

- ① Existing Masonry Walls to Remain.
- ② Existing Recessed Retail Entrance Location to Remain. Doors to be Replaced With New Doors in the existing location. See Detail on Page 14
- ③ Existing Office Doors to Remain (Not in Scope)
- ④ Existing Windows to Remain
- ⑤ Existing Storefront System to Remain
- ⑥ Existing Structural Masonry Walls to Remain
- ⑦ Existing Elevator to Remain
- ⑧ Existing Internal Staircase to Remain



Key Notes

- ① Existing Masonry Walls to Remain.
- ② Existing Windows to Remain
- ③ Existing Storefront System to Remain
- ④ New Wall Infill
- ⑤ Egress Staircase to Remain
- ⑥ Structural Masonry Walls to Remain
- ⑦ Paved Backyard Area to Remain (Not in Scope)
- ⑧ Historic Wood House to Remain (Not in Scope)
- ⑨ Rear Storefront Glazing System to Remain
- ⑩ Access Door to Backyard to Remain



Key Notes

- 1 Existing Masonry Wall to Remain. To be Painted with Benjamin Moore Graphite #1603
- 2 Existing Windows to Remain. Frames to be Painted to Match Facade
- 3 Existing Storefront System to Remain. Framing to be Painted to Match Facade
- 4 Existing Recessed Retail Entrance Location to Remain. Doors to be replaced with New Doors in Existing Location. See Detail on Page 14
- 5 Existing Recessed Office Entrance to Remain
- 6 Exterior Illuminated Solid Nike Swoosh Sign To Be Mounted on Solid Panel Replacing Glazing. See Page 15
- 7 Existing Parapet Coping to Remain. To be Painted to Match Facade.
- 8 Existing Concrete Sill to Remain. To be Painted to Match Facade
- 9 Existing Concrete Header to Remain. To be Painted to Match Facade



Key Notes

- ① Existing Masonry Wall to Remain. To be Painted with Benjamin Moore Graphite #1603
- ② Existing Windows to Remain. Frames to be Painted to Match Facade
- ③ Existing Storefront System to Remain. Framing to be Painted to Match Facade
- ④ Existing Recessed Retail Entrance Location to Remain. Doors to be replaced with New Doors in Existing Location. See Detail on Page 14
- ⑤ Recessed Office Entrance to Remain.
- ⑥ Exterior Illuminated Solid Nike Swoosh Sign To Be Mounted on Solid Panel Replacing Glazing. See Page 15
- ⑦ Interior Events Fixture With Changeable Letters To Be Recessed from Glazing minimum of 18". See Page 16
- ⑧ Existing Parapet Coping to Remain. To be Painted to Match Facade.
- ⑨ Existing Concrete Sill to Remain. To be Painted to Match Facade
- ⑩ Existing Concrete Header to Remain. To be Painted to Match Facade
- ⑪ Interior Die Cut Vinyl Graphics Applied to Glazing Second (Interior) Surface.

EXAMPLE:

NOTE: Figure is cut-out with no background to provide maximum visibility into the store.

Artwork bears no commercial relationship to Nike branding nor apparel and is hand-drawn by independent artist, Jordan Moss, curated to location.

See Specification Page 13.



Exterior Paint
Benjamin Moore Graphite, BM #1603



Interior Removable Vinyl
3M Graphic Film

Characteristics

These are typical values for unprocessed product. Processing may change the values.

Physical Characteristics

Characteristic	Value
Material	Vinyl
Film Color	White
Thickness	Without adhesive: 2 mils (0.05 mm) With adhesive: 3 to 4 mils (0.08 to 0.10 mm)
Adhesive	Pressure sensitive
Adhesive Color	Gray pigmented for excellent hiding power
Liner	Layflat polyethylene coated paper
Adhesion, Typical 24 hours after application	Adhesion depends on the substrate material texture and application technique. See Test Procedure.
Chemical Resistance	Resists mild alkalis, mild acids and salt. Excellent resistance to water (this does not include immersion)
Flammability	Call 1-800-328-3908 for information

Application Characteristics

Characteristic	Value
Finished Graphic Application Recommendation	Application surfaces: Moderately-textured surfaces such as concrete block, brick, industrial stucco and tile, as found on flat walls and/or simple curved architectural elements such as columns. See Instruction Bulletin 5.37 for details. Substrate temperature: 40 ° to 100 °F (4 ° to 38 °C)
Applied Shrinkage	0.015 inches (0.4 mm)
Graphic Removal	Varies with type of substrate; using heat enhances removal of film; may leave adhesive residue, may remove some surface paint or finish, may damage mortar

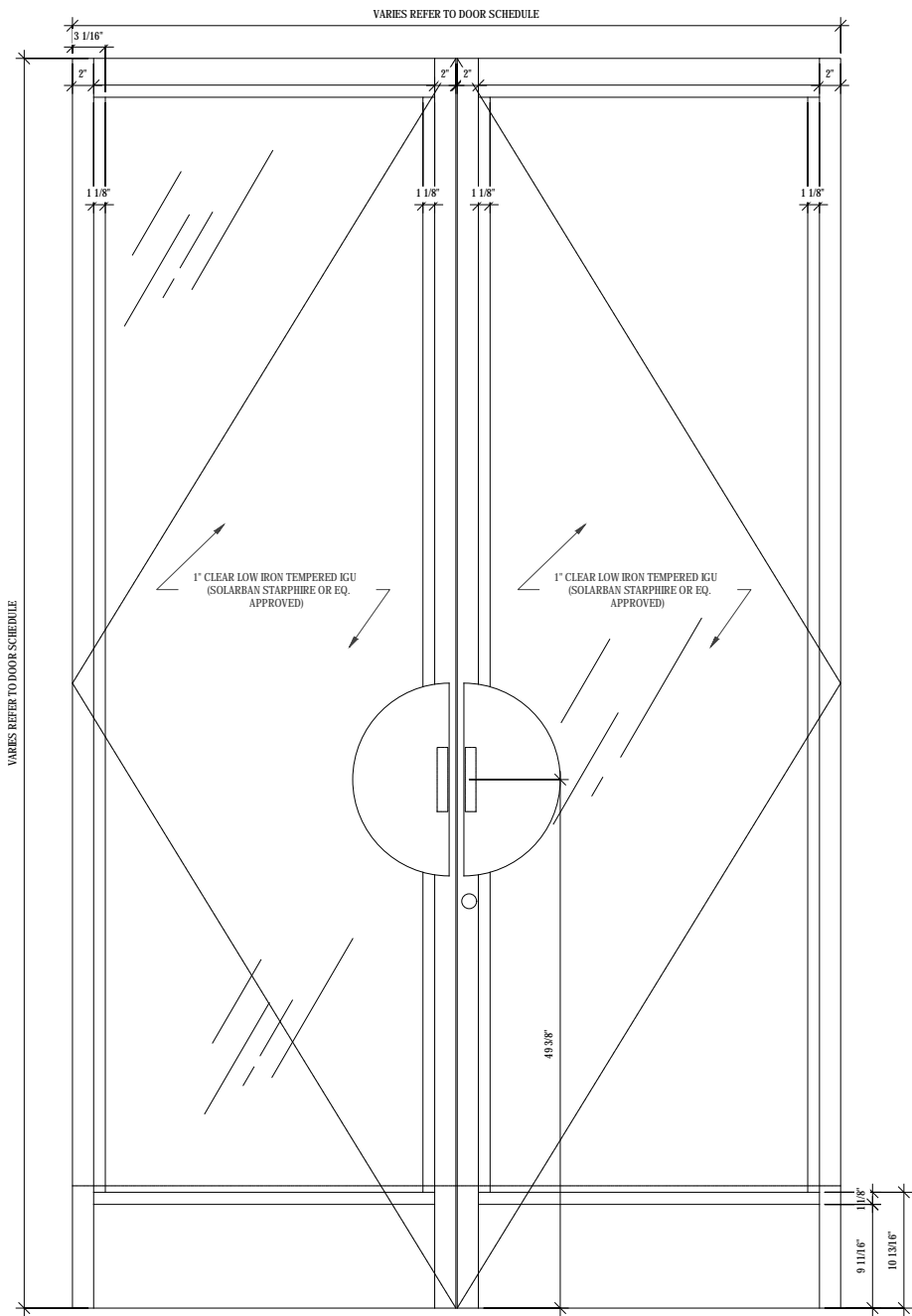
Interior Removable Vinyl
Example



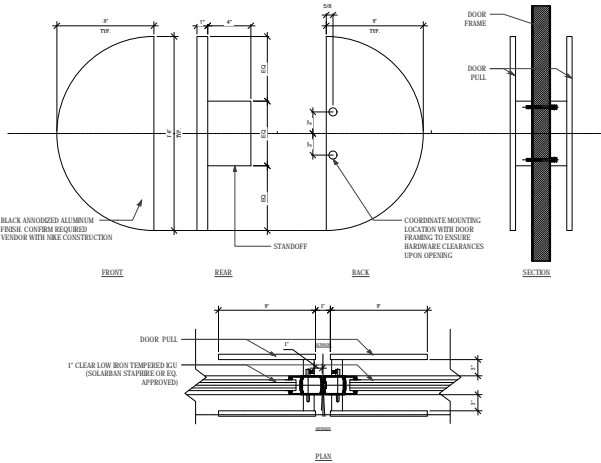
Figure is cut-out to provide maximum visibility into the store.

Artwork bears no commercial relationship to Nike branding nor apparel and is hand-drawn by independent artist, Jordan Moss, curated to location.
Note: The above example was drawn by a different artist.

Architectural Detail: New Nike Door



DOOR ELEVATION
NOTE: Doors size to match existing door. Please see page 8 for existing door dimensions.

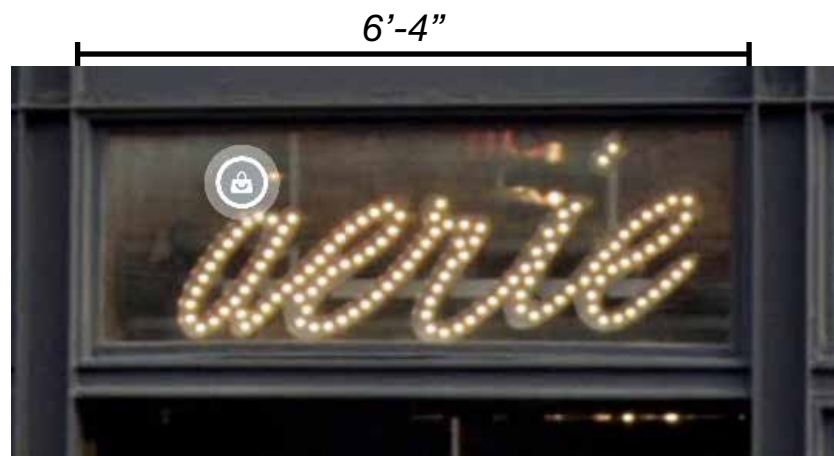
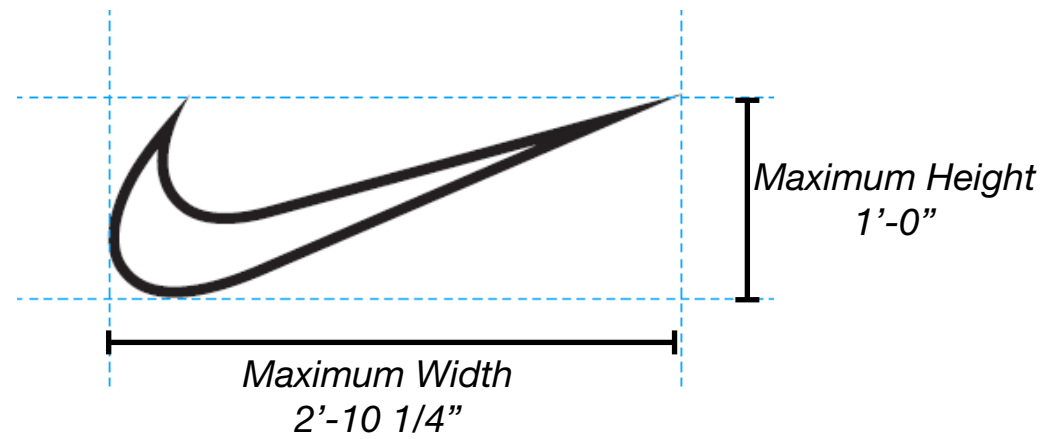


DOOR PULL DETAIL

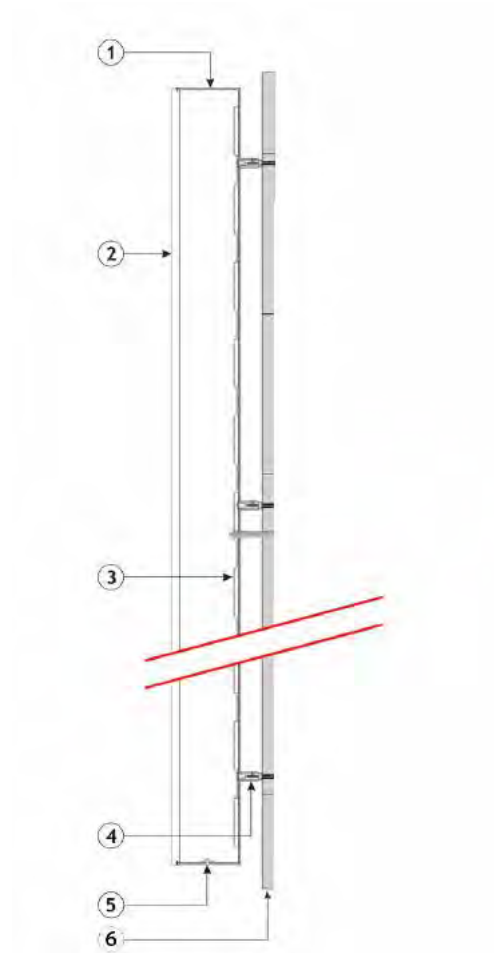


DOOR EXAMPLE
NOTE: Doors to remain in existing, recessed location.

Illuminated Exterior Swoosh Signage



EXISTING TENANT SIGNAGE



- 1 DEPTH OF ALUMINUM RETURNS TO MATCH SWOOSH STROKE SIZE. FINISH TO MATCH MATTE CNC GRAY, INSIDE LETTER SURFACES PAINTED GLOSS WHITE, ALUMINUM LETTER BACKS, FINISH TO MATCH RETURNS
- 2 SATIN ICE REVERSE PUSH THRU FACE SECURE TO RETURNS WITH SCREWS
- 3 BITRO LITE 6500K WHITE LED UNITS
- 4 LETTERS MOUNT TO SURFACE WITH 1" SET SCREW SPACERS PAINTED TO MATCH SURFACE AND ALL THREAD ROD
- 5 DRAIN HOLES WITH LIGHT COVER AT BOTTOM RETURN
- 6 MOUNTING BACKING PANEL TO BE PAINTED SAME COLOR AS EXTERIOR, REPLACES EXISTING GLAZING



EXAMPLE, Reference image
Solid Panel Backing Option

Nike By M Street

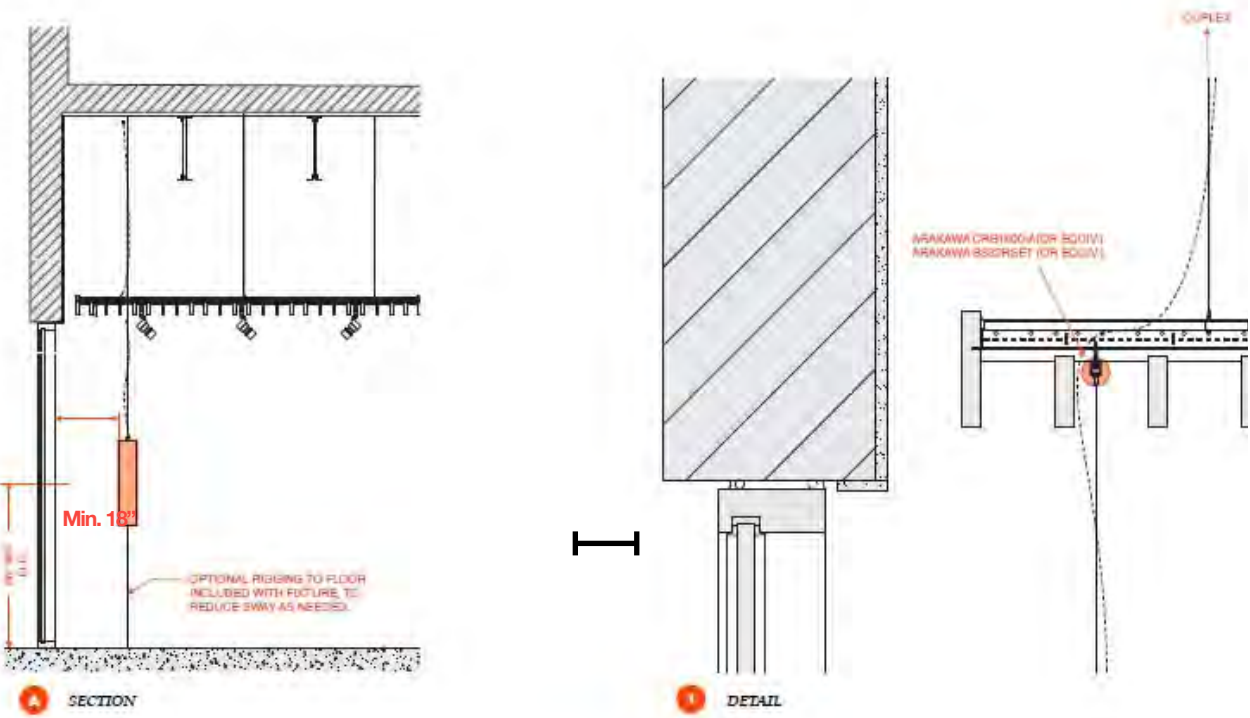
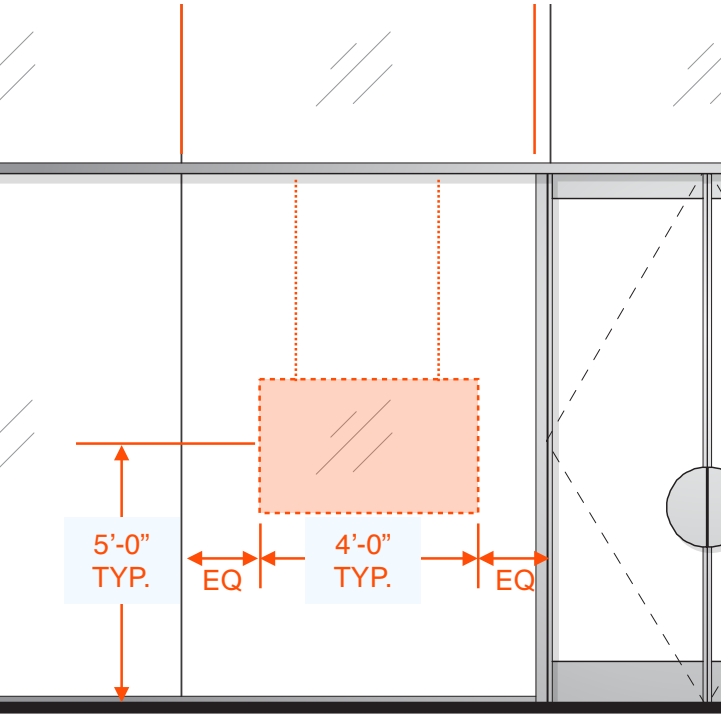
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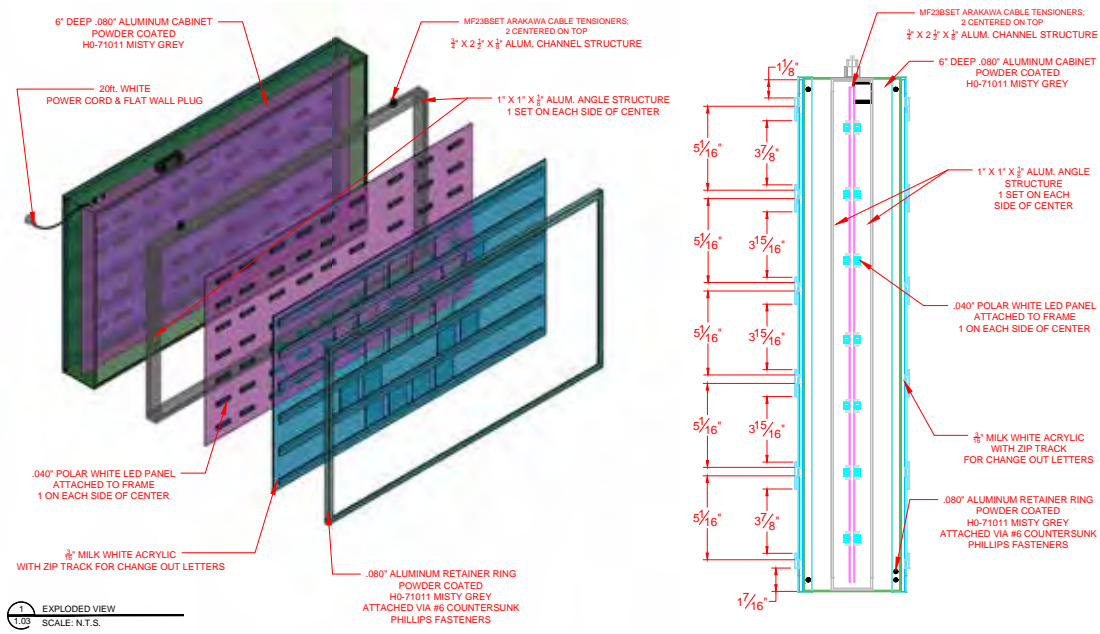
Illuminated Interior Events Fixture



This is a typical standard detail and placement location .It doesn't correspond to existing conditions.

ELEVATION: INTERIOR ILLUMINATED EVENTS FIXTURE
This is part of the decor package for the interior.

Note: Fixture to be installed min. 18” away from the glazing



Illumination Detail:
NOTE: Shop drawings to be provided for permit upon approval of concept



EXAMPLE: INTERIOR ILLUMINATED EVENTS FIXTURE
This is part of the decor package for the interior.

Note: Fixture to be installed min. 18” away from the glazing

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