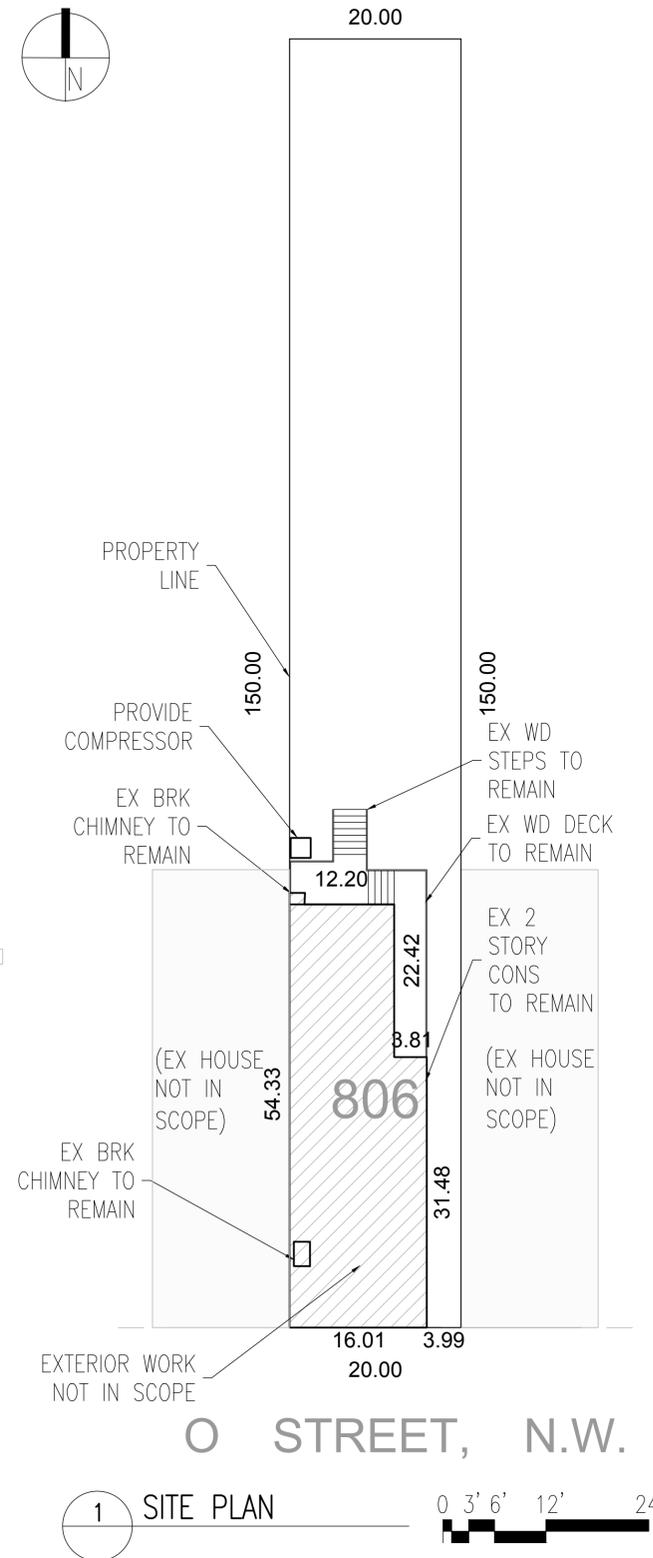


GEORGETOWN UNIVERSITY TOWNHOUSE EXTERIOR REPAIRS

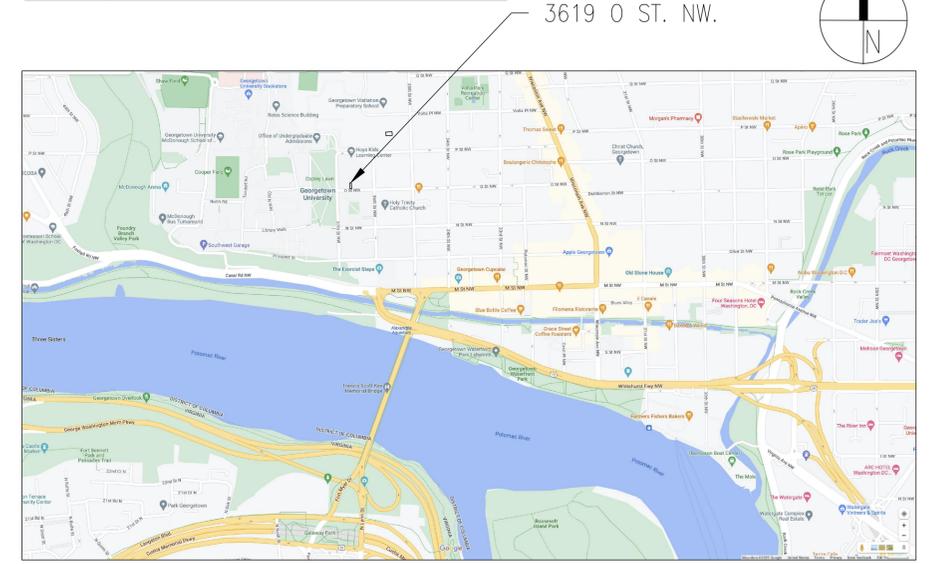
OLD GEORGETOWN BOARD SUBMISSION – JANUARY 2023

GU PROJECT ID #: 2-D07-03

PROJECT TEAM	PROJECT DATA
<p>CLIENT:</p> <p>GEORGETOWN UNIVERSITY</p> <p>3700 O ST. NW, NEW SOUTH L 104 WASHINGTON DC 20057. T: 571-722-6459.</p> <p>GENERAL CONTRACTOR:</p> <p>PEDRAM HATAMI PIVOT CONSTRUCTION</p> <p>502 NUTLEY ST. VIENNA, VA, 22180. T: 703-677-2351.</p> <p>ARCHITECT:</p> <p>PETER VANDERPOEL VANDERPOEL ARCHITECTURE</p> <p>1713 N. BRYAN ST. ARLINGTON, VA, 22201. T: 703-725-4328.</p> <p>STRUCTURAL ENGINEER:</p> <p>LORI LEVINE. POTOMAC ENGINEERING.</p> <p>43008 RUNNING RIDGE WAY LEESBURG, VA, 20176. T: 703-622-4944.</p> <p>MEP ENGINEER:</p> <p>SAM ODEH DESIGN AMERICA ENGINEERING.</p> <p>14080 RED RIVER DR. CENTREVILLE, VA, 20121. T: 571-220-3239.</p>	<p>SQUARE / SUFIX / LOT: ZONING: 0 R-3/R-20 HISTORIC DISTRICT: GEORGETOWN HISTORIC DISTRICT</p> <p>CLIMATE ZONE: 4A</p> <p>USE AND OCUPANCY: SINGLE FAMILY DWELLING (NO CHANGE)</p> <p>NUMBER OF STORIES: 2 (NO CHANGE)</p> <p>NUMBER OF DWELLING UNITS: 1 (NO CHANGE)</p> <p>APPLICABLE CODES</p> <p>2017 DCMR12B DC RESIDENTIAL CODE. 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE. 2017 DCMR12J DC EXISTING BUILDING CODE. 2015 EXISTING BUILDING CODE.</p> <p>SCOPE OF WORK</p> <p>WORK WILL CONSIST OF:</p> <ul style="list-style-type: none"> - REPLACEMENT OF EXISTING METAL ROOF WITH NEW COPPER ROOF - RESTORATION OF EXTERIOR COMPONENTS AND SELECTIVE REPLACEMENT IN KIND.



SHEET INDEX	
SHEET No.	SHEET NAME
A0	COVER SHEET
A1	INTERIORS – DEMOLITION FLOOR PLANS
A2	BUILDING ELEVATIONS – EXISTING
AP1	PHOTO REFERENCES
AP2	PHOTO REFERENCES
AP3	PHOTO REFERENCES
AP4	PHOTO REFERENCES
AP5	PHOTO REFERENCES
AP6	PHOTO REFERENCES
A3	INTERIORS – PROPOSED FLOOR PLANS
A4	BUILDING ELEVATIONS – PROPOSED
A5	BUILDING SECTIONS – PROPOSED
A6	ROOF PLAN AND DETAILS
A7	ROOF DETAILS



Renovations to
3619
O St. NW
Washington DC.
20007

2-D07-03

Drawing Title

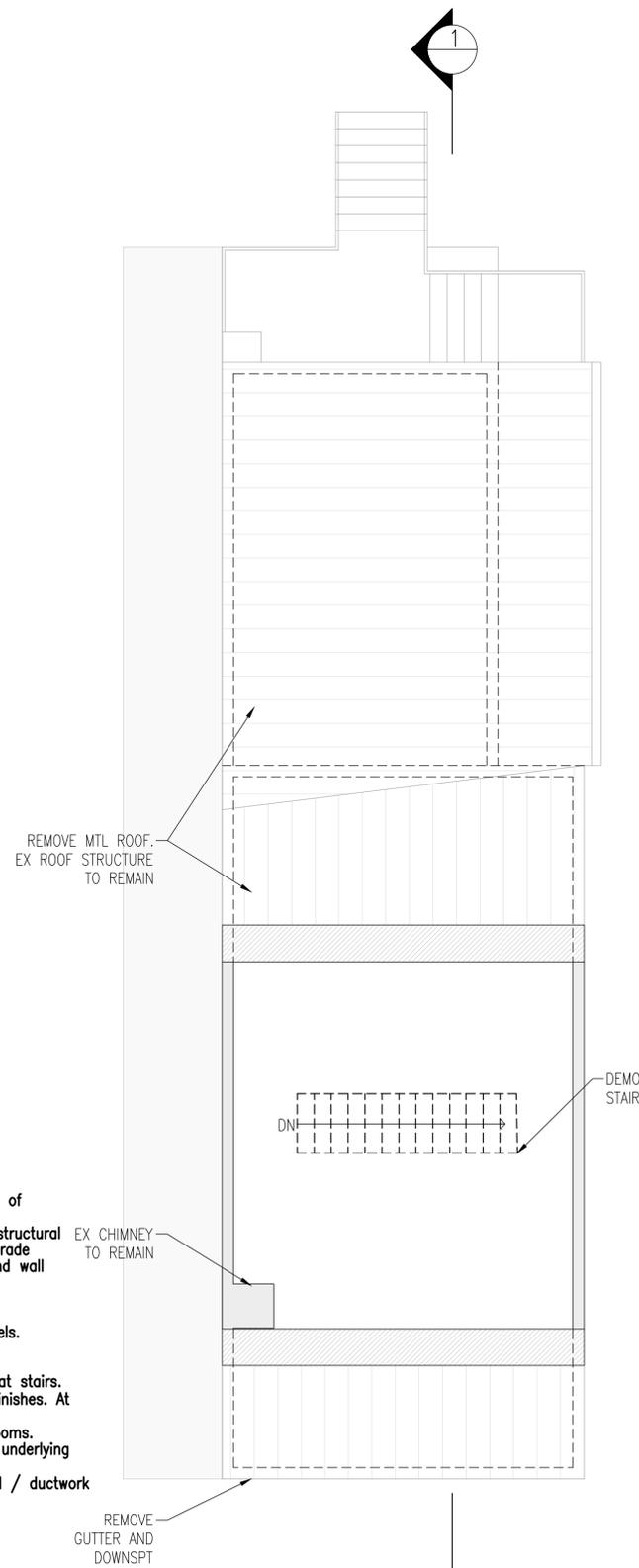
COVER SHEET

Project No. VA2205-05

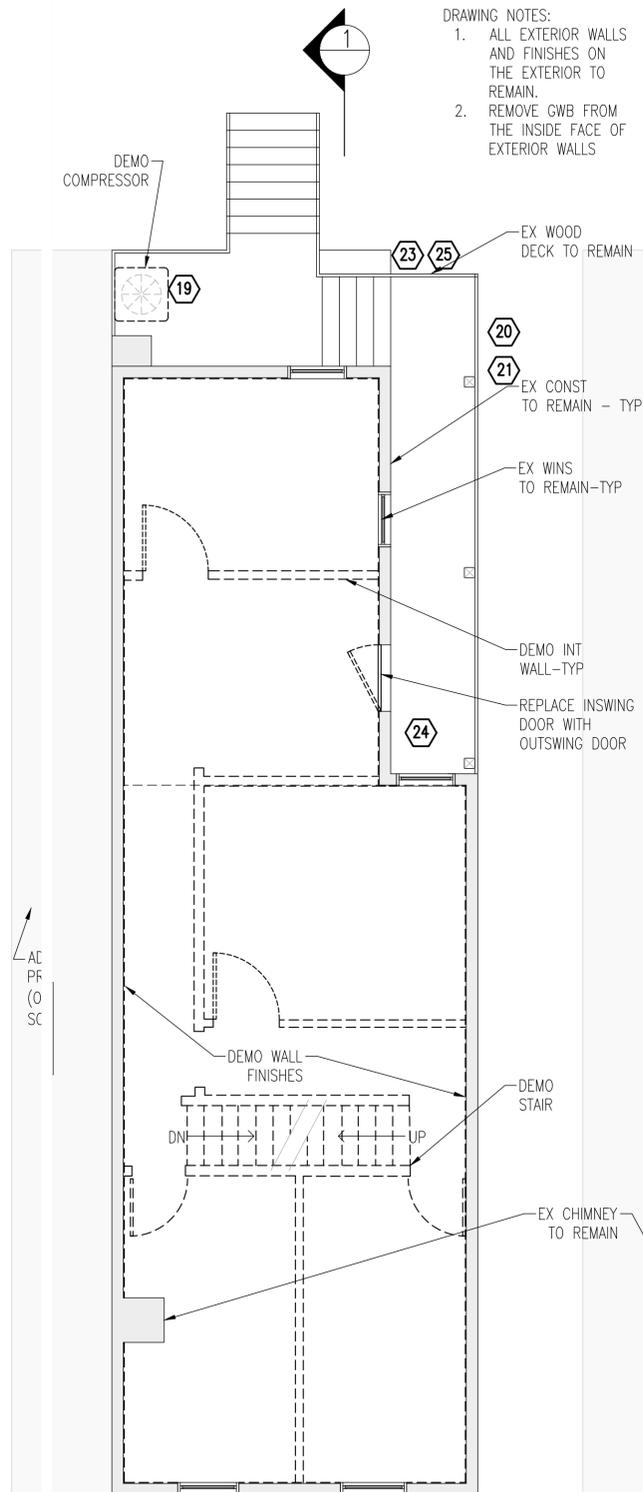
Date 23 JAN 23

A0

- Demolition General Notes**
- A. GC to coordinate testing and abatement of hazardous materials.
 - B. Retain all structural elements including structural walls, floor joists, roof joists and slab on grade.
 - C. Demo all kitchen and bathroom base and wall cabinetry.
 - D. Demo all plumbing fixtures.
 - E. Demo all appliances.
 - F. Demo and replace all utility access panels.
 - G. Demo all window treatments.
 - H. Demo all existing air distribution vents.
 - I. Demo all interior railings and handrails at stairs.
 - J. Demo all tile and carpet floor / stair finishes. At carpet, demo tack strips.
 - K. Demo existing door thresholds at bathrooms.
 - L. Remove finish from all interior walls to underlying structure.
 - M. Demo existing walls / doors / electrical / ductwork to allow for new work, ref. elec.

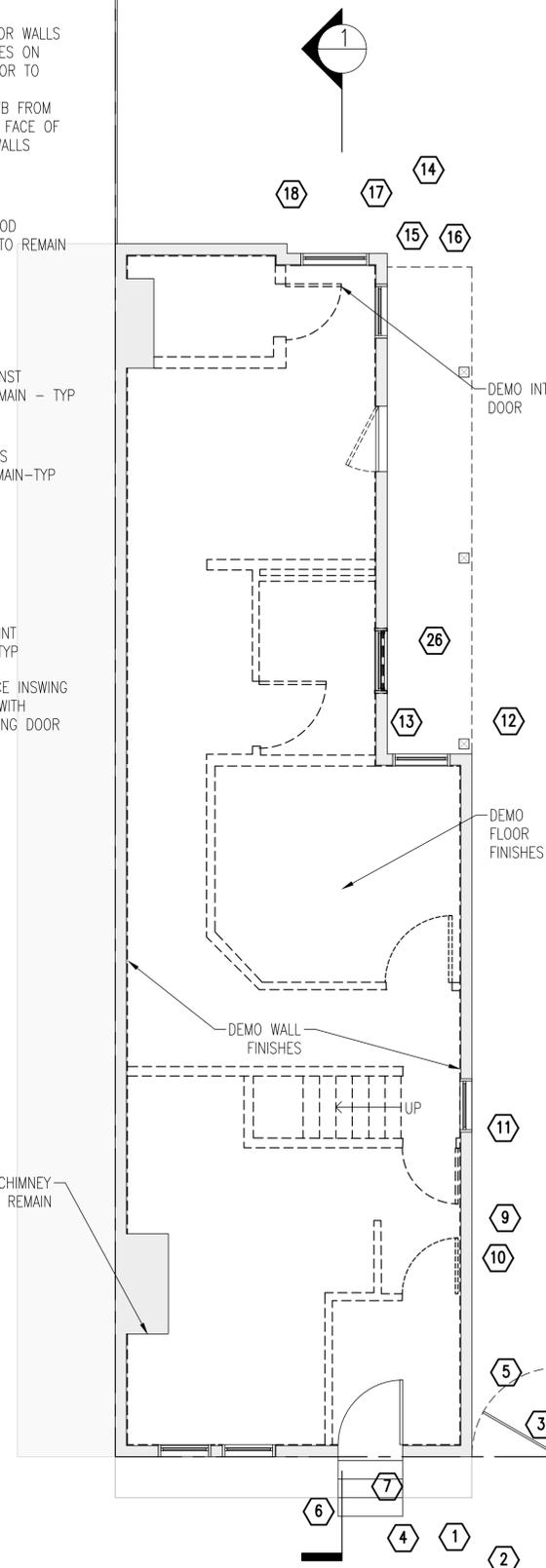


4 DEMO-THIRD FLOOR/ATTIC
1/8"=1'-0"

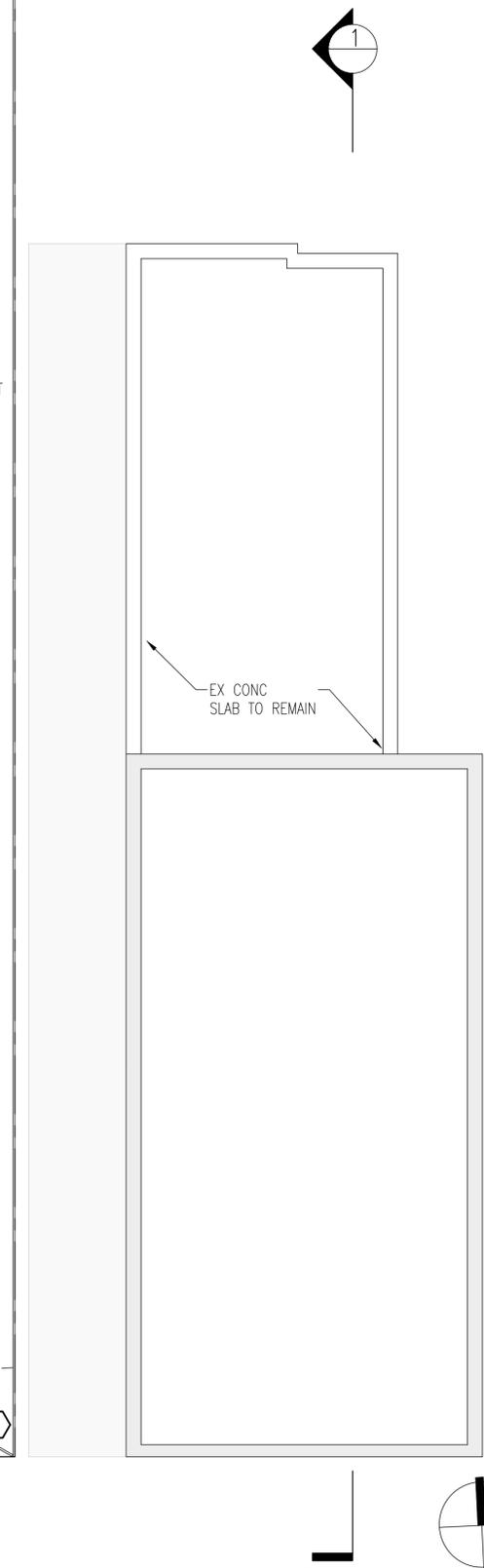


3 DEMO-SECOND FLOOR
1/8"=1'-0"

- DRAWING NOTES:**
1. ALL EXTERIOR WALLS AND FINISHES ON THE EXTERIOR TO REMAIN.
 2. REMOVE GWB FROM THE INSIDE FACE OF EXTERIOR WALLS



2 DEMO-FIRST FLOOR
1/8"=1'-0"



1 DEMO-CELLAR
1/8"=1'-0"



Renovations to
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Drawing Title

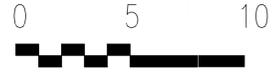
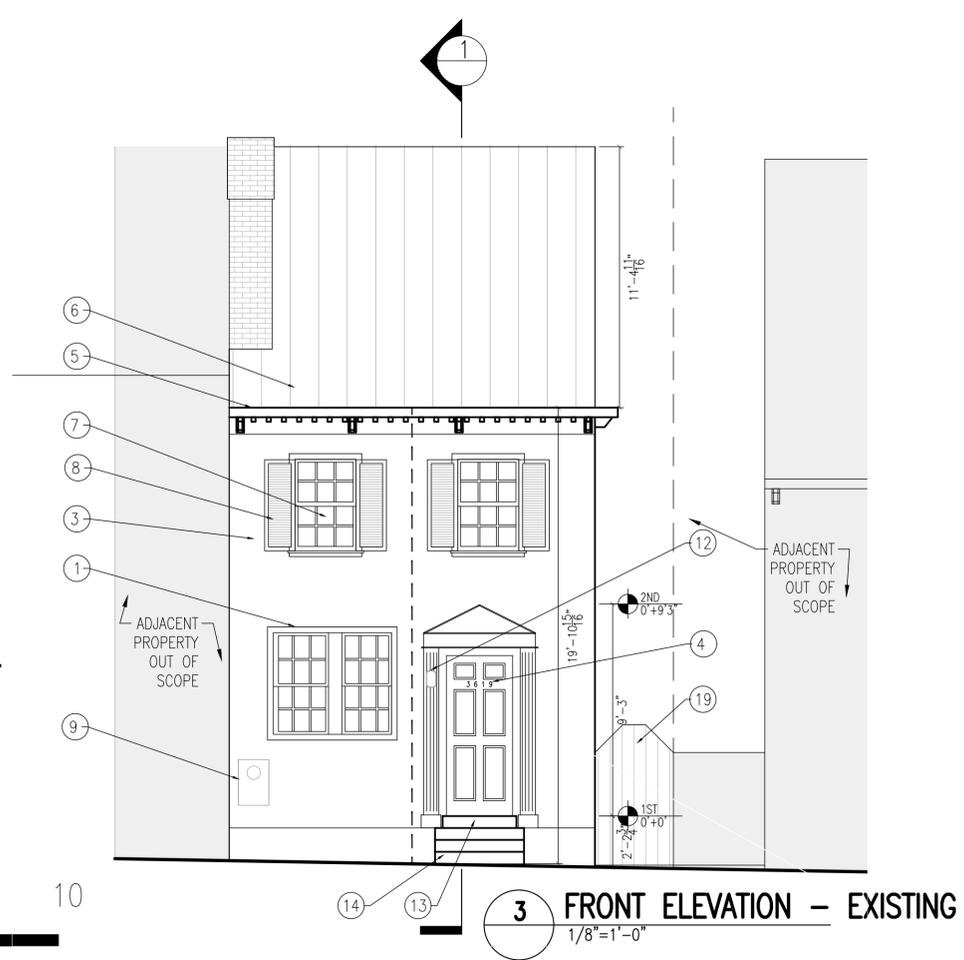
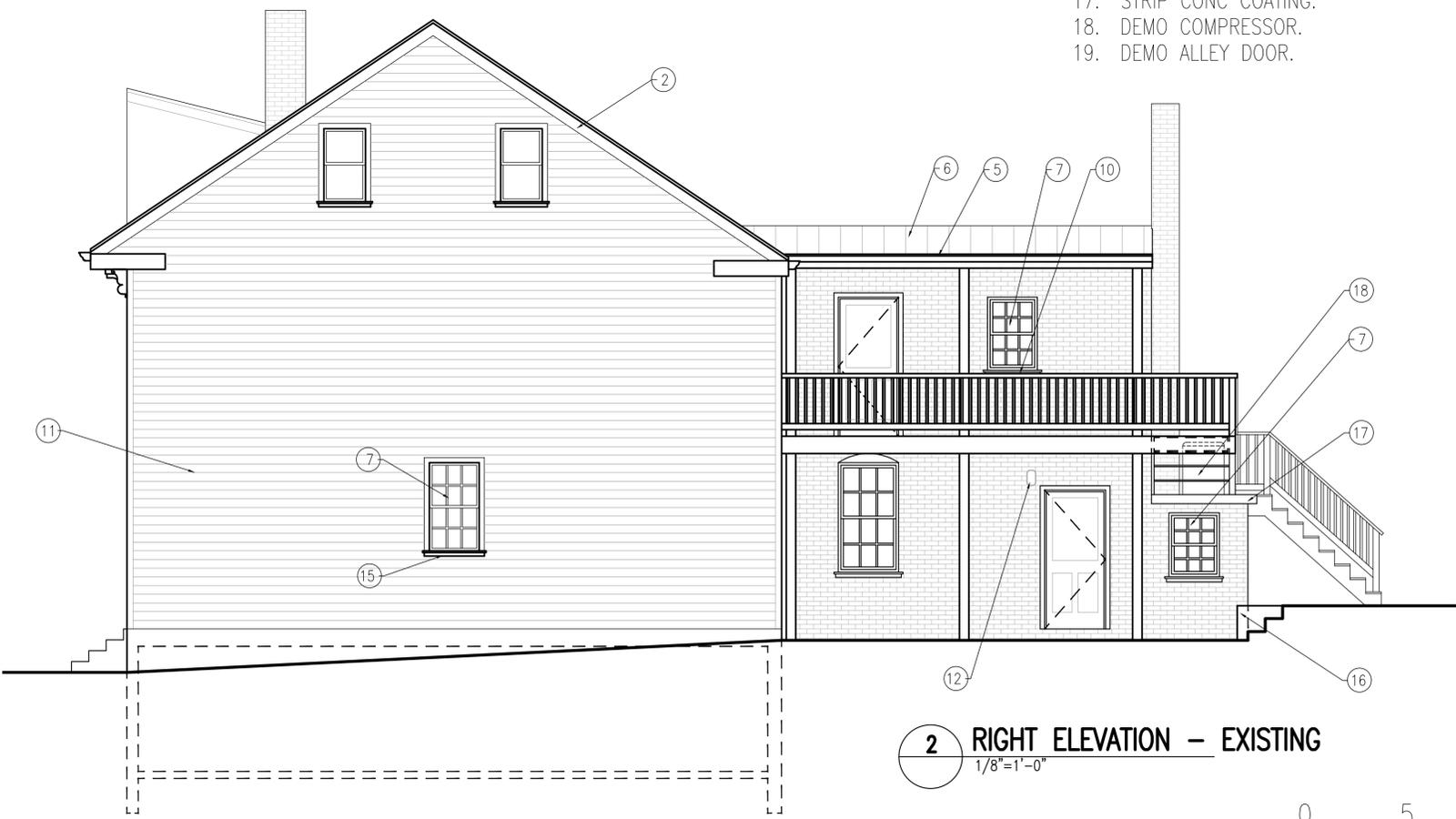
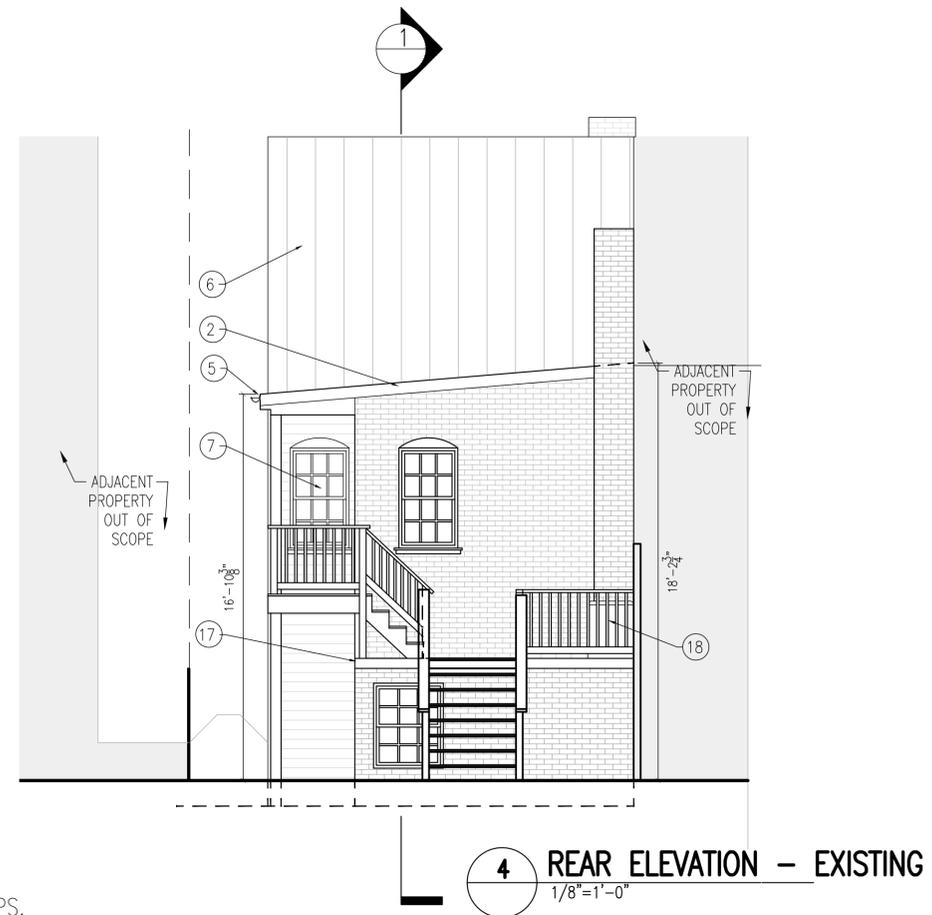
INTERIORS -
DEMOLITION
FLOOR PLANS

Project No. VA2205-05

Date 23 JAN 23

A1

- 1. DEMO CAP FLASHING.
- 2. DEMO METAL FLASHING.
- 3. DEMO STUCCO & LATH.
- 4. MTL NUMBERS TO REMAIN.
- 5. DEMO GUTTERS AND DOWNSPOUTS.
- 6. DEMO MTL ROOF.
- 7. EX WIN TO REMAIN TYP.
- 8. EX SHUTTERS TO REMAIN TYP.
- 9. RELOCATE ELEC METER TO ALLEY.
- 10. DEMO DAMAGED WIN TRIMS.
- 11. DEMO SIDING.
- 12. DEMO LIGHT FIXTURE.
- 13. DEMO THRESHOLD BLOCK.
- 14. DEMO BRICK PATCH.
- 15. REPLACE ROTTED TRIM.
- 16. DEMO CONC RETAINING WALL AND STEPS.
- 17. STRIP CONC COATING.
- 18. DEMO COMPRESSOR.
- 19. DEMO ALLEY DOOR.



Renovations to
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Drawing Title

BUILDING
ELEVATIONS -
EXISTING

Project No. VA2205-05

Date 23 JAN 23

A2



28 Existing flashing detail east face of neighboring structure



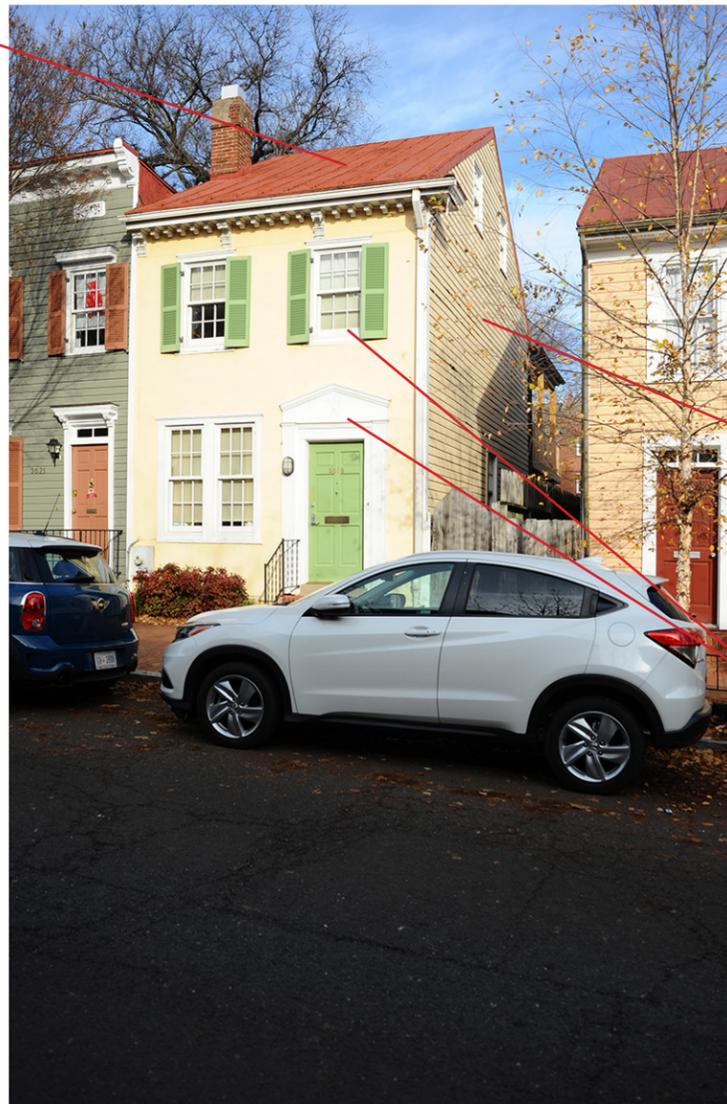
29 West face of neighboring structure showing proposed siding detail

1



- 1
- 8
- 5
- 2
- 4
- 6
- 15

2



- 4
- 12
- 17

3



Demolition Notes

1. Demo roof flashing and roofing
2. Demo stucco finish and lath
3. Remove loose parge, patch and paint
4. Existing window to remain-typical
5. Remove, refinish and reinstall existing shutters-typical
6. Demo ext light fixture
8. Demo gutter and downspout
11. Demo conc threshold block- provide limestone block
12. Demo siding
15. Sand, refinish and reinstall door
17. Sand and repaint wood trim-typical
25. Remove mtl flashing. Provide 5" german profile lap siding and trim similar to Image #29. Flash new roof under new siding.

#

indicates photo location-see plans



Renovations to
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Drawing Title

PHOTO REFERENCES

Project No. VA2205-05
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AP1

Demolition Notes

- 2. Demo stucco finish and lath
- 4. Existing window to remain
- 6. Demo ext light fixture
- 11. Demo conc threshold block- provide limestone block
- 15. Sand, refinish and reinstall door
- 17. Sand and repaint wood trim
- 19. Replace rotted wood trim
- 20. Replace foundation vents
- 21. Remove conc patch-install brick treads

indicates photo location-see plans



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Drawing Title

PHOTO REFERENCES

Project No. VA2205-05
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AP2



Image of 8" shiplap siding beneath existing stucco

27



6

21

4



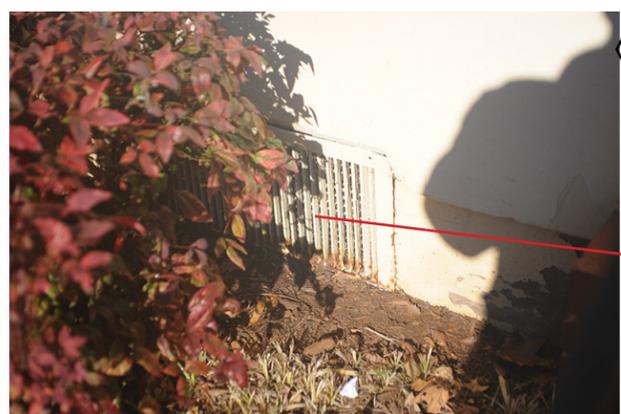
5

19



17

6



7

20



11

7

8 Not Used



9

Photo depicting german existing german profile siding

Demolition Notes

- 17. Patch, sand and repaint wood trim
- 19. Replace rotted wood trim
- 20. Replace foundation vents
- 21. Remove conc patch-install brick treads
- 22. Sand and Paint existing metal ramp guards

#

indicates photo location-see plans



Renovations to
3619
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Drawing Title

PHOTO REFERENCES

Project No.	VA2205-05
Date	23 JAN 23

AP3



20

10



19

11



22

12



6

13

Demolition Notes

- 6. Demo ext light fixture
- 10. Route cabling inside house
- 12. Demo conc/tile retaining wall and provide 2 wythe brick retaining wall
- 14. Reset misaligned pavers
- 16 Repair damaged mortar
- 19. Replace rotted wood trim
- 21. Remove conc steps-install brick treads
- 23. Flash patch tread

#

indicates photo location-see plans



Renovations to
3619
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Washington DC.
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Drawing Title

PHOTO REFERENCES

Project No. VA2205-05
Date 23 JAN 23

AP4

14

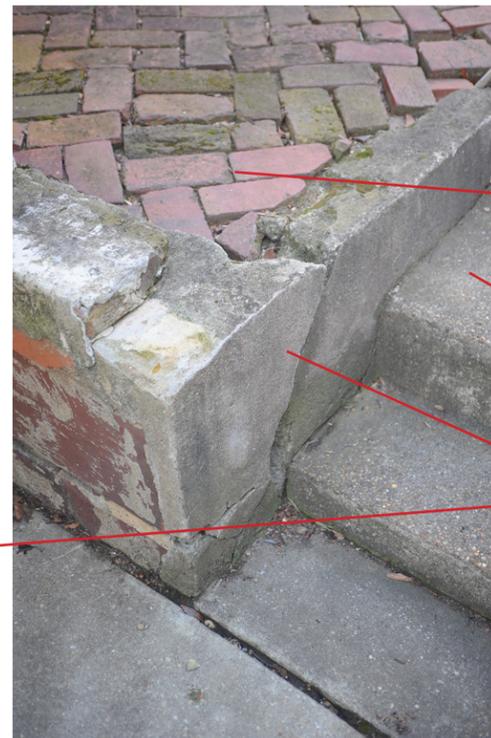


23

15



16



14

21

12



17

3



19

18



Demolition Notes

- 3. Remove loose parge, patch and paint
- 14. Reset misaligned pavers
- 17. Sand and repaint wood trim
- 18. Demo compressor
- 24. Paint existing wood deck, posts and balusters



indicates photo location-see plans



Renovations to
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Drawing Title

PHOTO REFERENCES

Project No. VA2205-05
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AP5



18

3



20

24



21



26



25

23

24

Demolition Notes

- 3. Remove loose parge, patch and paint
- 10. Route cabling inside house
- 17. Sand and repaint wood trim
- 19. Replace rotted wood trim
- 24. Paint existing wood deck, posts and balusters
- 25. Replace entire porch ceiling w/ bead board marine grade plywd-paint
- 26. Remove conc waterproofing, provide new coating



indicates photo location-see plans



Renovations to
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2-D07-03

Drawing Title

PHOTO REFERENCES

Project No. VA2205-05
Date 23 JAN 23

AP6



24

26

10



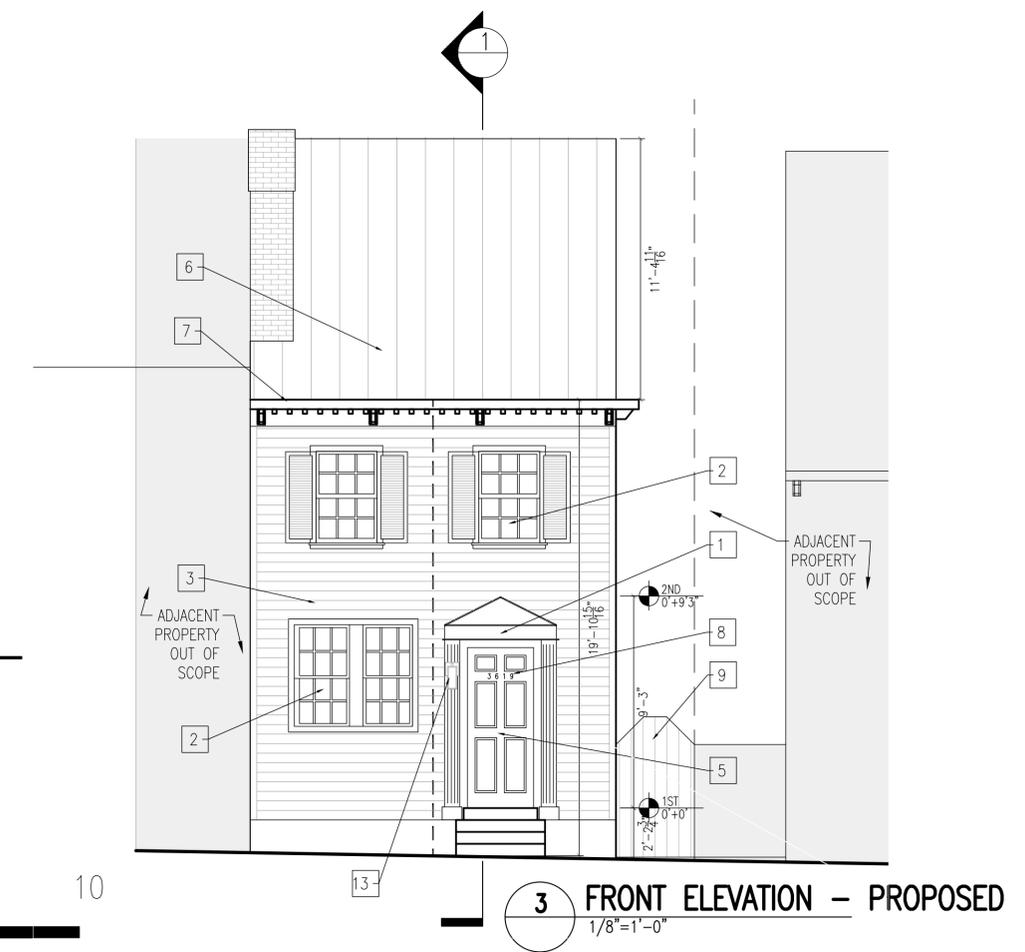
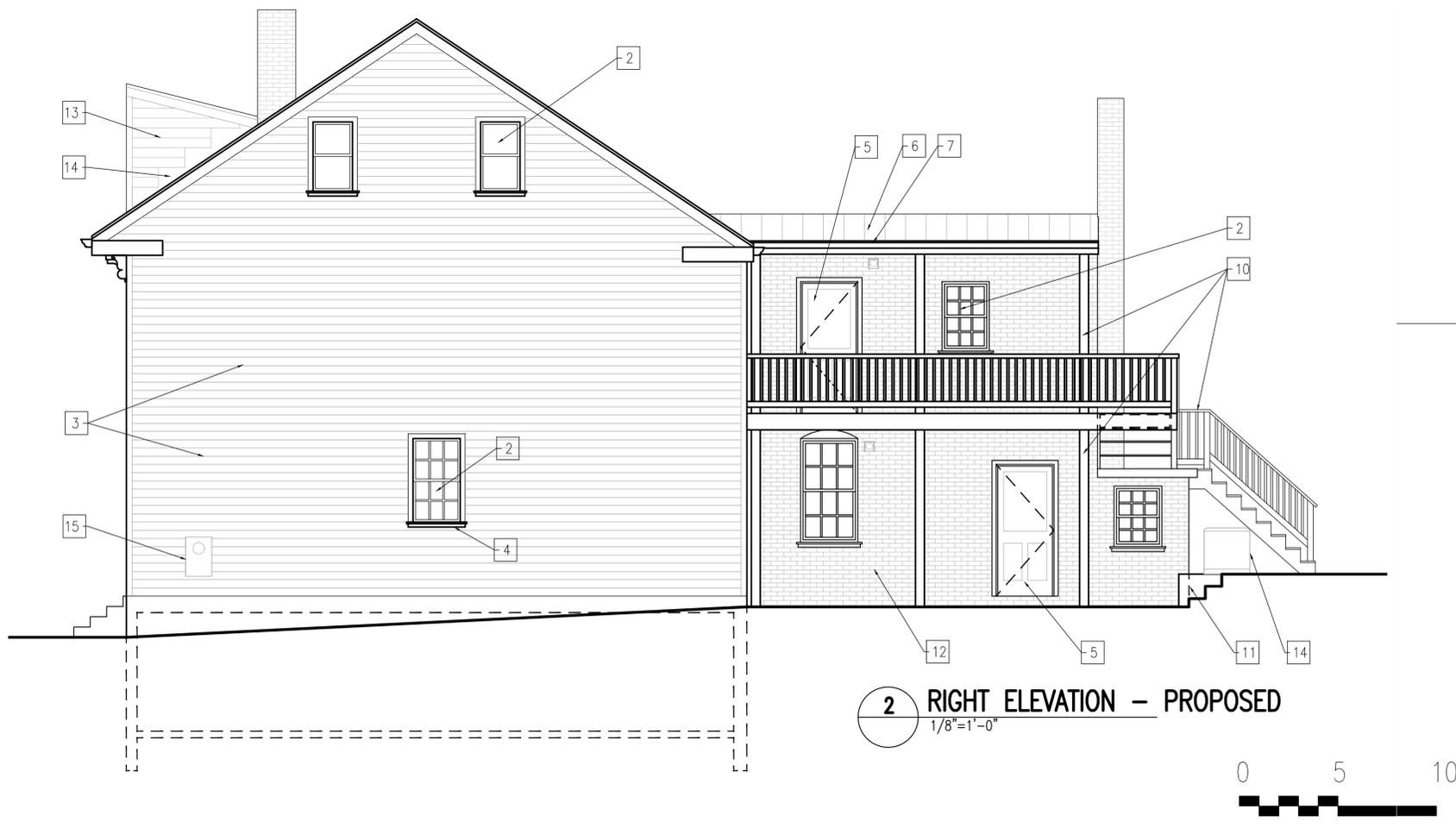
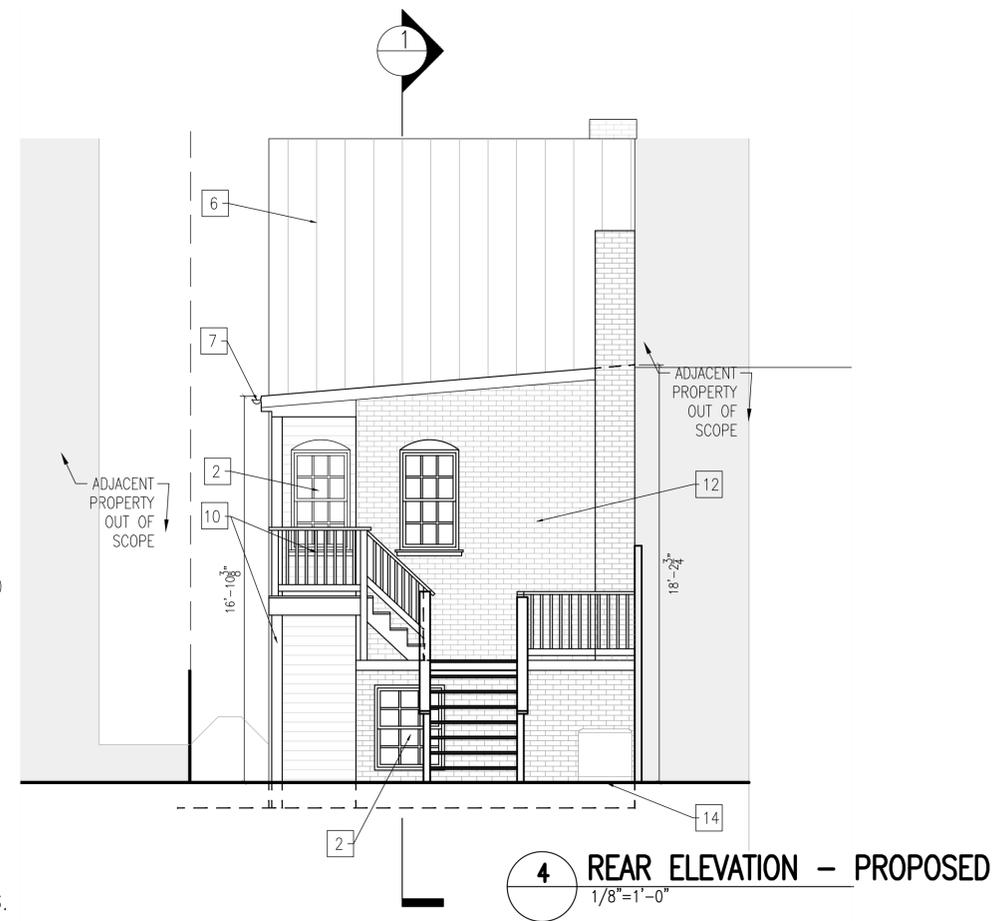
17

19

25

26

- 1. SAND AND REFINISH WD TRIM.
- 2. EX WIN TO REMAIN.
- 3. PROVIDE NEW SIDING.
- 4. PATCH, SAND AND PAINT WD TRIM.
- 5. SAND AND REPAINT DOORS.
- 6. PROVIDE SS COPPER ROOF.
- 7. PROVIDE HALF ROUND COPPER GUTTERS AND DOWNSPOUTS.
- 8. MTL NUMBERS TO REMAIN.
- 9. PROVIDE NEW ALLEY DOOR.
- 10. PAINT EX WD STRUC AND HANDRAIL SYSTEM.
- 11. PROVIDE BRICK STEPS AND RETAINING WALL.
- 12. CLEAN AND PAINT EX BRICK.
- 13. PROVIDE LIGHT FIXTURE.
- 14. PROVIDE COMPRESSOR.
- 15. ELEC METER RELOCATED.
- 16. PROVIDE SIDING ON EX ADJACENT WALL.
- 17. PROVIDE STEP FLASHING UNDERNEATH SIDING.



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Drawing Title

BUILDING
ELEVATIONS –
PROPOSED

Project No. VA2205-05

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A4

11x17 sheets are 1/2 size



Renovations to
3619
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2-D07-03

Drawing Title

BUILDING
SECTION -
PROPOSED

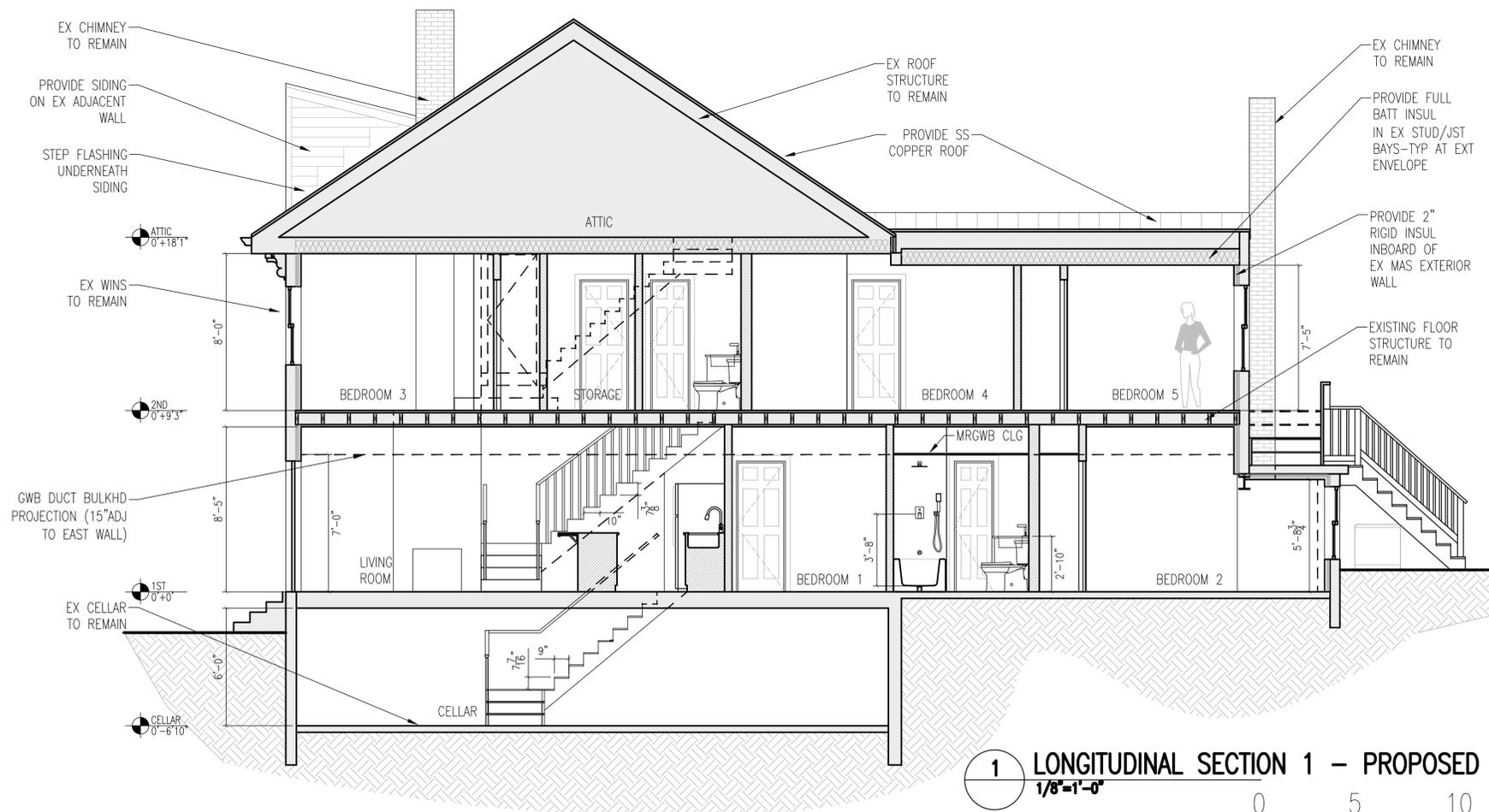
Project No. VA2205-05

Date 23 JAN 23

A5

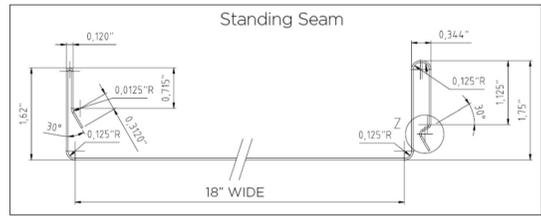
11x17 sheets are 1/2 size

INSULATION SCHEDULE						
LOCATION	TYPE	THK (IN)	R-VALUE/IN	R-VALUE	R VALUE REQ'D	NOTES
FOUNDATION	RIGID	2	5	10	10	EXTEND HORIZ 2' INSID PERI
WALL	BATT	5.5000	3.6300	20	20	
CLG/ROOF	BATT	14	3.5000	49	49	

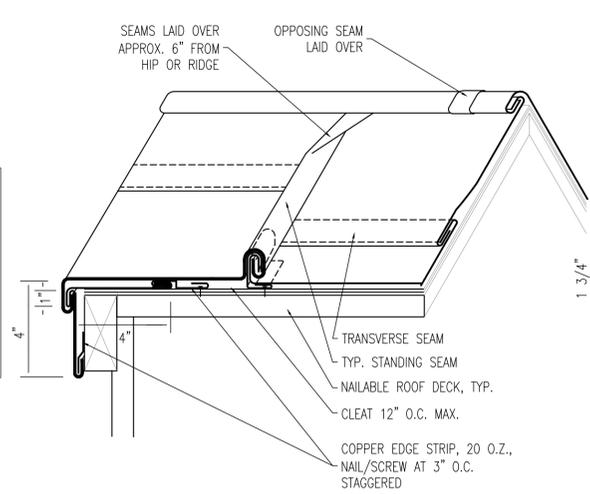


1 LONGITUDINAL SECTION 1 - PROPOSED
1/8"=1'-0"

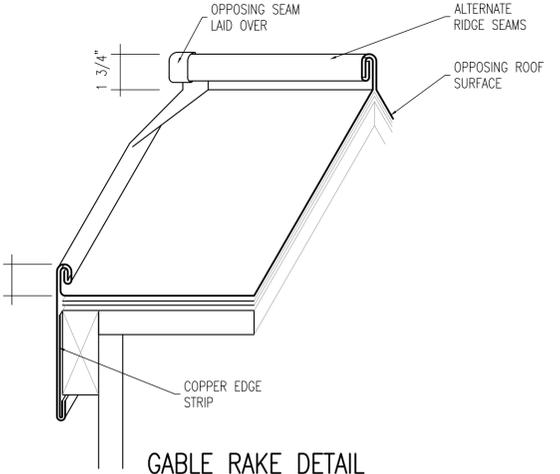




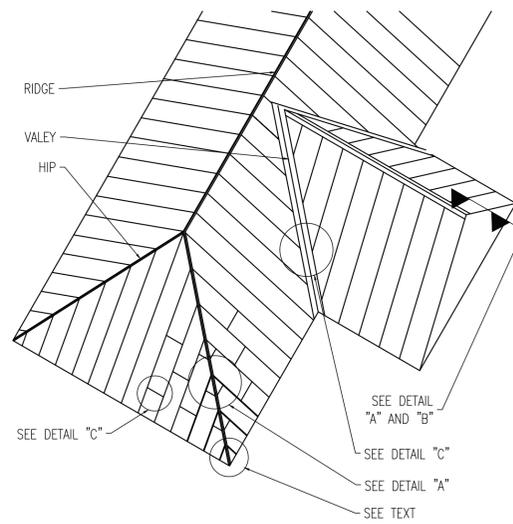
STANDING SEAM
PANEL DETAIL



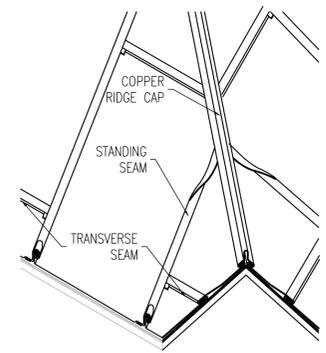
TYPICAL STANDING SEAM



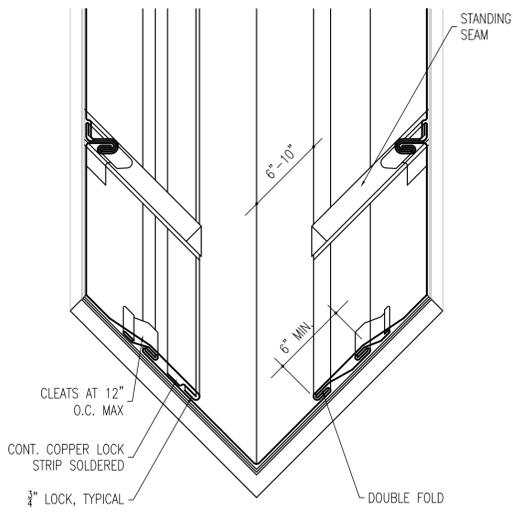
GABLE RAKE DETAIL



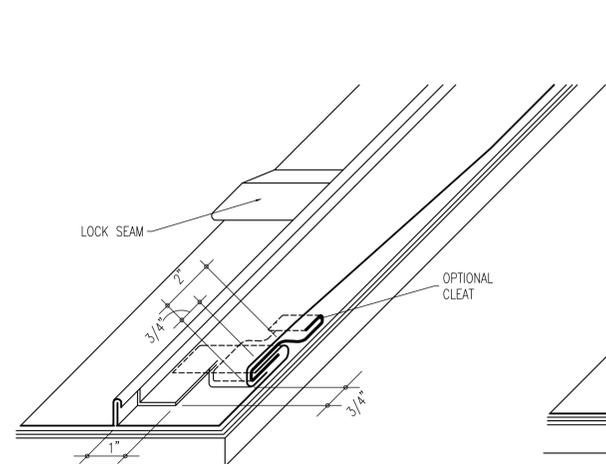
STANDING SEAM ROOF - OVERALL VIEW



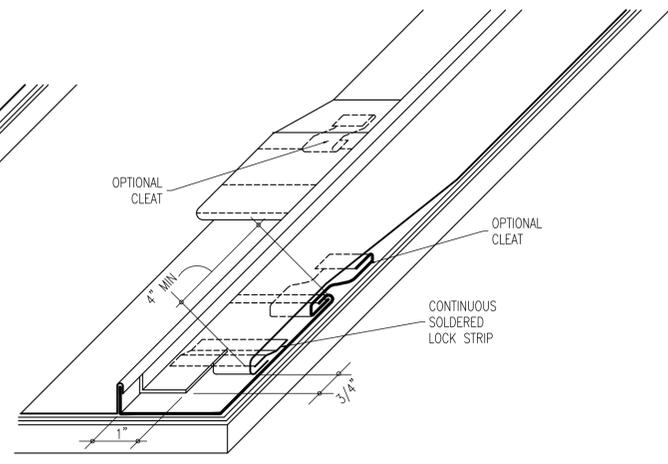
STANDING SEAM HIP DETAIL



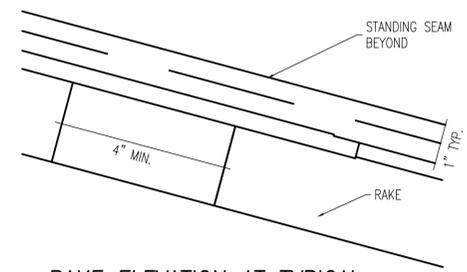
STANDING SEAM,
VALLEY DETAIL



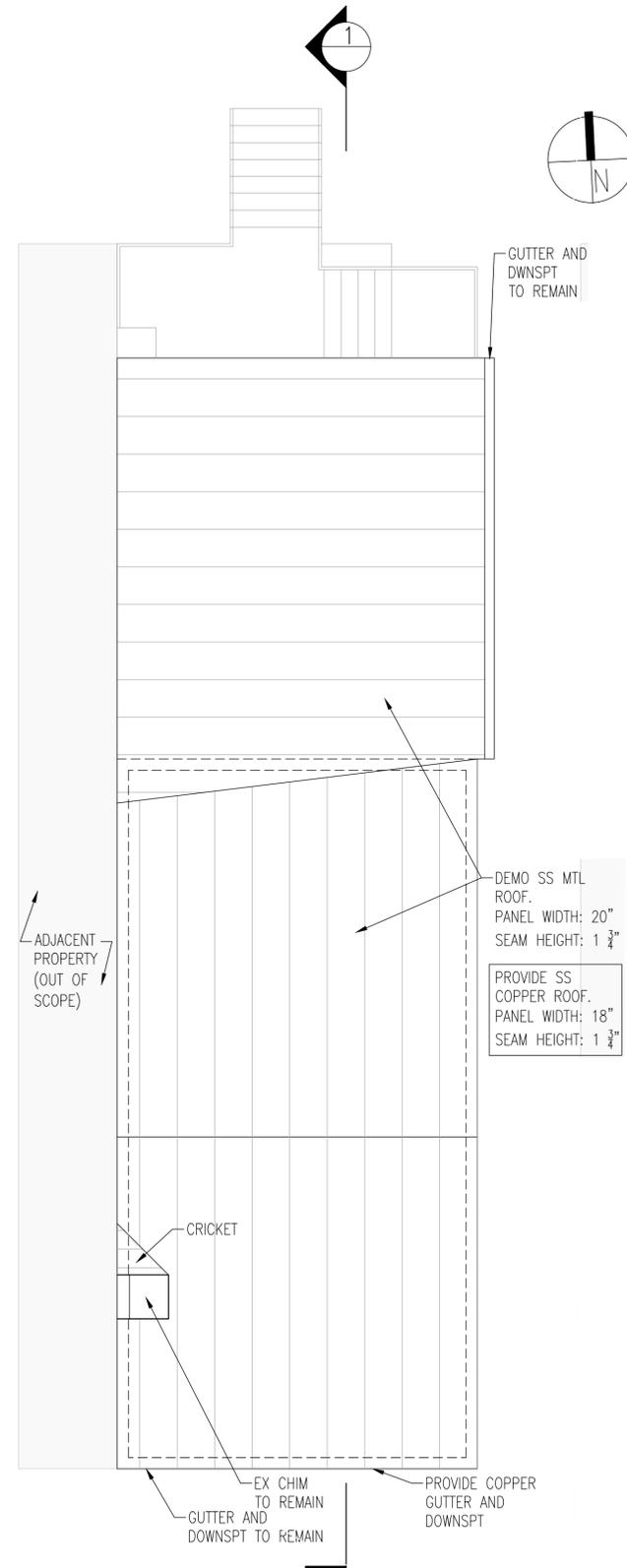
STEEP PITCH DETAIL



LOW PITCH DETAIL



RAKE ELEVATION AT TYPICAL
STANDING SEAM



1 ROOF PLAN
1/8"=1'-0"



Renovations to
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Drawing Title

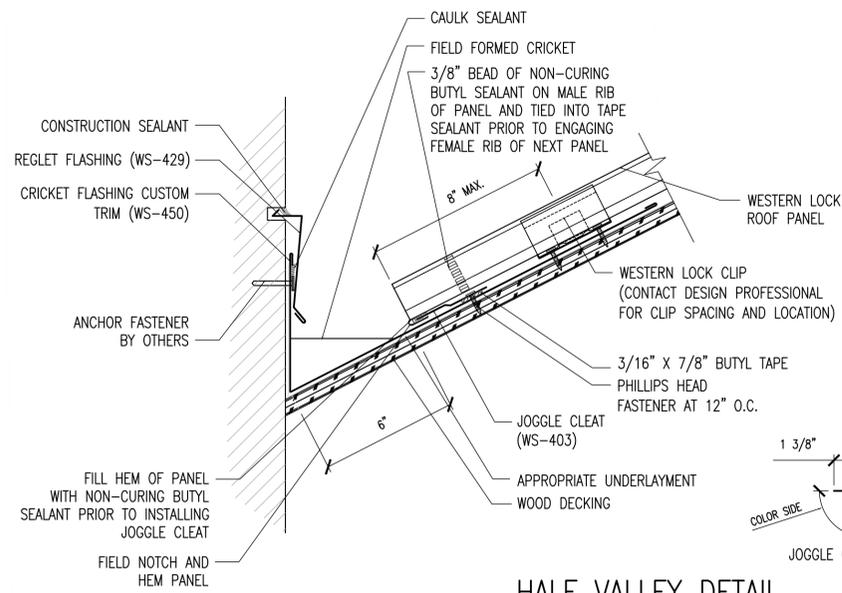
ROOF PLAN
AND DETAILS

Project No. VA2205-05

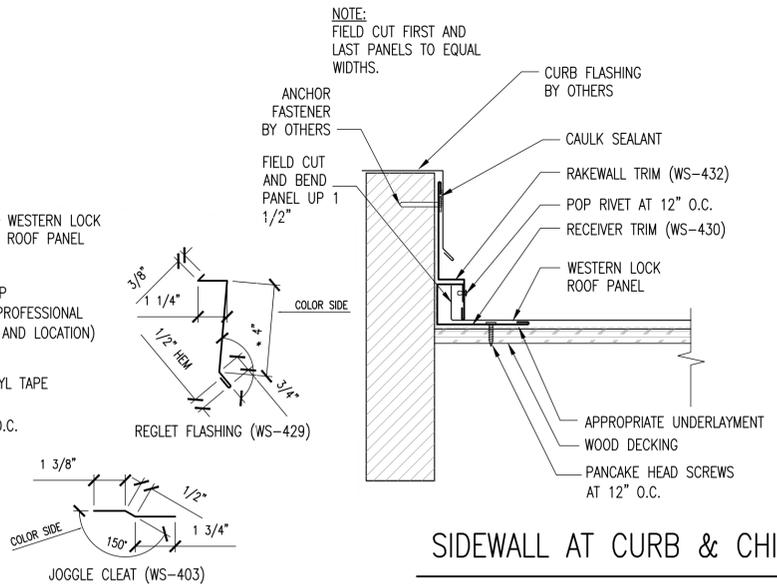
Date 23 JAN 23

A6

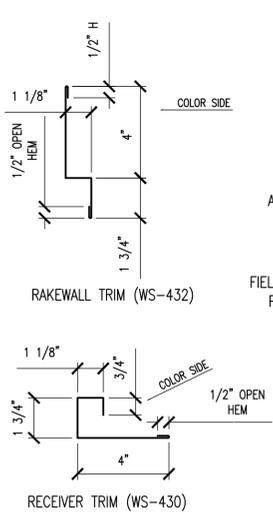
11x17 sheets are 1/2 size



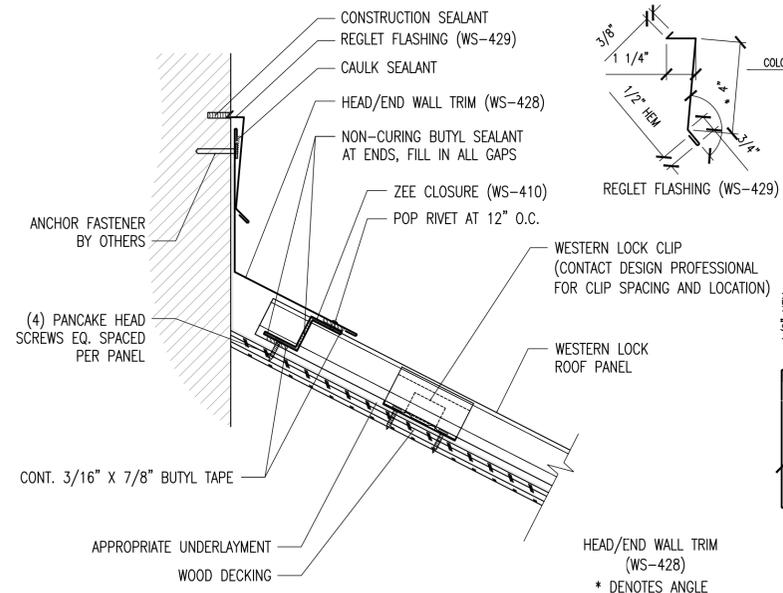
HALF VALLEY DETAIL



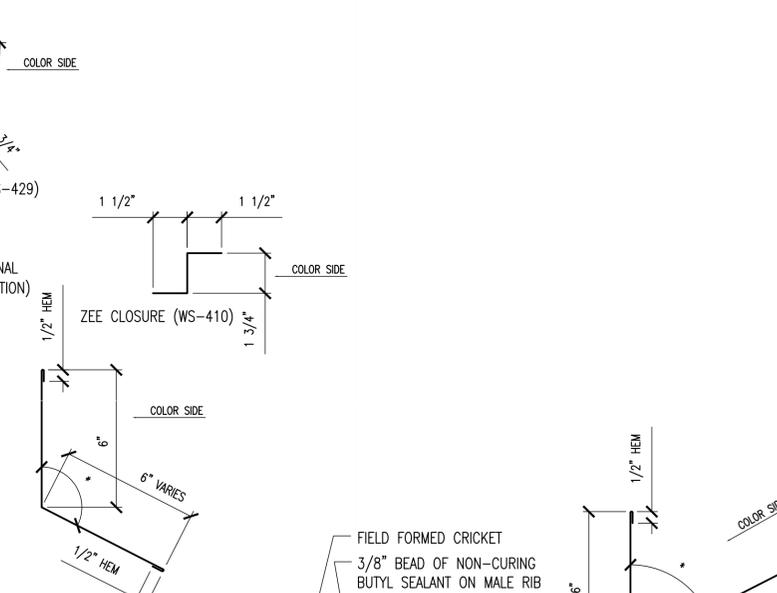
SIDEWALL AT CURB & CHIMNEY DETAIL



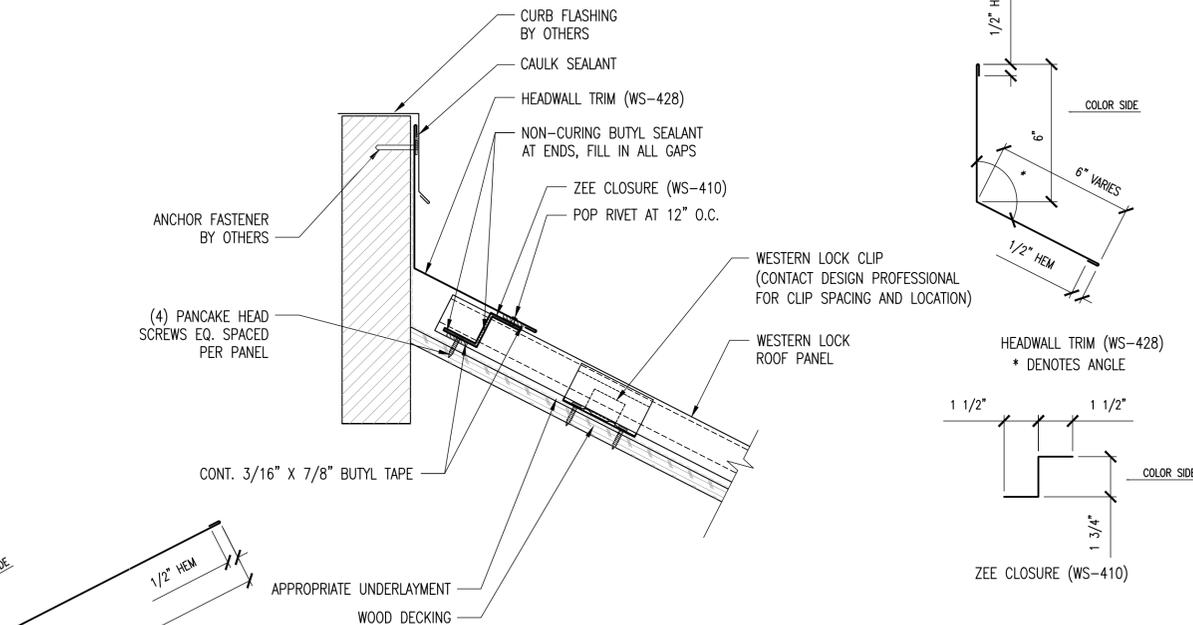
FLASHING ON ADJACENT SIDING WALL



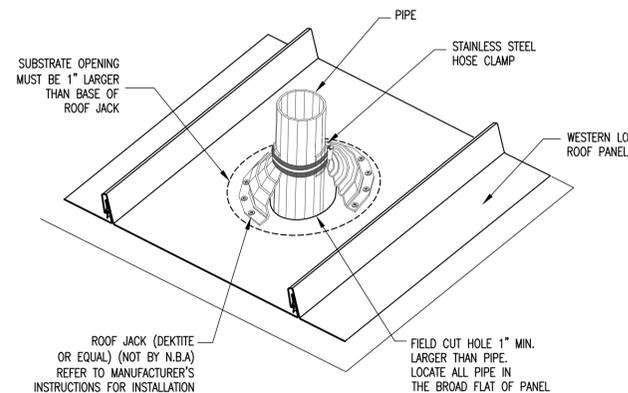
FIXED HEADWALL DETAIL



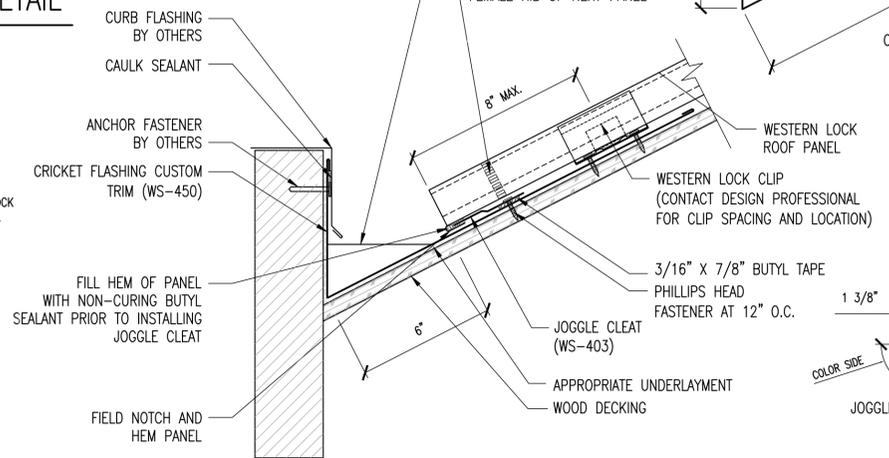
D23 - CRICKET FLASHING AT CURB & CHIMNEY DETAIL



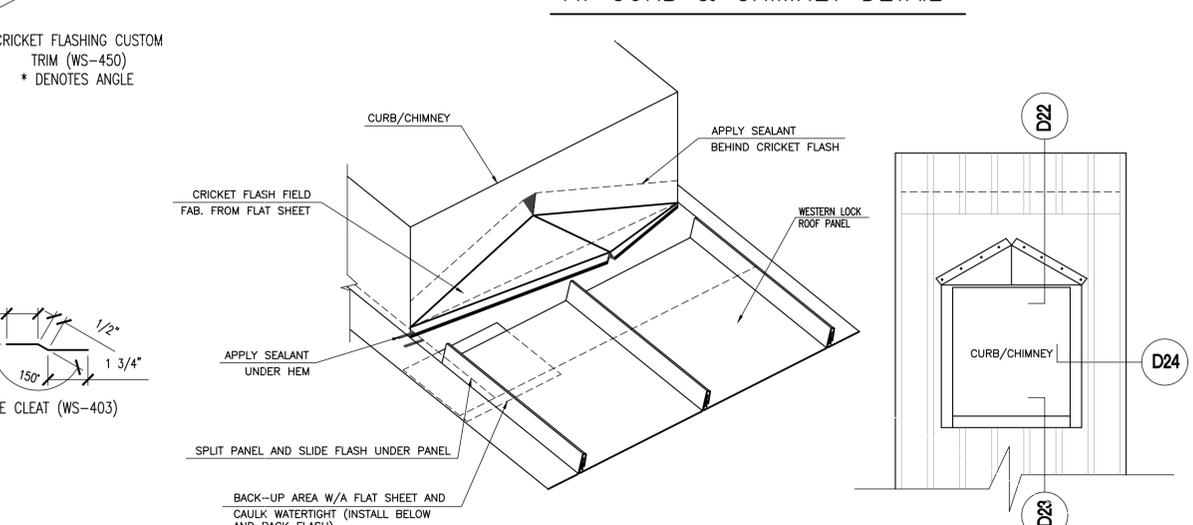
D24 - PITCHBREAK AT CURB & CHIMNEY DETAIL



PIPE PENETRATION DETAIL



D23 - CRICKET FLASHING AT CURB & CHIMNEY DETAIL



ISOMETRIC CURB

PLAN VIEW



Renovations to
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Drawing Title

ROOF DETAILS

Project No. VA2205-05
Date 23 JAN 23

A7

11x17 sheets are 1/2 size

23 Jan 23

Project Address: 3619 O St. NW

Re: Response to Comments:

Project Address: 1316 36 St. NW



address

1713 N. Bryan Street
Arlington, VA 22201

tel 703-725-4328
url www.pvanderpoel.com

Below are listed comments received for the project with response italicized and indented.

VA2205-05
3619 O St

Comments:

1. Have you investigated the construction/conditions of the stucco on the front facade? I am not sure why stucco was applied and am wondering if historic siding exists underneath that might shed light on the original profile of the siding. Typically, houses like this were either clad entirely in lap siding, like you show in the submission, or sometimes they had a German profile on the front and plain clapboards on the side (the German profile being more expensive and therefore only used on the most visible elevation). The OGB considers historic precedent when making recommendations.

Demolition of the existing stucco on the front elevation has revealed a ship lap siding with 8" weather face. See image #27

2. Please amend your application to include documentation of the existing metal roof panel widths and seam heights. The OGB typically likes replacement metal roofing to match the existing conditions.

Information regarding the roof seam height and spacing has been added to the drawings. See A6

3. I am a bit confused as to how the roof will terminate at the neighbor's wall to the west. Can you clarify?

We propose removing the existing flashing from the east face of the neighboring building, providing siding and trim to match the west face of the existing of the neighboring building and inserting new wall/roof flashing under the new siding. See images 28, 29 and drawing details, A7

4. Would the roofing be regletted into the masonry chimneys?

We propose raking the chimney mortar joints, inserting counter flashing with sealant where the counter flashing is inserted into the brickwork. See A7

5. Is it possible to locate the electric meter to the side or rear of the house, where it is less visible?

We will contact Pepco and our electrician to determine the feasibility and ramifications of a relocation of the meter to the rear yard.



6. Please add the existing compressor to the plan and elevation drawings. Will there be a replacement compressor? Where is it to be located? Please show the proposed location in plan and elevation.

*The revised plans show the existing compressor and a new compressor.
See A0, A1*

7. If not shown at concept, it will need to be shown in the permit drawings - the design of any exterior replacement railings and specs for replacement items like alley gates, light fixtures, etc.

More detailed information will accompany the permit submission.

Please make any necessary revisions to your submission and return to me via email no later than Monday 1/23.

Thank you,

Mary Catherine Bogard

Historic Preservation Specialist | U.S. Commission of Fine Arts
401 F Street NW Suite 312 Washington, DC 20001
202.233.8618 | www.cfa.gov

Please let use know if you have any questions or need additional information

Sincerely,

Peter VanderPoel