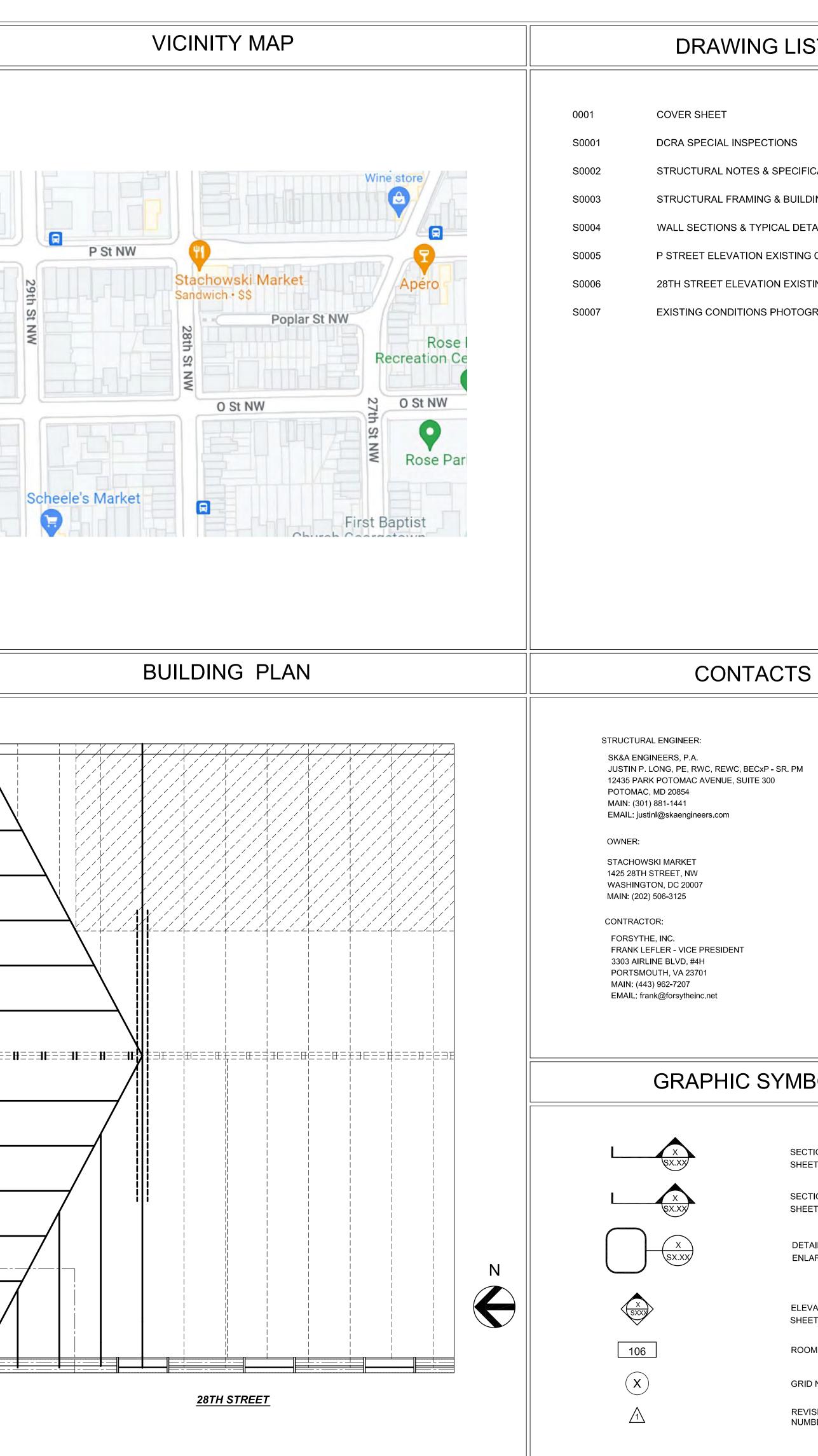
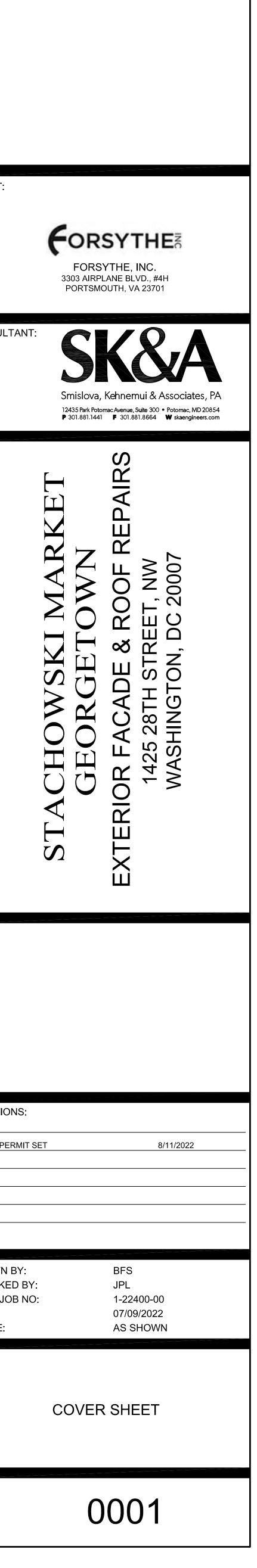
BUILDING OVERVIEW STACHOWSKIS ABBREVIATIONS ALT ALTERNATE METAL MTL ALUMINUM MINIMUM ALUM MIN AB MISCELLANEOUS ANCHOR BOLT MISC ARCHITECT ARCH MOISTURE RESISTANT MR AT MOUNTED MTD AVERAGE MULLION AVG MUL BEAM BM NORTH NOT IN CONTRACT CENTERLINE NIC CONCRETE NOT TO SCALE NTS CONC CONCRETE MASONRY UNITS CMU NUMBER #/NO. CONTINUOUS CONT ON CENTER O.C. CONTROL JOINT OPENING OPNG CUBIC FEET OPPOSITE OPP OVERALL DEPTH OAO DETAIL VERHEAD DET ОН OUTSIDE DIAMETER DIAGONAL DIAG O.D. DIA DIAMETER PAINTED PTD DIM DIMENSION PANEL PNL DOWN PARTITION PART DN PERP DRAWING DWG PERPENDICULAR ELECTRIC, ELECTRICAL ELEC PHASE PH PLASTIC LAMINATE EACH PLAM EAST PLATE ΡL ELEVATION PLUMBING PLMB ELEVATOR PLYWOOD PLYWD ELEV ELECTRIC WATER COOLER POUND EWC LB ENGINEER ENGR POUNDS PER SQUARE INCH PSI PRESSURE TREATED P.T. EQUAL EQ. EXISTING PREFAB EX/EXIST PREFABRICATED EXISTING TO REMAIN ETR PREFINISHED PREFIN EXPANSION EXP PRELIMINARY PRELIM EXPANSION JOINT EXP. JT RADIUS RAD/R REINF EXTERIOR EXT REINFORCING FEET, FOOT REQ'D. REQUIRED REVISION FINISH REV FLOOR RIGHT HAND RH P GAUGE ROOM RM GA STR GALVANIZED GALV SCHEDULE SCHED. GENERAL CONTRACTOR SECTION SECT GC SIMILAR GLASS Ē HDCP SOUTH HANDICAPPED HDW HDWD HARDWARE SPECIFICATION SPEC HARDWOOD SQUARE SQ HGT/H HM HEIGHT STANDARD STD HOLLOW METAL STAND PIPE HORIZONTAL HORIZ STAINLESS STEEL INCH STEEL IN STOR STRUCT THK INFORMATION INFO STORAGE INSIDE DIAMETER STRUCTURAL D INSULATED, INSULATION INSUL THICK OR THICKNESS INTERIOR THRESHOLD T.HOLD. INT JOINT JOIST TONGUE & GROOVE T&G TOP LAMINATED TOP OF BEAM T.O.B. LAM LAVATORY TOP OF PARAPET T.O.P. LAV LEFT HAND TOP OF PLATE T.O.PL. LH T.O.W. LENGTH TOP OF WALL LINEAR FEET TYPICAL TYP LONG LEG HORIZONTAL LLH UNLESS NOTED OTHERWISE U.N.O. LLV VERT LONG LEG VERTICAL VERTICAL MAINTENANCE MAINT VERIFY IN FIELD V.I.F. MFR/MANUF MANUFACTURER WELDED WIRE FABRIC WWF MASONRY MAS WEST MASONRY OPENING WIDTH MO WDT MAXIMUM MAX WINDOW WND MECH MECHANICAL WITH W/ MEDIUM MED WITHOUT W/O MEDIUM DENSITY FIBERBOARD MDF MEZZANINE MEZZ WOOD WD YARD YD

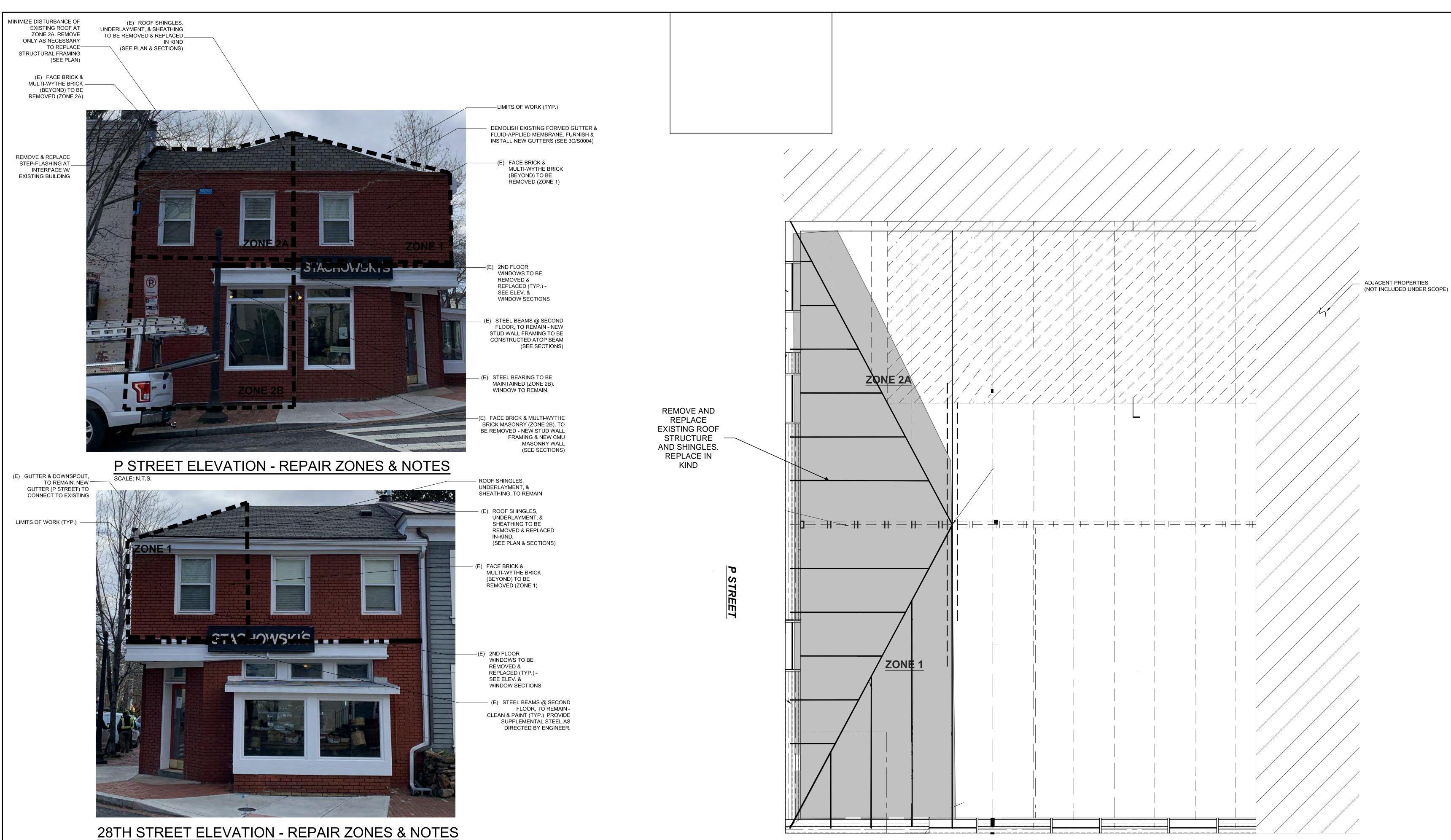
STACHOWSKI MARKET GEORGETOWN EXTERIOR FACADE & ROOF REPAIRS

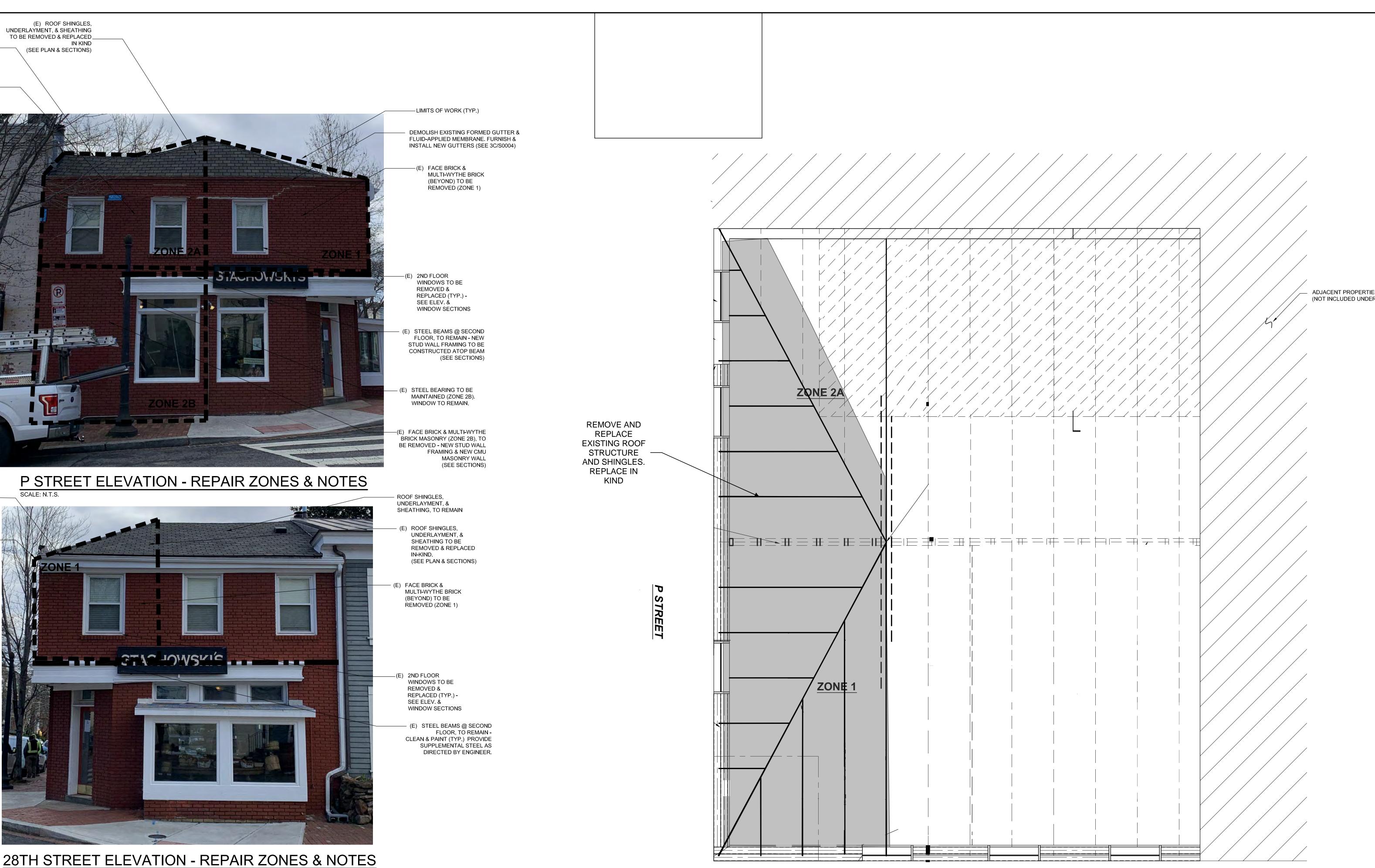
1425 28TH STREET, NW WASHINGTON, DC 20007

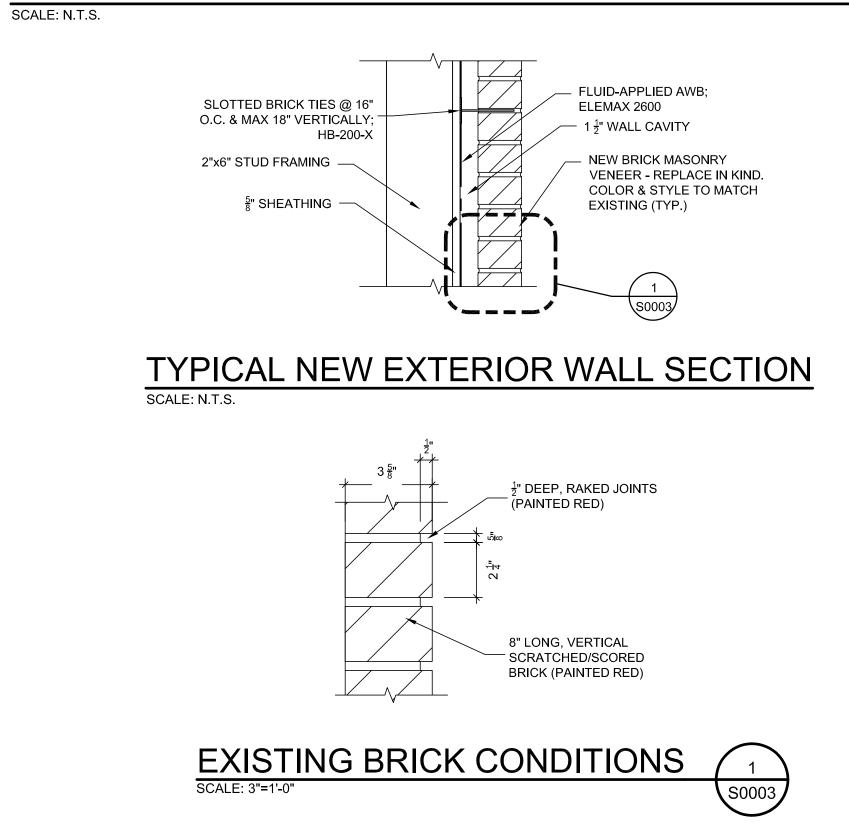


			CLI
ST	COD	E INFORMATION	
	SCOPE OF WORK:	EMERGENCY STRUCTURAL REPAIRS TO ADDRESS DISPLACED & UNSTABLE FACADE BRICK MASONRY & DETERIORATED ROOF FRAMING.	
	ADDRESS:	1425 28TH STREET, NW WASHINGTON, DC 20007	со
CATIONS ING ELEVATIONS PLAN AILS CONDITIONS	EXISTING BUILDING USE GROUP(S) CONSTRUCTION TYPE NO. OF STORIES (ABOVE GRADE) NO. OF STORIES (BELOW GRADE)	M (GROUND LEVEL); R-2 (SECOND LEVEL) TYPE 5B 2 1	
ING CONDITIONS	NEW WORK (PROPOSED): CONSTRUCTION TYPE	NO CHANGE	
RAPHS	NO. OF STORIES (ABOVE GRADE) HEIGHT HIGH RISE	NO CHANGE NO CHANGE NO CHANGE	
	GROSS AREA NET AREA OCCUPANT LOAD (15 NSF/OCC)	NO CHANGE NO CHANGE NO CHANGE	
	NUMBER OF EXITS REQUIRED NUMBER OF EXITS PROVIDED	NO CHANGE NO CHANGE	
		ING CODE (IEBC) AS REFERENCED AND AMENDED TRUCTION CODES SUPPLEMENT OF 2017 SUPPLEMENT)	
	2015 INTERNATIONAL BUILDING CODE DISTRICT OF COLUMBIA CONSTRUCTI (12 DCMR A. BUILDING CODE SUPPLEN		
	GENERAL NOTES		
	 GENERAL GENERAL CONTRACTOR TO VERIFY EXISTING CONDITIONS AND TO NOTIFY STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION OR THE INSTALLATION OF ANY EQUIPMENT. PLANS ARE NOT TO BE SCALED. ANY QUESTIONS CONCERNING DIMENSIONS AS INDICATED ON PLANS ARE TO BE DIRECTED TO THE ENGINEER. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL PLANS AND SPECIFICATIONS TO UNDERSTAND THE COMPLETE SCOPE OF WORK PRIOR TO THE START OF WORK. A COMPLETE AND UP TO DATE SET OF PLANS AS APPROVED BY THE LOCAL JURISDICTION BE MAINTAINED AT THE JOB SITE FOR REVIEW AND USE AT ALL TIMES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TEMPORARY BRACING OR SHORING TO ENSURE THE SAFETY AND STABILITY OF THE STRUCTURE AS NECESSARY DURING THE PERFORMANCE OF WORK. SHORING, IF NEEDED, SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION AND A COPY OF THE SHORING PLAN SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW. ALL WORK SHALL COMPLY WITH THE CURRENT APPLICABLE BUILDING CODES, AND ALL LOCAL REGULATIONS AND ORDINANCES. PROTECT ALL EXISTING EDULDING FINISHES AND SUFFACES FROM DAMAGE DURING CONSTRUCTION ACTIVITIES REPLACE ANY DAMAGED MATERIALS WITH NEW TO MATCH THE EXISTING. THE EXISTING CONDITIONS INDICATED WERE OBTAINED FOM LIMITED SITE SURVEYS & EXPLORATORY DEMOLITION AND ARE NOT WARRANTED TO BE CORRECT OR COMPLETE. VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE DIMENSIONS PRIOR TO COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION OPERATIONS. TAKE ALL APPROPRIATE PRECAUTIONS TO PROTECT ALL PERSONS AND PROPERTY DURING CONSTRUCTION VERIFY ALL DIMENSIONS PRIOR TO SUBMITTING BIDS. THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION OPERATIONS TAKE ALL APPROPRIATE PRECAUTIONS TO PROTECT ALL PERSONS AND PROPERTY DURING CONSTRUCTION 		
OLS	 ACTIVITIES AND TO AVOID DISRUPTION OF OCCUPANTS BY CONSTRUCTION RELATED ACTIVITIES DO NOT OBSTRUCT EXITS OR PATH OF EGRESS. ERECT OVERHEAD PROTECTION ABOVE ALL POINTS OF ENTRY AS NECESSARY TO COMPLETE THE WORK. 10. PROVIDE PROTECTION AT ALL POINTS OF POSSIBLE EXPOSURE TO CONSTRUCTION ACTIVITIES TO PROTECT THE PUBLIC AND WORKERS FROM POSSIBLE HAZARDS INCLUDING TRIPPING. 11. CLEAN ALL BUILDINGS SURFACES, STAGING AREAS, PAVED AREAS AND OTHER AREAS IMPACTED BY THE WORK OF ALL DEBRIS AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. 		
			DF
T NO.			CH SM DA
ION T NO. IONAL DETAIL T NO. AIL TARGET, ARGEMENT SHEET NO.			CH SK
T NO. IONAL DETAIL T NO. NIL TARGET,			CH SK DA SC
T NO. IONAL DETAIL T NO. AIL TARGET, RGEMENT SHEET NO.			CH SM DA SC
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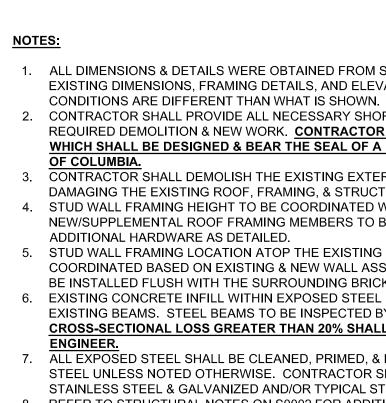








BUILDING PLAN VIEW & STRUCTURAL FRAMING SCALE: 1/2"=1'-0



28TH STREET

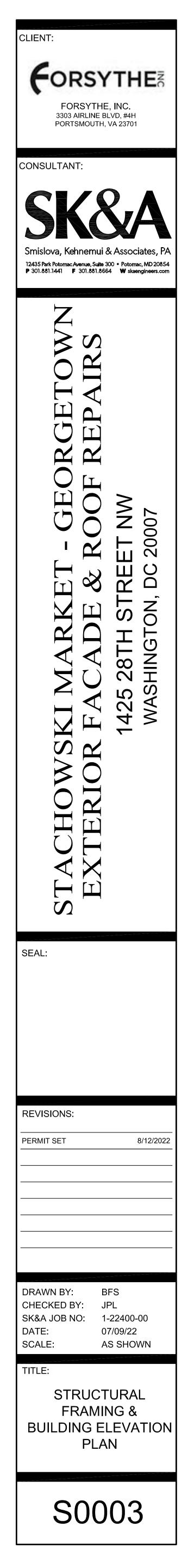
(S0006)

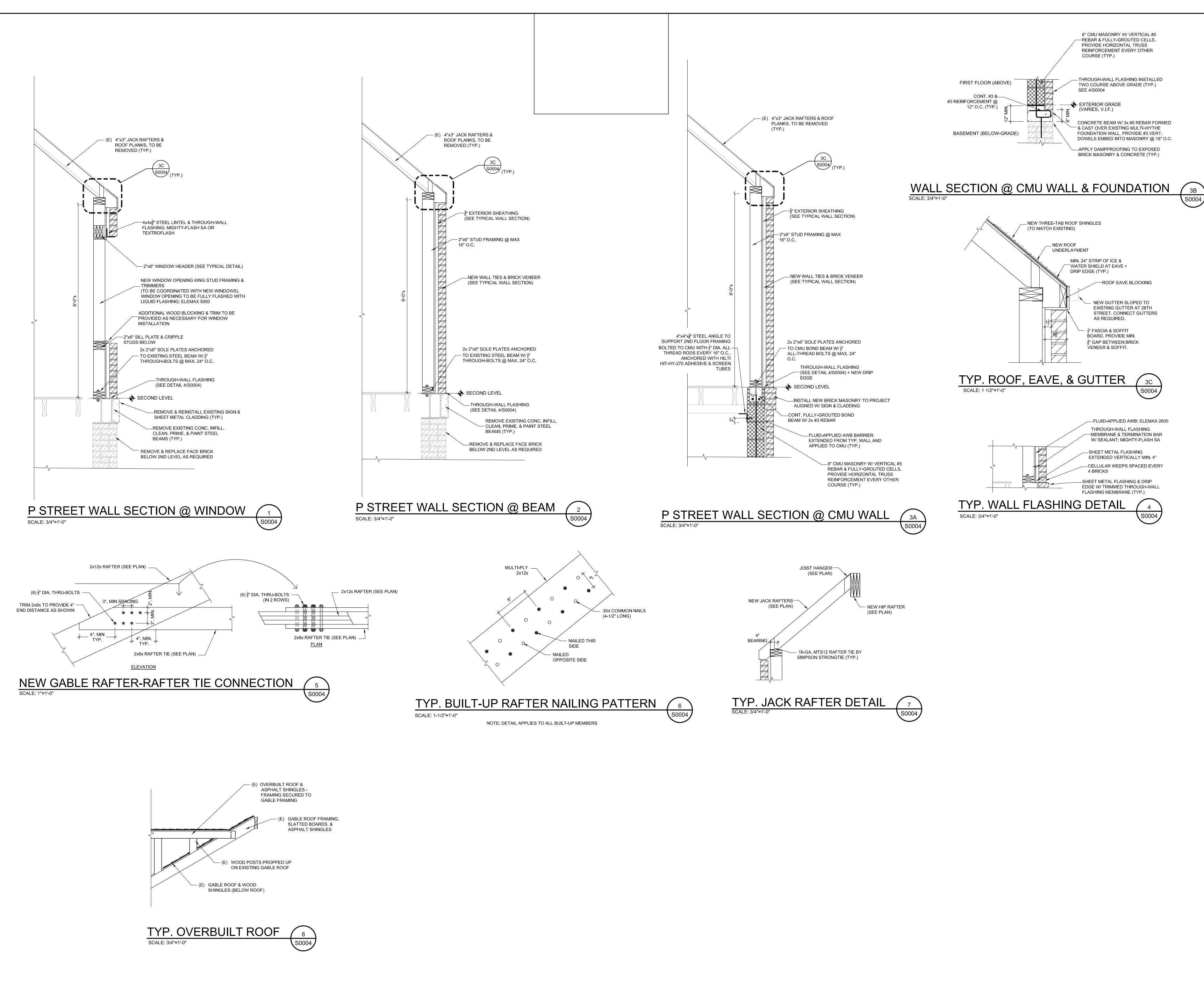
1. ALL DIMENSIONS & DETAILS WERE OBTAINED FROM SITE SURVEYS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, FRAMING DETAILS, AND ELEVATIONS. NOTIFY STRUCTURAL ENGINEER IF EXISTING CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING & BRACING AS REQUIRED TO COMPLETE THE REQUIRED DEMOLITION & NEW WORK. <u>CONTRACTOR SHALL SUBMIT ALL DETAILS OF SHORING & BRACING</u> WHICH SHALL BE DESIGNED & BEAR THE SEAL OF A PROFESSIONAL ENGINEER REGISTERED IN THE DISTRICT

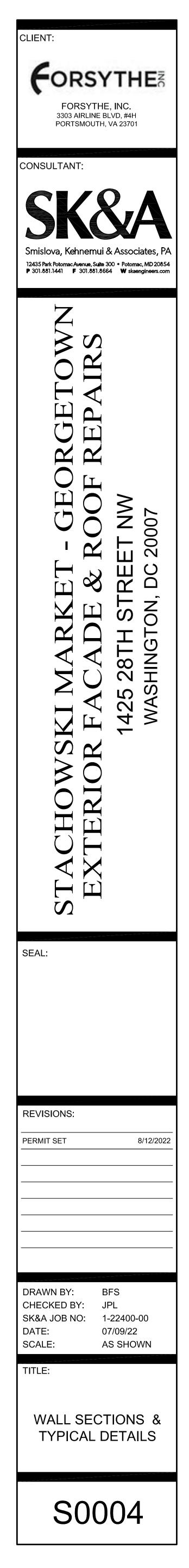
3. CONTRACTOR SHALL DEMOLISH THE EXISTING EXTERIOR WALL MASONRY & OTHER ELEMENTS WITHOUT DAMAGING THE EXISTING ROOF, FRAMING, & STRUCTURAL ELEMENTS DESIGNATED TO REMAIN. 4. STUD WALL FRAMING HEIGHT TO BE COORDINATED WITH NEW/SUPPLEMENTAL ROOF FRAMING MEMBERS. NEW/SUPPLEMENTAL ROOF FRAMING MEMBERS TO BE CUT & BEAR ON NEW STUD WALL AND INCLUDE 5. STUD WALL FRAMING LOCATION ATOP THE EXISTING STEEL BEAMS & NEW CMU MASONRY WALL TO BE

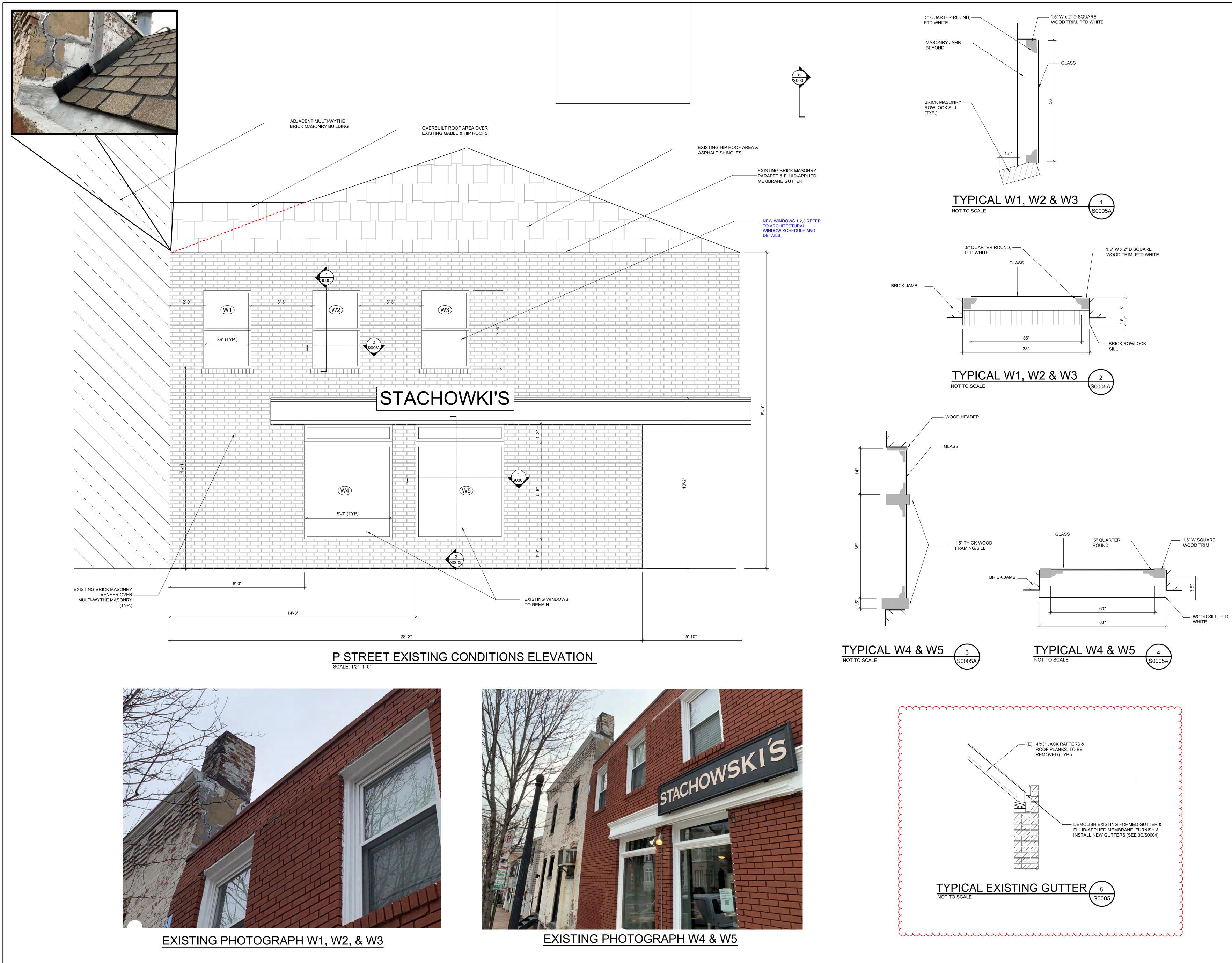
COORDINATED BASED ON EXISTING & NEW WALL ASSEMBLY MATERIAL DIMENSIONS & FACE BRICK WHICH SHALL BE INSTALLED FLUSH WITH THE SURROUNDING BRICK FACADE. SEE TYPICAL & OTHER WALL SECTION DETAILS. 6. EXISTING CONCRETE INFILL WITHIN EXPOSED STEEL BEAMS SHALL BE REMOVED TO FULLY EXPOSE THE EXISTING BEAMS. STEEL BEAMS TO BE INSPECTED BY STRUCTURAL ENGINEER. ALL AREAS OF CROSS-SECTIONAL LOSS GREATER THAN 20% SHALL BE SUPPLEMENTED/REPAIRED AS DIRECTED BY ALL EXPOSED STEEL SHALL BE CLEANED, PRIMED, & PAINTED. NEW STEEL HARDWARE SHALL BE STAINLESS STEEL UNLESS NOTED OTHERWISE. CONTRACTOR SHALL PROVIDE INERT PFA OR PTFE WASHERS AT ALL

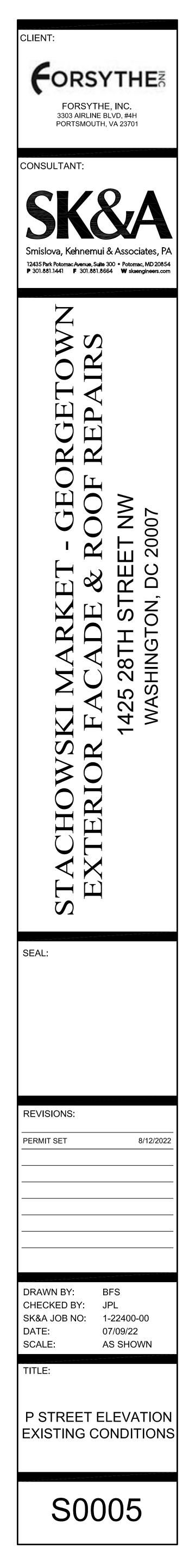
STAINLESS STEEL & GALVANIZED AND/OR TYPICAL STEEL INTERFACES. 8. REFER TO STRUCTURAL NOTES ON S0002 FOR ADDITIONAL INFORMATION.

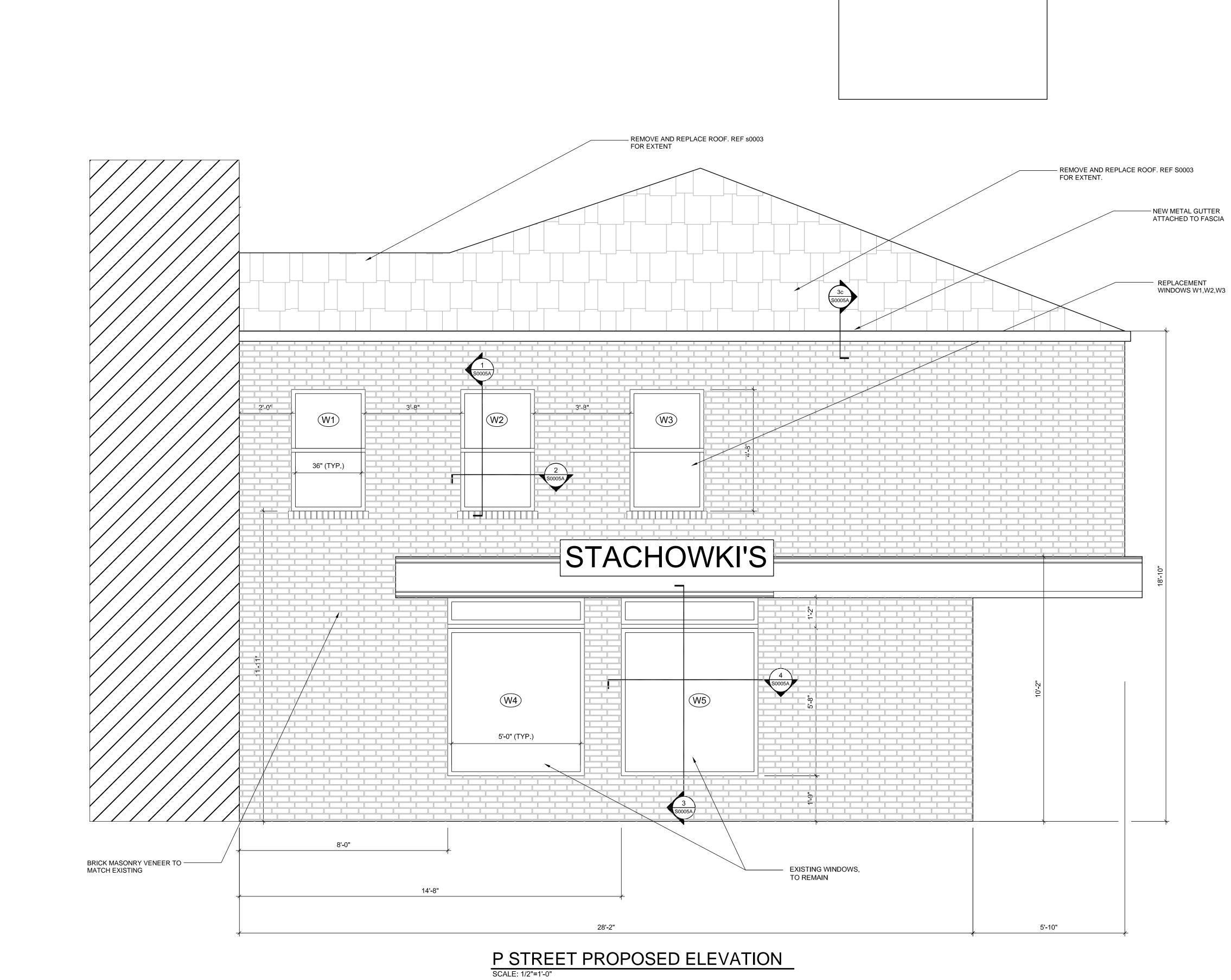


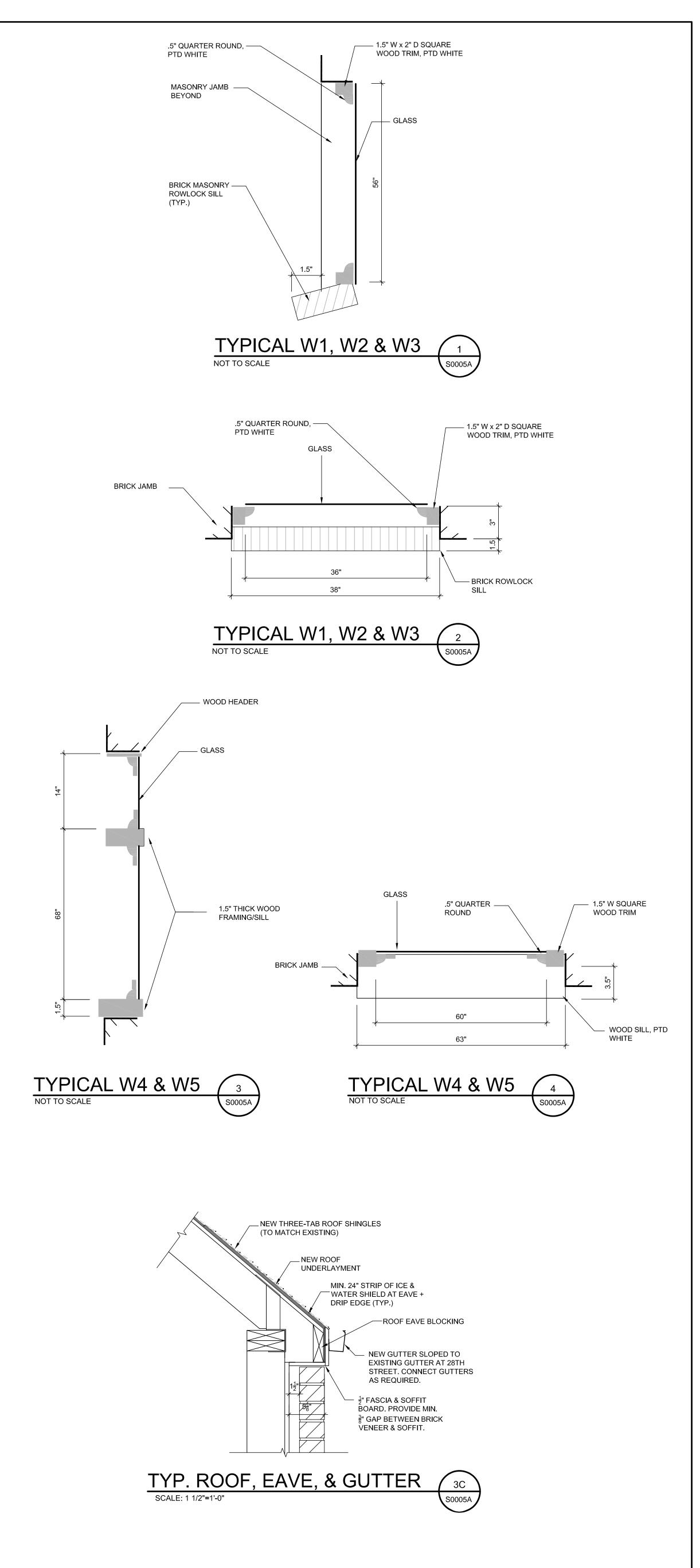






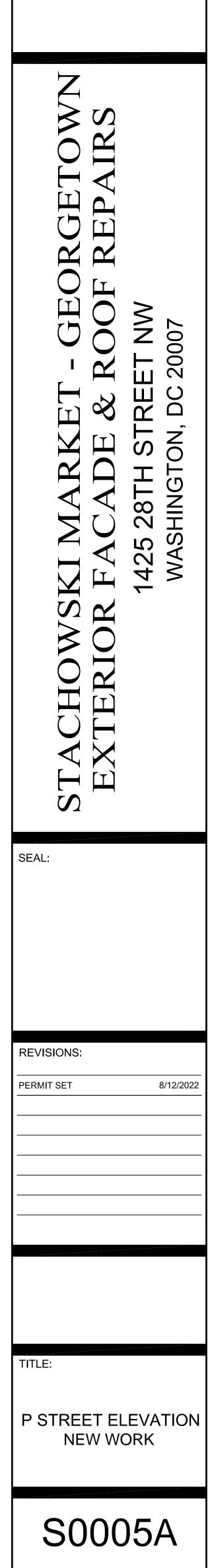


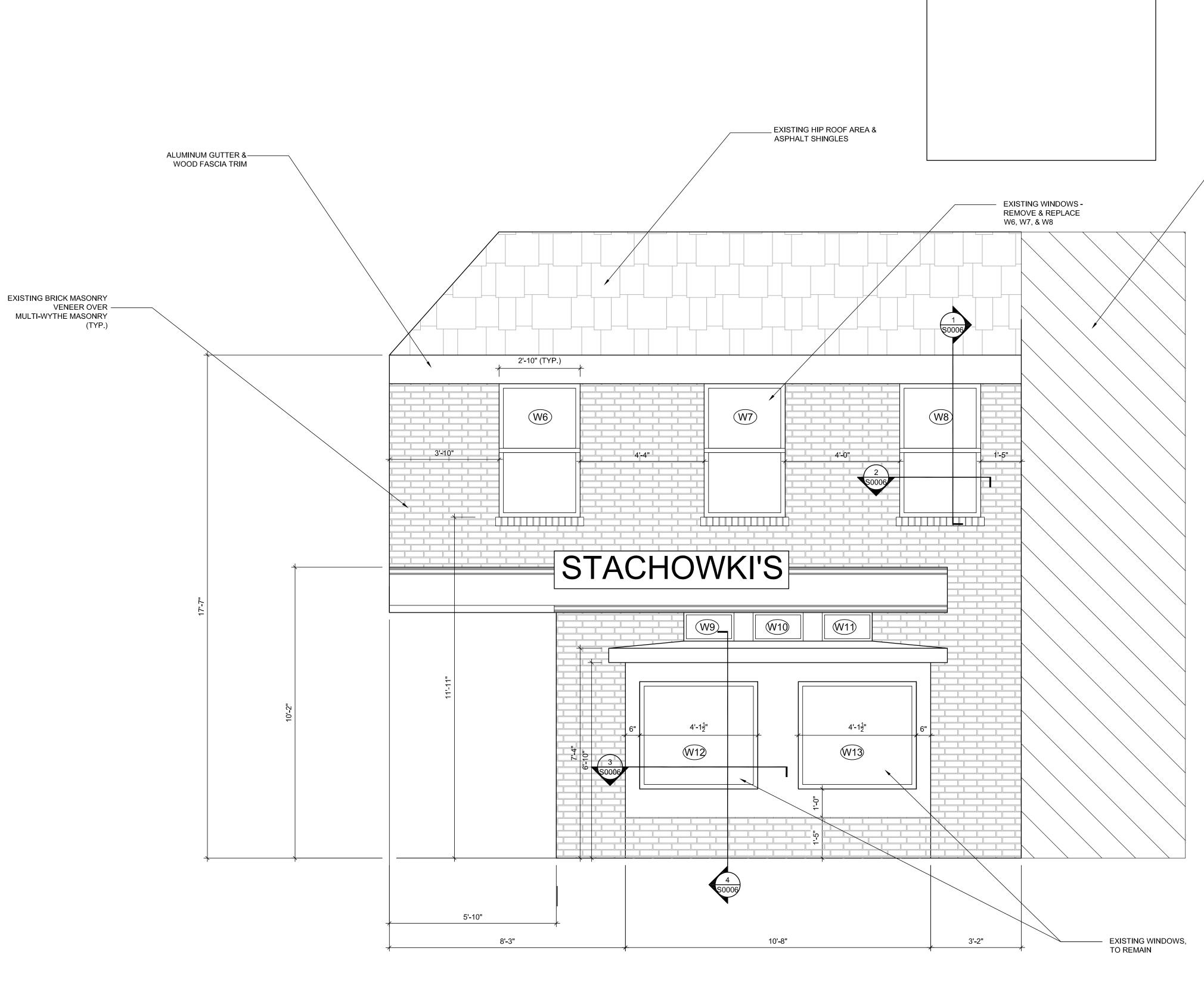






FORSYTHE FORSYTHE, INC. 3303 AIRLINE BLVD, #4H PORTSMOUTH, VA 23701





SCALE: 1/2"=1'-0"

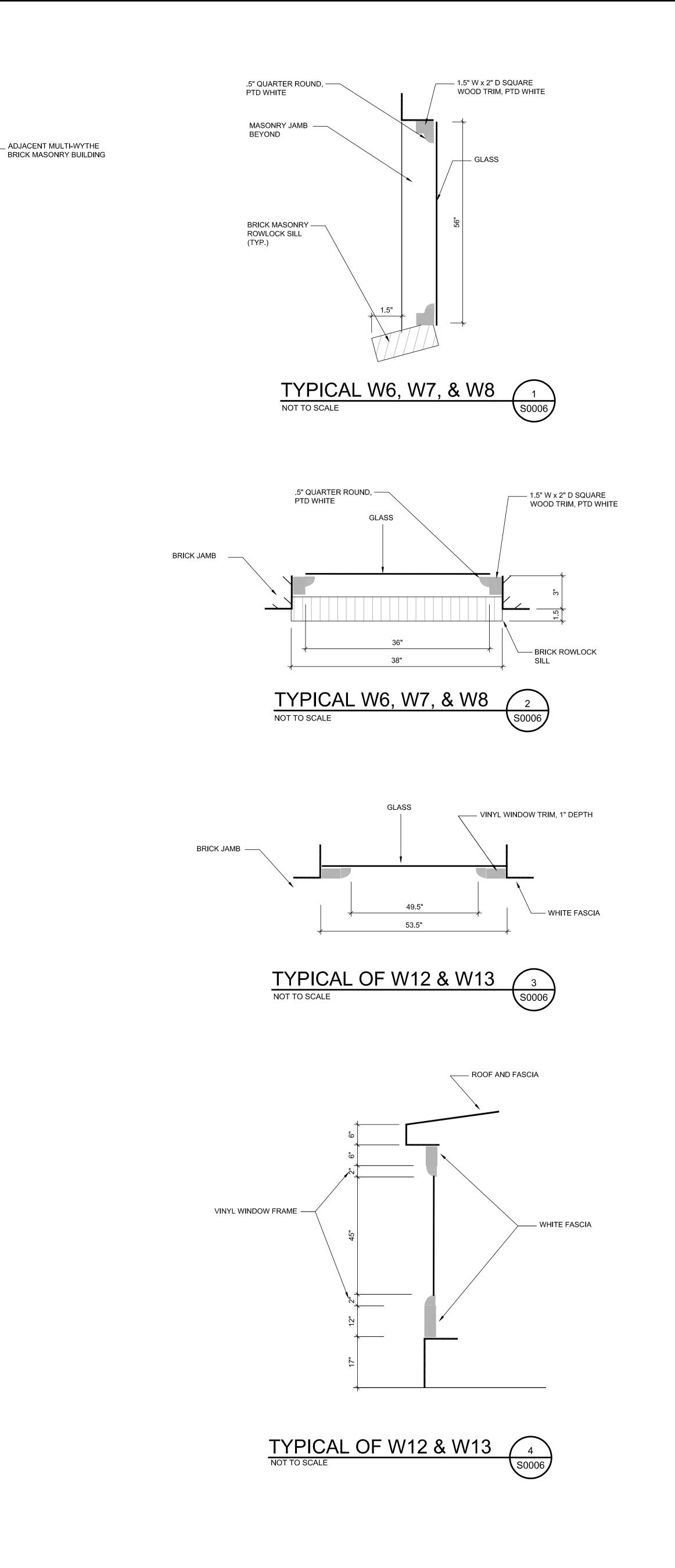


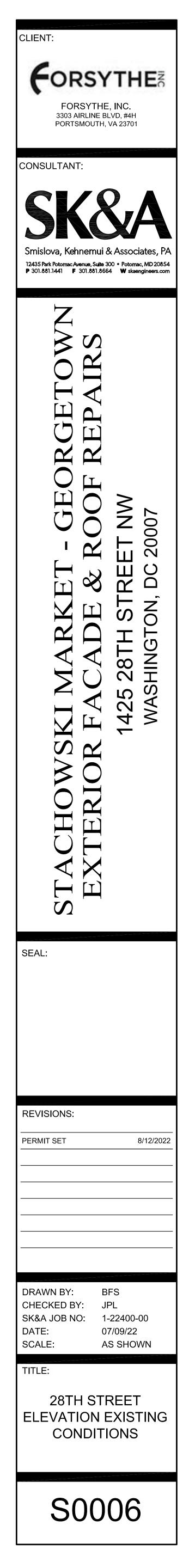
EXISTING PHOTOGRAPH W6, W7, & W8

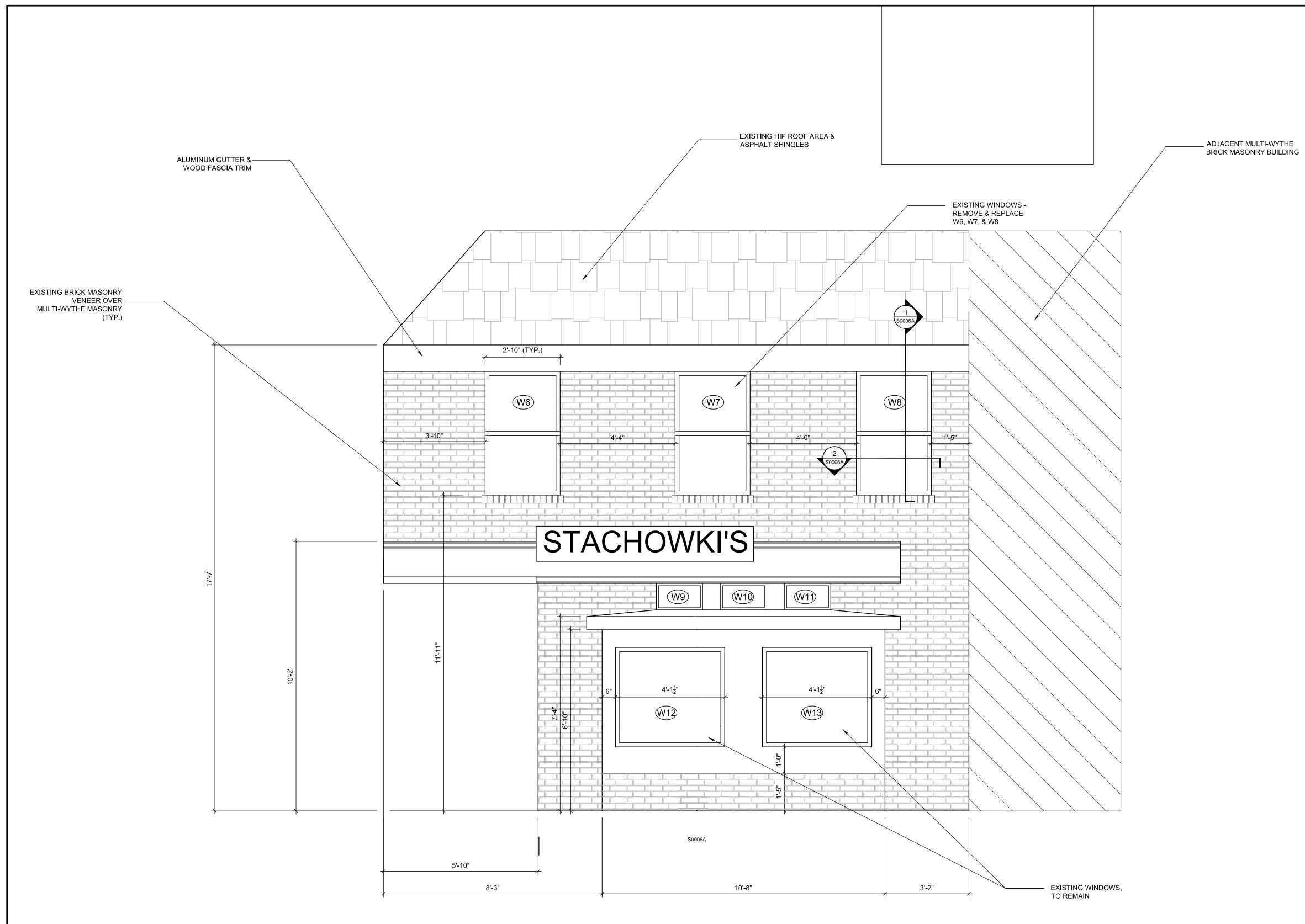
EXISTING PHOTOGRAPH W9 - W13



28TH STREET ELEVATION EXISTING CONDITIONS

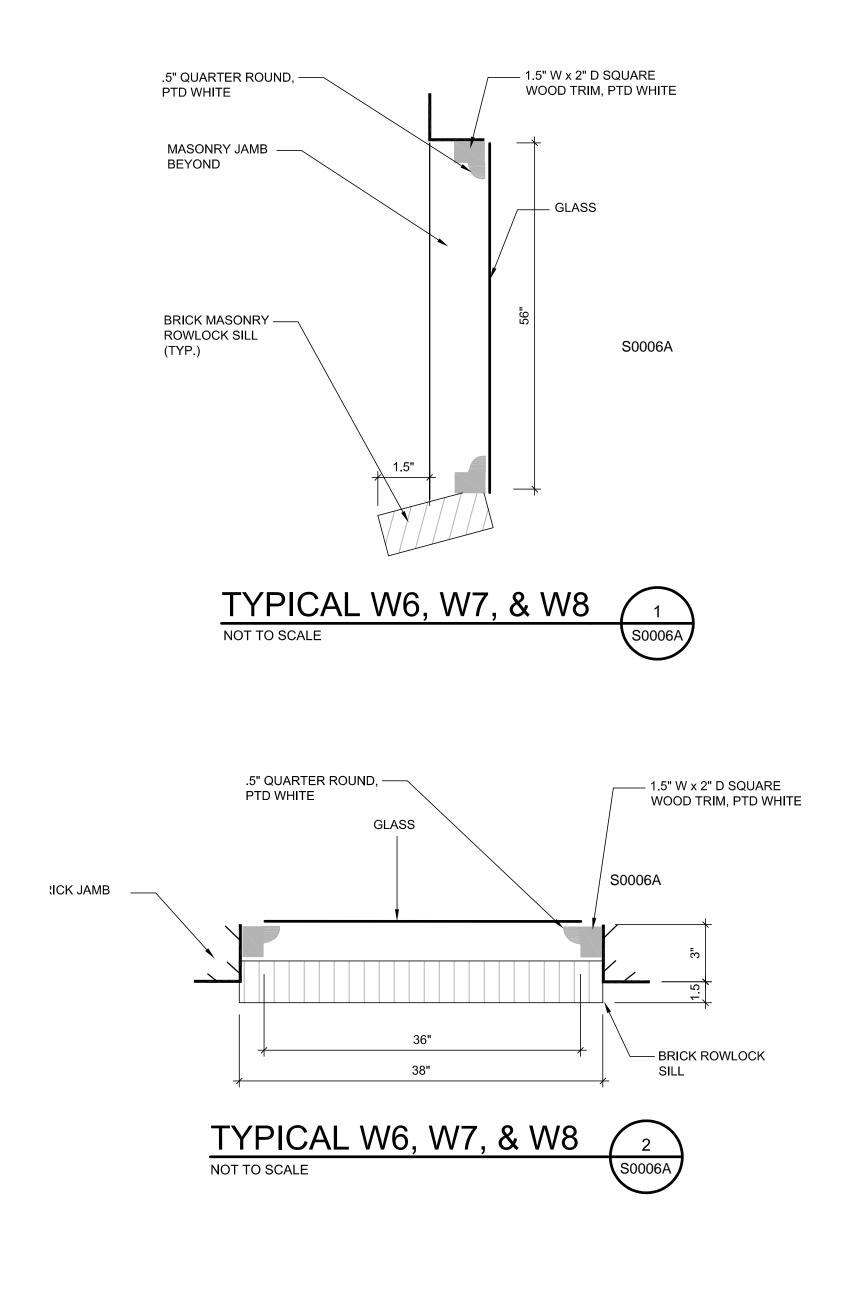






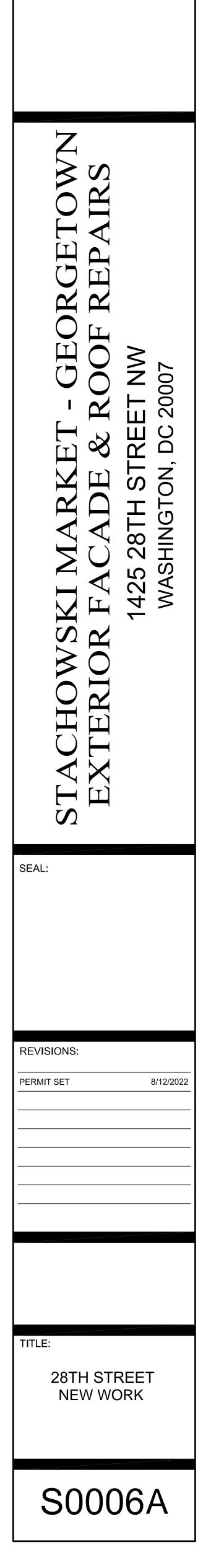
SCALE: 1/2"=1'-0"

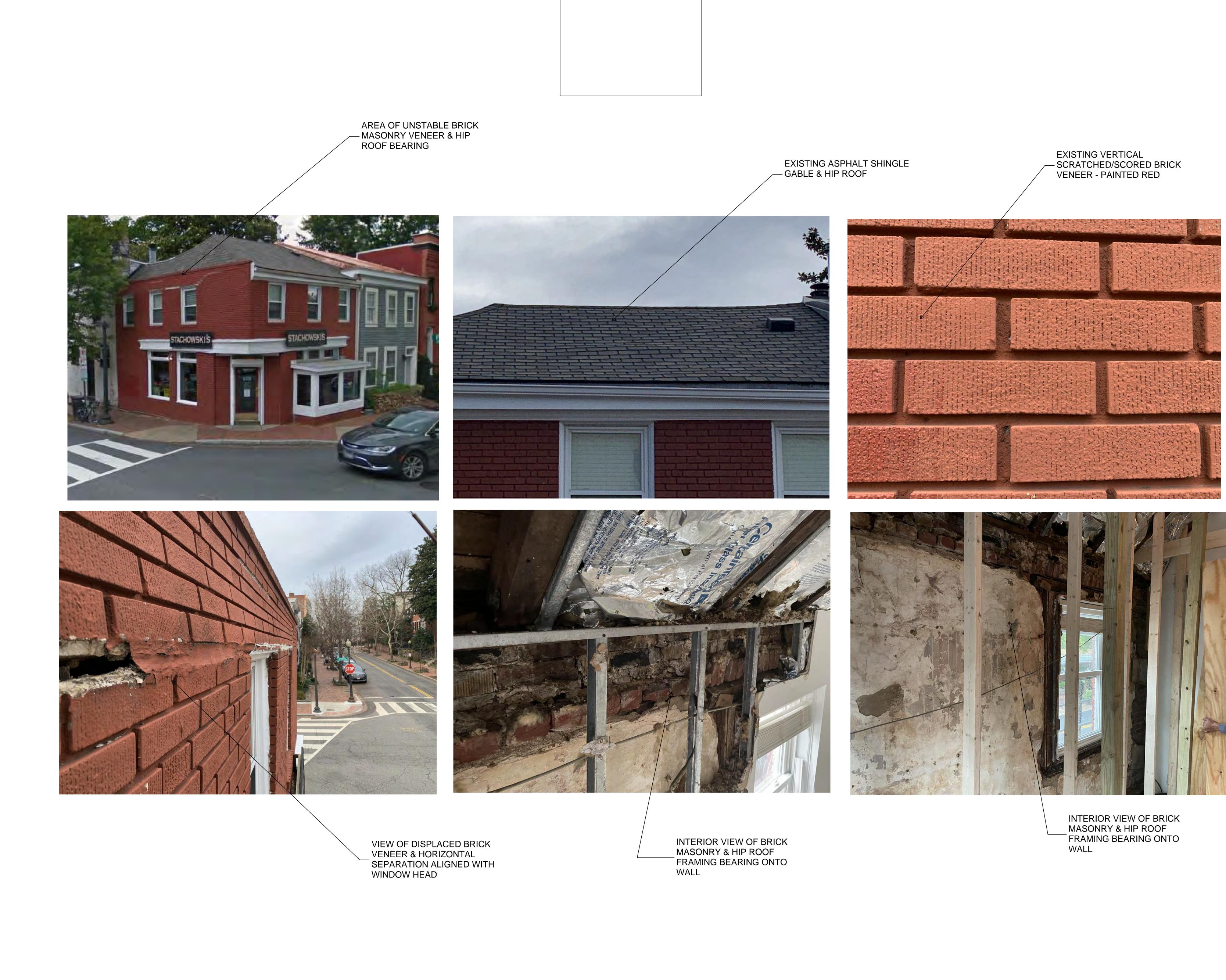
28th STREET PROPOSED ELEVATION

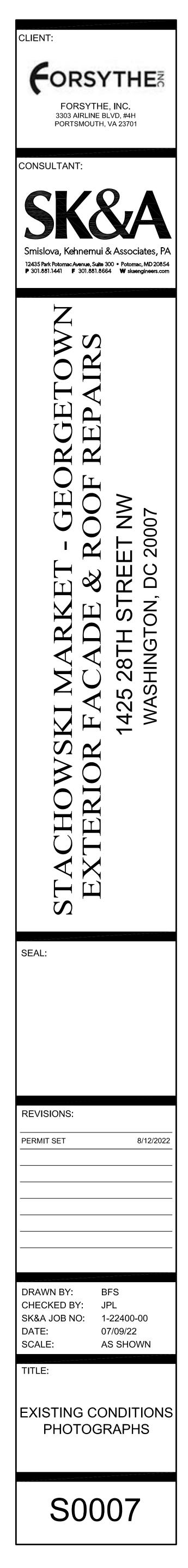


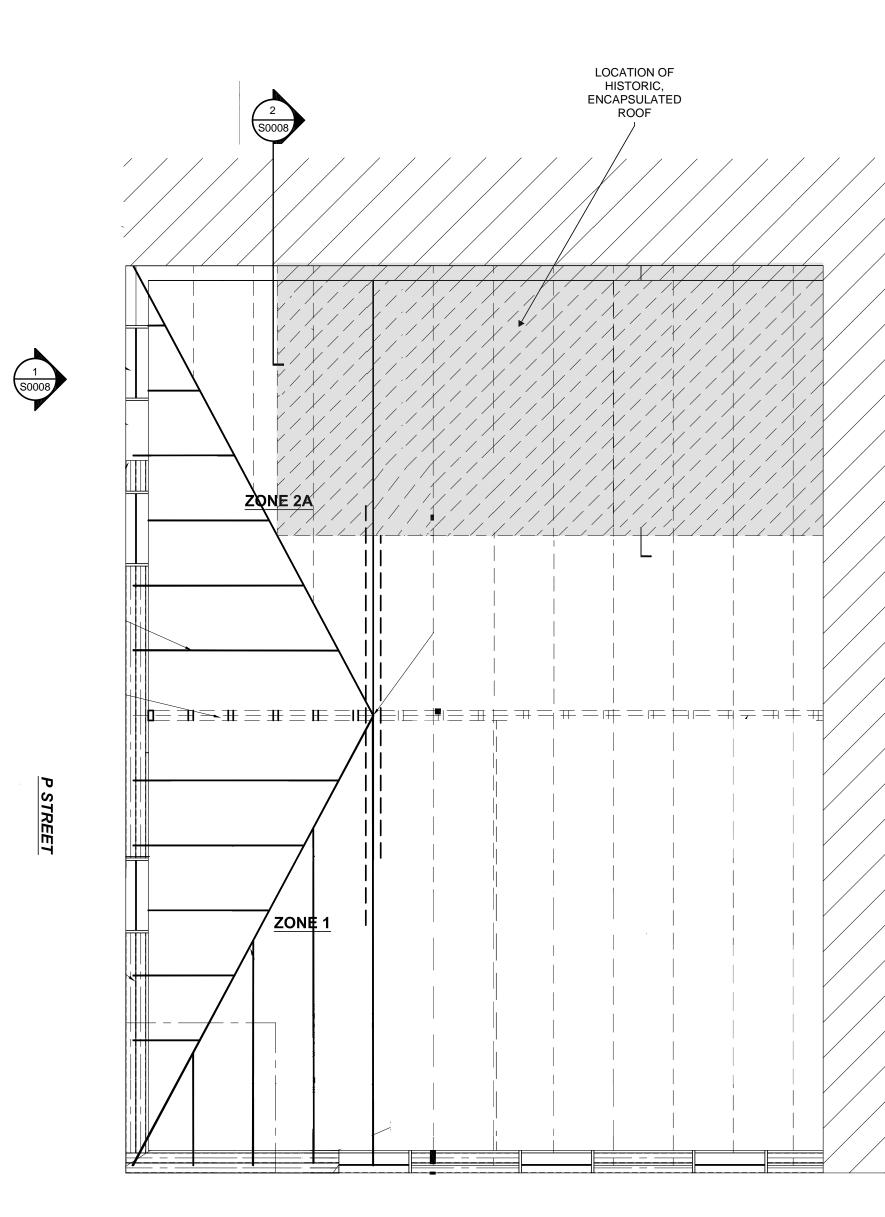
CLIENT:

FORSYTHE FORSYTHE, INC. 3303 AIRLINE BLVD, #4H PORTSMOUTH, VA 23701





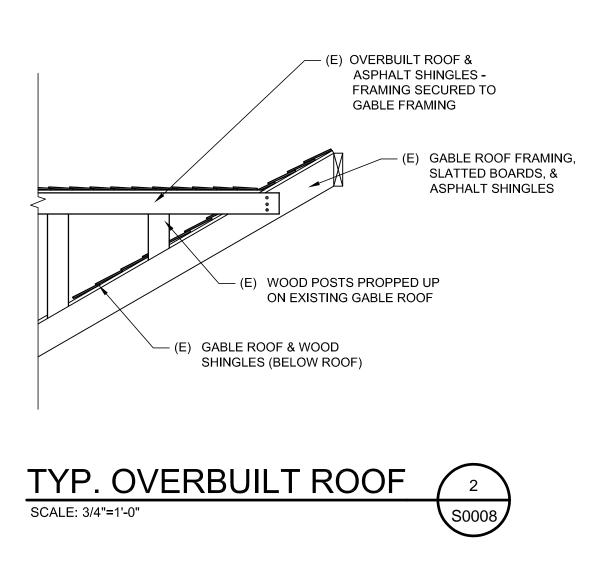


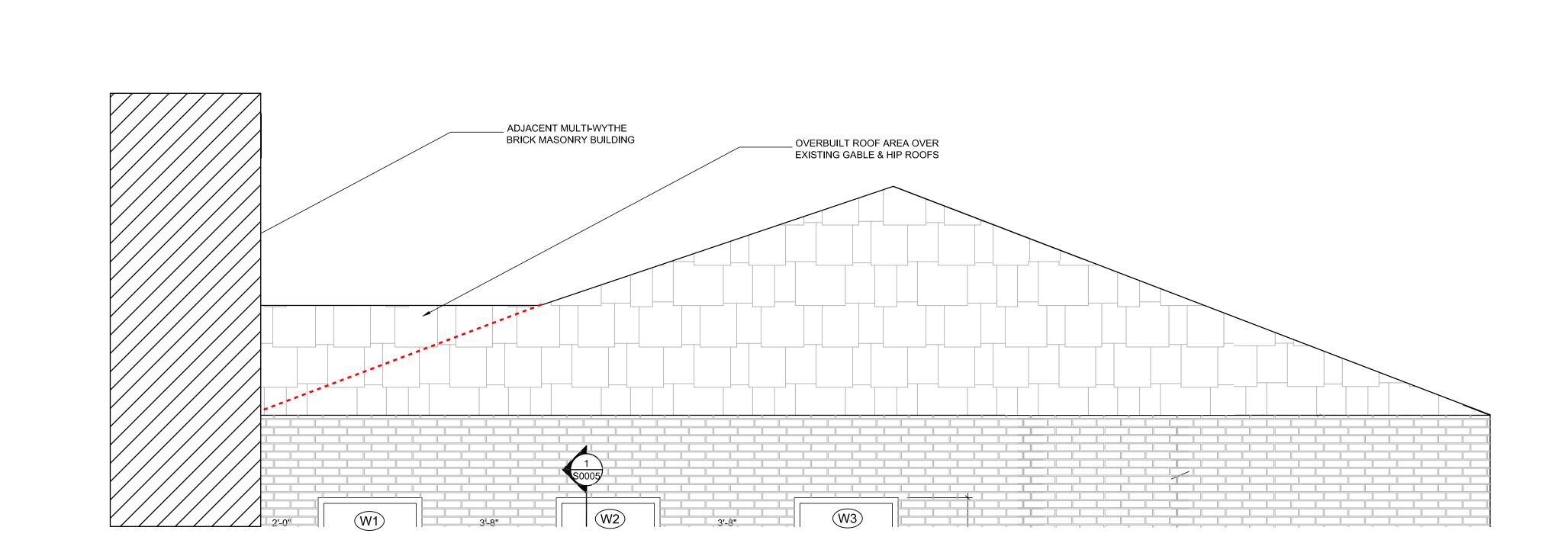


ADJACENT PROPERTIES (NOT INCLUDED UNDER SCOPE)

28TH STREET

<u>HISTORIC ROOF EXHIBIT, PLAN</u>







1

OVERBUILT ROOF PHOTOGRAPH #1

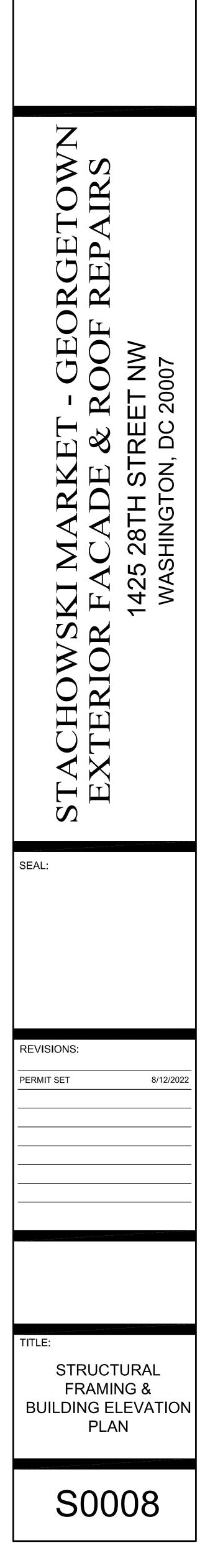


OVERBUILT ROOF PHOTOGRAPH #2

HISTORIC ROOF ELEVATION, P STREET



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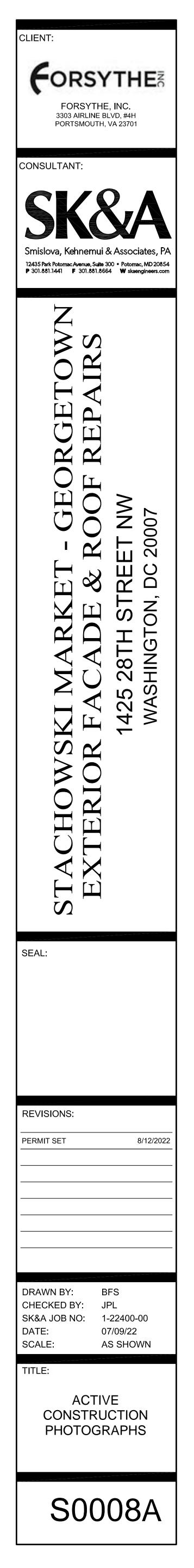
P STREET LOOKING WEST



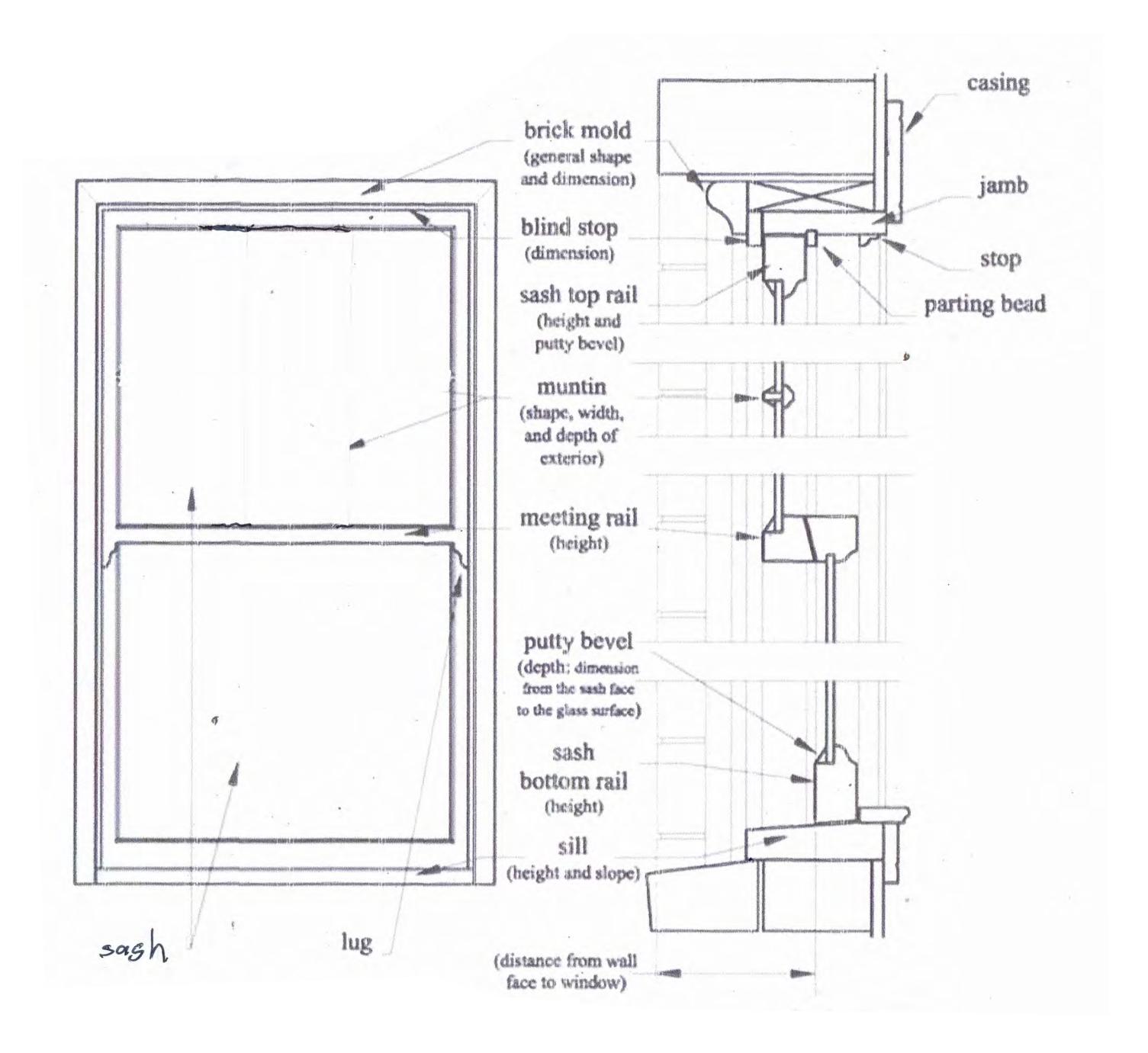
28TH STREET LOOKING EAST



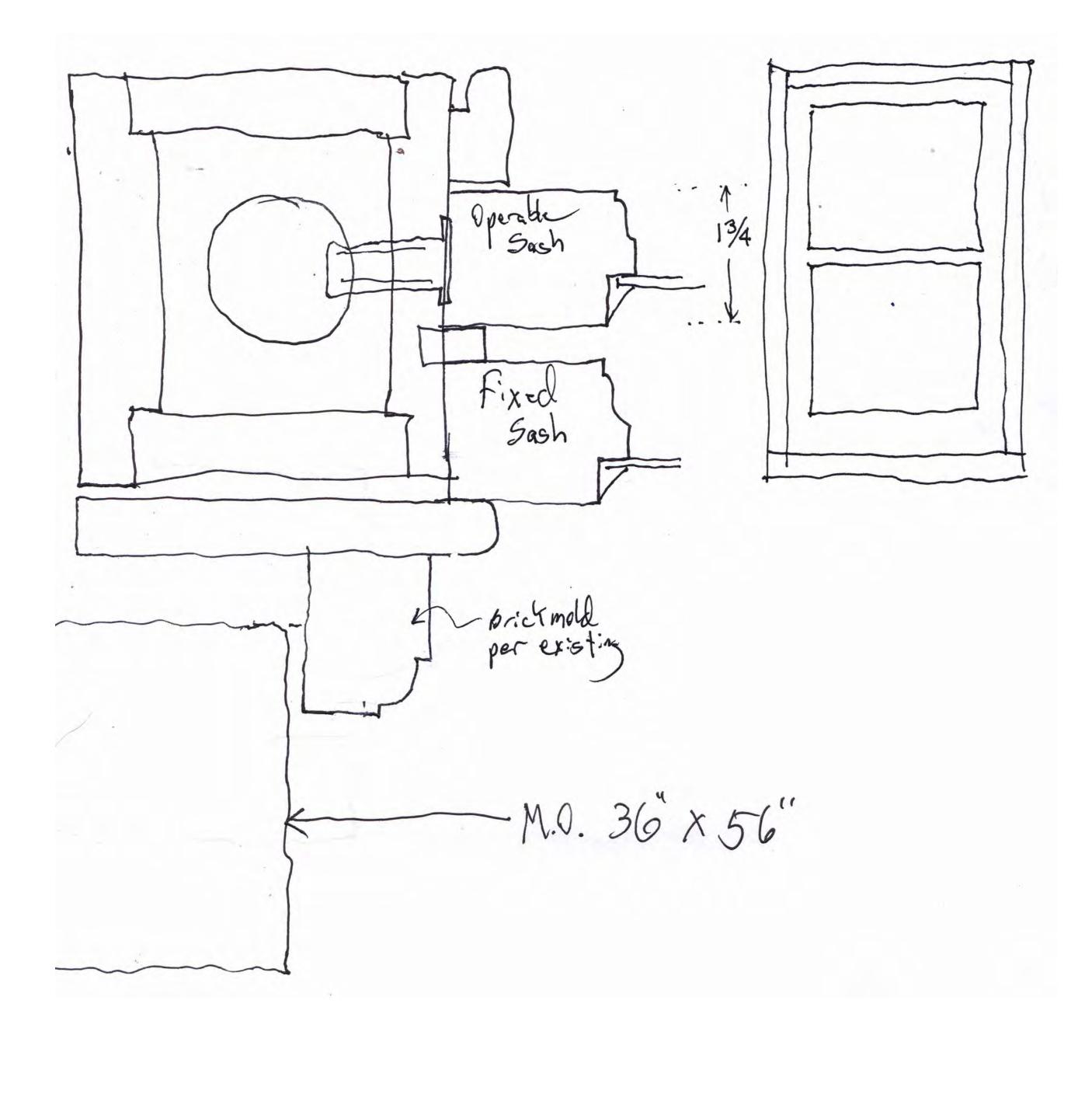
P STREET/28TH STREET INTERSECTION

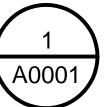


THE CRAFTSMEN GROUP, INC. 3901 PERRY STREET BRENTWOOD, MD 20722 301-277-3700 www.thecraftsmengroup.com

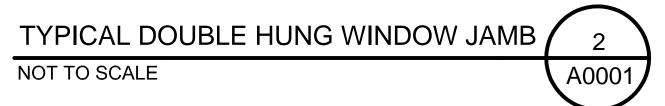






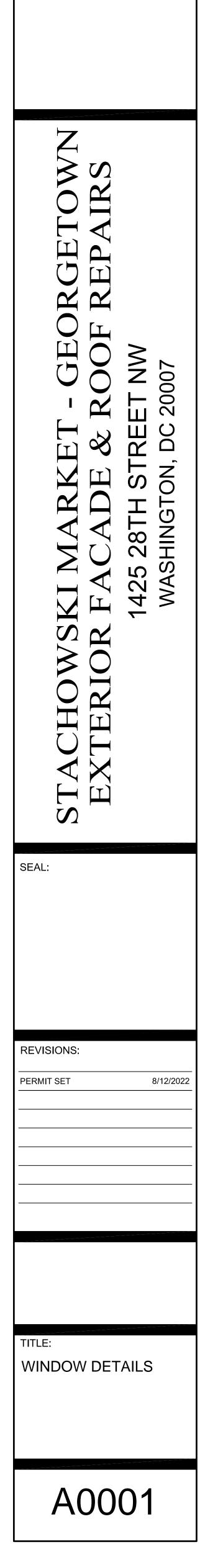


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CLIENT: **FORSYTHE**

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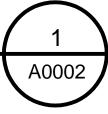
WINDOW SCHEDULE

OPENING NUMBER	D.L.O. SIZE	MATERIAL	NOTES
1	56"Hx38"W	Vinyl	New Wood, Reference details on A001
2	56"Hx38"W	Vinyl	New Wood, Reference details on A001
3	56"Hx38"W	Vinyl	New Wood, Reference details on A001
4	83"Hx63"W	Wood	Existing to Remain
5	83"Hx63"W	Wood	Existing to Remain
6	56"Hx38"W	Vinyl	New Wood, Reference details on A001
7	56"Hx38"W	Vinyl	New Wood, Reference details on A001
8	56"Hx38"W	Vinyl	New Wood, Reference details on A001
9	12"Hx21"W	Wood	Existing to Remain
10	12"Hx21"W	Wood	Existing to Remain
11	12"Hx21"W	Wood	Existing to Remain
12	45"Hx49.5"W	Vinyl	Existing to Remain
13	45"Hx49.5"W	Vinyl	Existing to Remain
14	45"Hx24"W	Vinyl	Existing to Remain
15	45"Hx24"W	Vinyl	Existing to Remain





EXISTING WINDOW PHOTOS - OPENING 1,2,3 NOT TO SCALE





FORSYTHE, INC. 3303 AIRLINE BLVD, #4H PORTSMOUTH, VA 23701

