

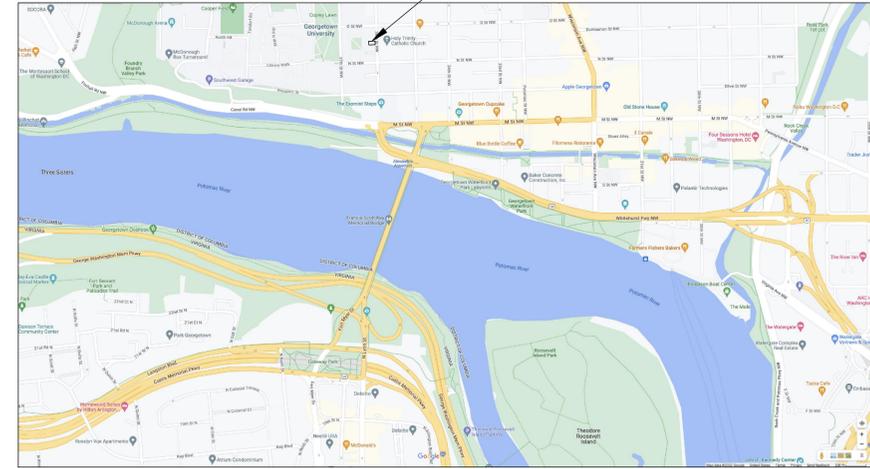
# GEORGETOWN UNIVERSITY TOWNHOUSE EXTERIOR REPAIRS

OLD GEORGETOWN BOARD SUBMISSION – JANUARY 2023

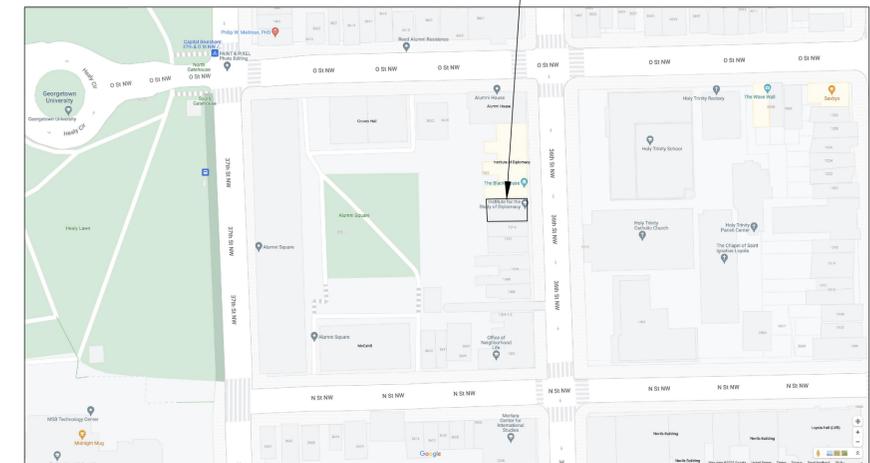
GU PROJECT ID #: 2-C14-02

PROJECT TEAM	PROJECT DATA
<p><b>CLIENT:</b> GEORGETOWN UNIVERSITY 3700 O ST. NW, NEW SOUTH L 104 WASHINGTON DC 20057. T: 571-722-6459.</p> <p><b>GENERAL CONTRACTOR:</b> PEDRAM HATAMI PIVOT CONSTRUCTION 502 NUTLEY ST. VIENNA, VA, 22180. T: 703-677-2351.</p> <p><b>ARCHITECT:</b> PETER VANDERPOEL VANDERPOEL ARCHITECTURE 1713 N. BRYAN ST. ARLINGTON, VA, 22201. T: 703-725-4328.</p> <p><b>STRUCTURAL ENGINEER:</b> LORI LEVINE. POTOMAC ENGINEERING. 43008 RUNNING RIDGE WAY LEESBURG, VA, 20176. T: 703-622-4944.</p> <p><b>MEP ENGINEER:</b> SAM ODEH DESIGN AMERICA ENGINEERING. 14080 RED RIVER DR. CENTREVILLE, VA, 20121. T: 571-220-3239.</p>	<p>SQUARE / SUFIX / LOT: ZONING: 0 R-3/R-20 HISTORIC DISTRICT: GEORGETOWN HISTORIC DISTRICT</p> <p>CLIMATE ZONE: 4A</p> <p>USE AND OCUPANCY: SINGLE FAMILY DWELLING (NO CHANGE)</p> <p>NUMBER OF STORIES: 2 (NO CHANGE)</p> <p>NUMBER OF DWELLING UNITS: 1 (NO CHANGE)</p> <p>APPLICABLE CODES</p> <p>2017 DCMR12B DC RESIDENTIAL CODE. 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE. 2017 DCMR12J DC EXISTING BUILDING CODE. 2015 EXISTING BUILDING CODE.</p> <p>SCOPE OF WORK</p> <p>WORK WILL CONSIST OF:</p> <ul style="list-style-type: none"> <li>- REPLACEMENT OF EXISTING METAL ROOF WITH NEW COPPER ROOF</li> <li>- RESTORATION OF EXTERIOR COMPONENTS AND SELECTIVE REPLACEMENT IN KIND.</li> </ul>

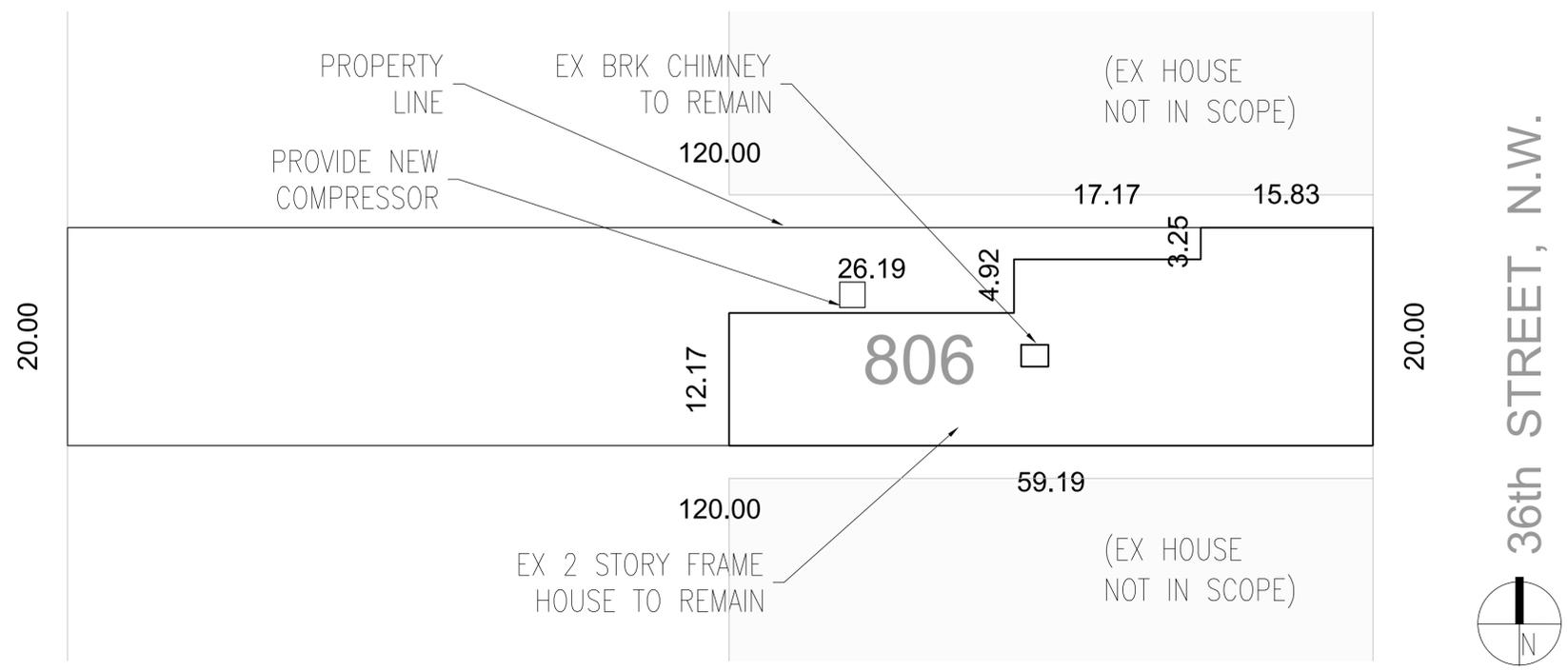
SHEET INDEX	
SHEET No.	SHEET NAME
A0	COVER SHEET
A1	INTERIORS – DEMOLITION FLOOR PLANS
A2	BUILDING ELEVATIONS – EXISTING
AP1	PHOTO REFERENCES
AP2	PHOTO REFERENCES
AP3	PHOTO REFERENCES
AP4	PHOTO REFERENCES
A3	INTERIORS – PROPOSED FLOOR PLANS
A4	BUILDING ELEVATIONS – PROPOSED
A5	BUILDING SECTIONS – PROPOSED
A6	ROOF PLAN AND DETAILS
A7	ROOF DETAILS



VICINITY MAP



LOCATION MAP



1 SITE PLAN



Renovations to  
1316  
36th St. NW  
Washington DC.  
20007

2-C14-02

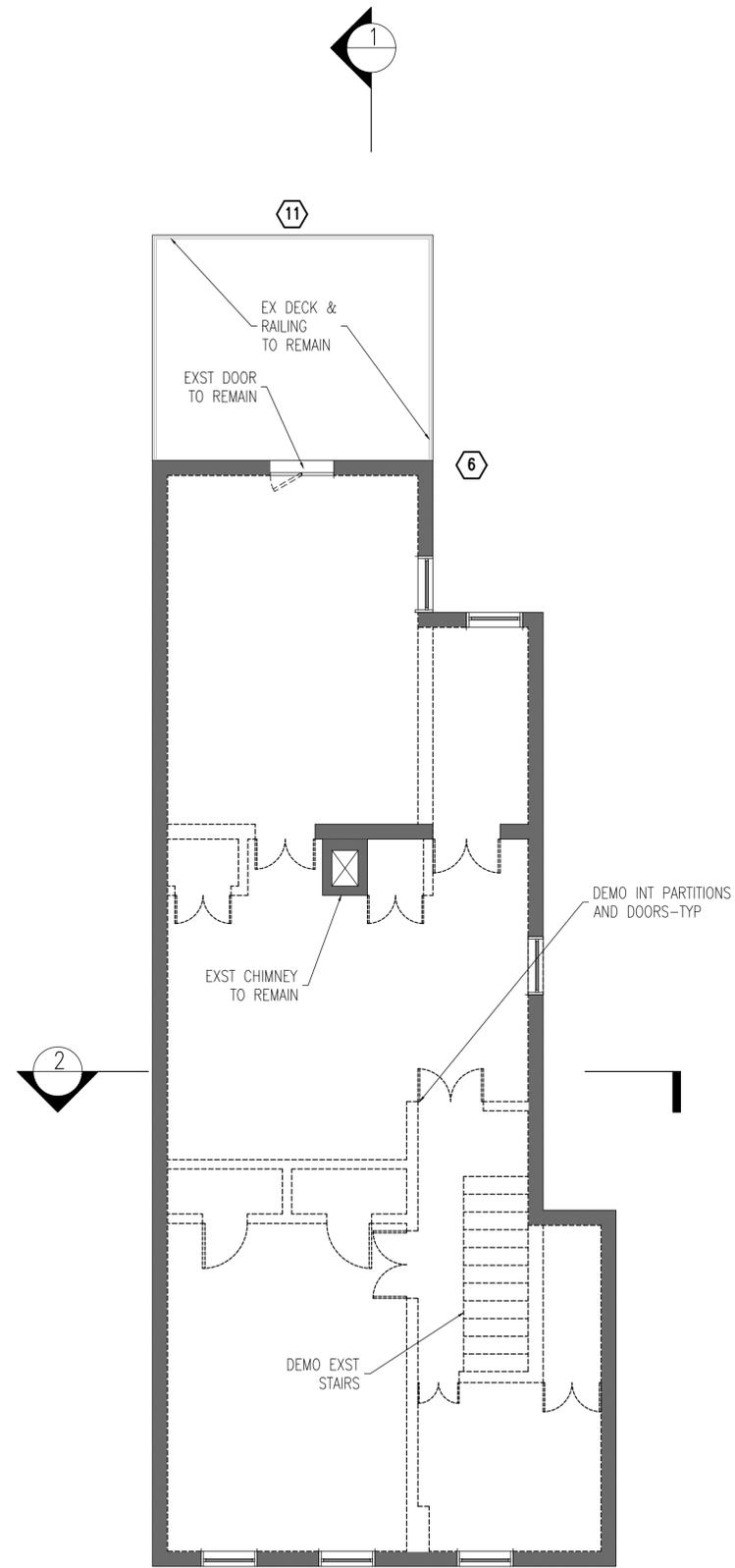
Drawing Title

COVER SHEET

Project No. VA2205-03

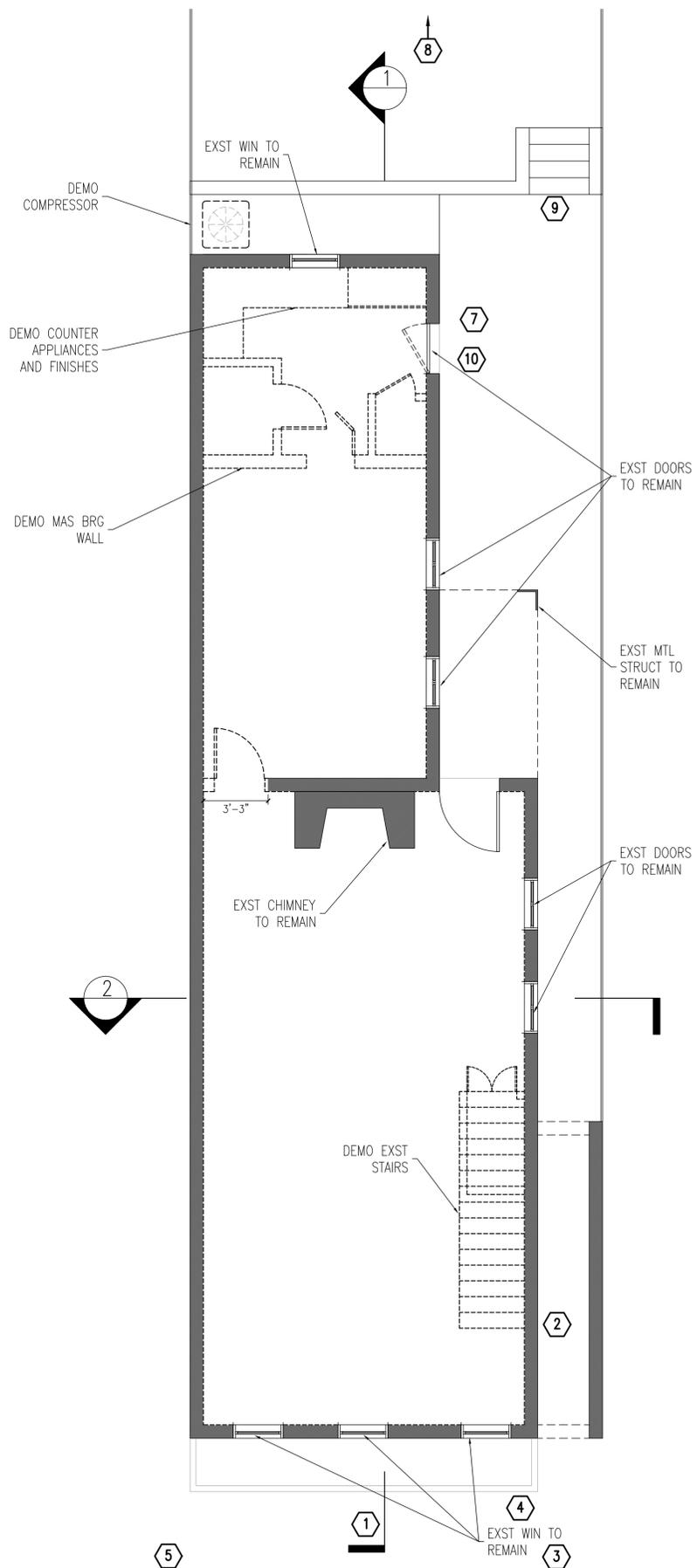
Date 23 JAN 23

A0

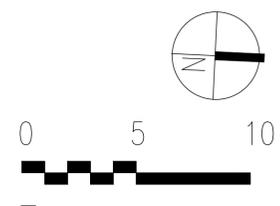


**2 DEMO-SECOND FLOOR**  
1/8"=1'-0"

# INDICATES PHOTO LOCATION - SEE PHOTO REFERENCE SHEETS



**1 DEMO-FIRST FLOOR**  
1/8"=1'-0"



Renovations to  
1316  
36th St.NW  
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Drawing Title

INTERIORS -  
DEMOLITION  
FLOOR PLANS

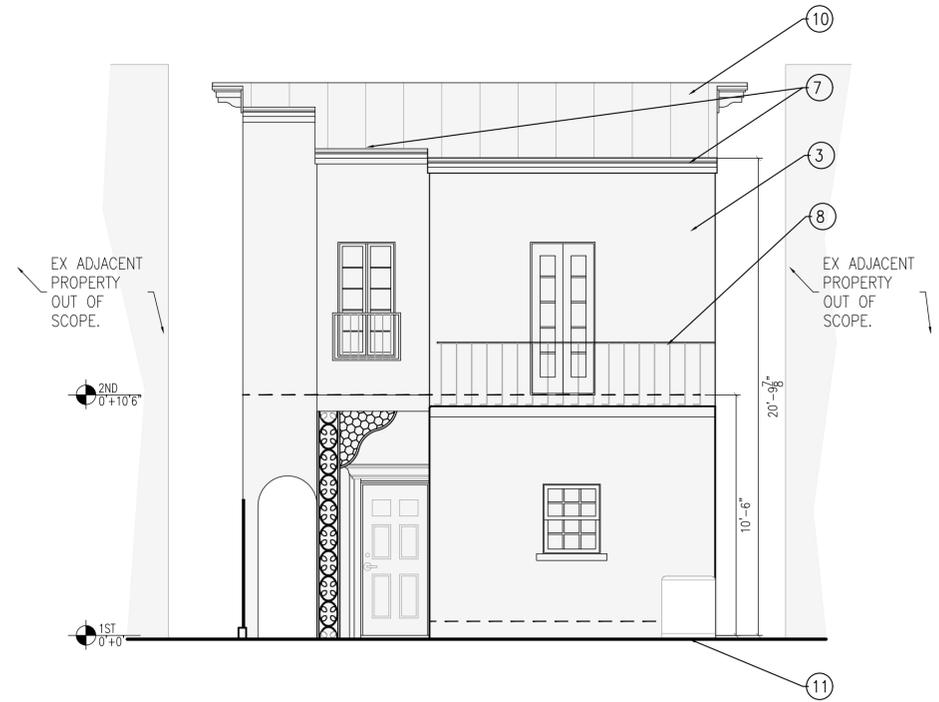
Project No. VA2205-03

Date 23 JAN 23

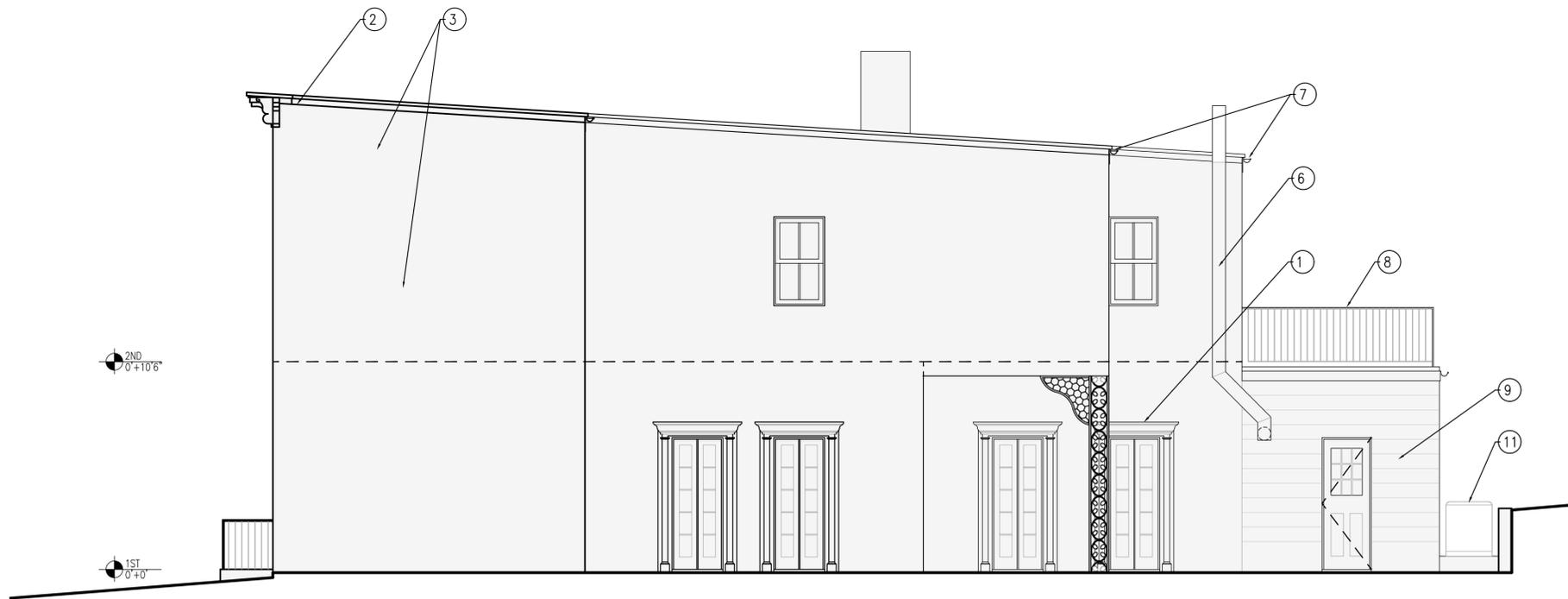
A1

11x17 sheets are 1/2 size

- 1. DEMO CAP FLASHING.
- 2. DEMO METAL FLASHING.
- 3. DEMO STUCCO & LATH & CONCEALED SIDING.
- 4. DEMO HOUSE NUMBER.
- 5. DEMO GAS PIPING.
- 6. DEMO FLUE.
- 7. DEMO GUTTERS.
- 8. DEMO HANDRAIL.
- 9. DEMO WD SIDING.
- 10. DEMO MTL ROOF.
- 11. DEMO COMPRESSOR.



**3 REAR ELEVATION – EXISTING**  
1/8"=1'-0"



**2 RIGHT ELEVATION – EXISTING**  
1/8"=1'-0"



**1 FRONT ELEVATION – EXISTING**  
1/8"=1'-0"



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Drawing Title

BUILDING  
ELEVATIONS –  
EXISTING

Project No. VA2205-03

Date 23 JAN 23

A2

11x17 sheets are 1/2 size



1

Demolition Notes

1. Demo roof flashing and roofing
2. Demo metal cap flashing
3. Demo stucco, lath and existing siding beneath
4. Existing window to remain
5. Remove, refinish and reinstall existing shutters
6. Demo house number
7. Demo gas piping



indicates photo location-see plan



Photograph showing existing siding beneath plaster and lath on front elevation showing 6" german profile siding

11



Photograph showing existing 6.5" lap siding beneath plaster and lath along the wall in the arched alley

2



Renovations to  
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20007

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Drawing Title

PHOTO REFERENCES

Project No. VA2205-03  
Date 23 JAN 23

AP1



3

1

2

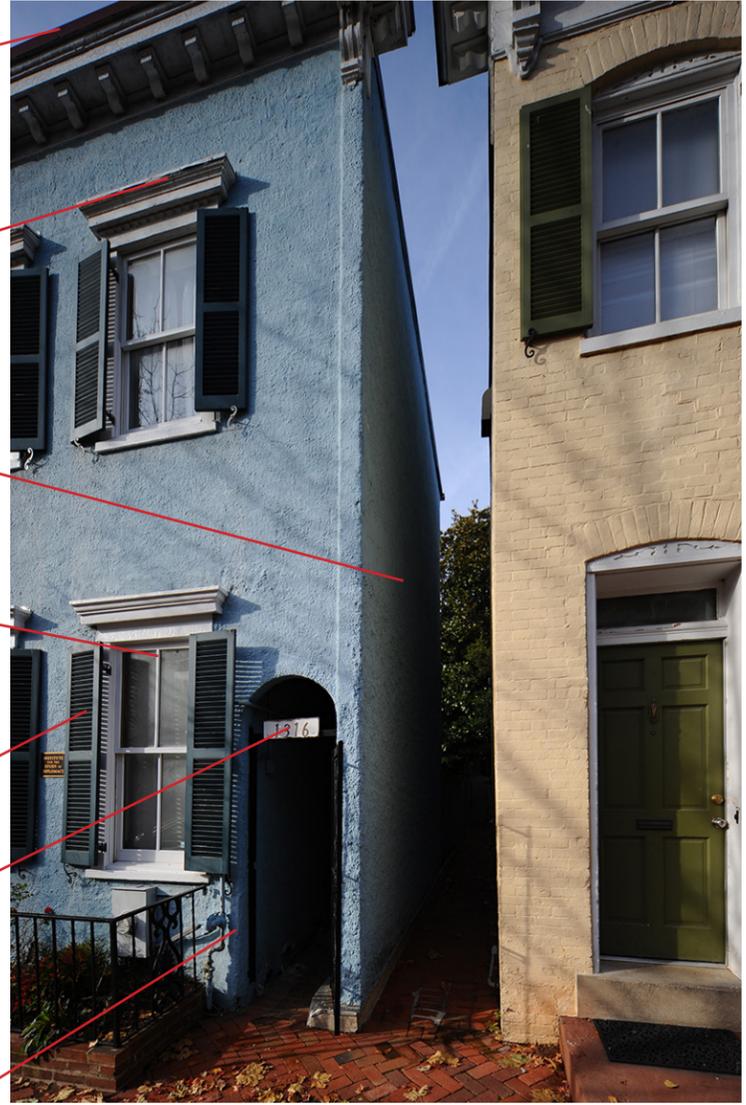
3

4

5

6

7



3

Demolition Notes

1. Demo roof flashing and roofing
2. Demo metal cap flashing
3. Demo stucco, lath and existing siding beneath
4. Existing window to remain
5. Remove, refinish and reinstall existing shutters
6. Demo house number
7. Demo gas piping



indicates photo location-see plan



Renovations to  
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PHOTO REFERENCES

Project No. VA2205-03

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AP2

4



3

7



6



Demolition Notes

- 3. Demo stucco, lath and existing siding beneath
- 8. Demo gutter and downspout
- 9. Demo metal flue
- 10. Route cabling inside house
- 11. Demo wrought iron railing
- 17. Sand and repaint wood trim
- 18. Demo siding-Provide new siding-paint 6 sides



indicates photo location-see plan



Renovations to  
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PHOTO REFERENCES

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AP3



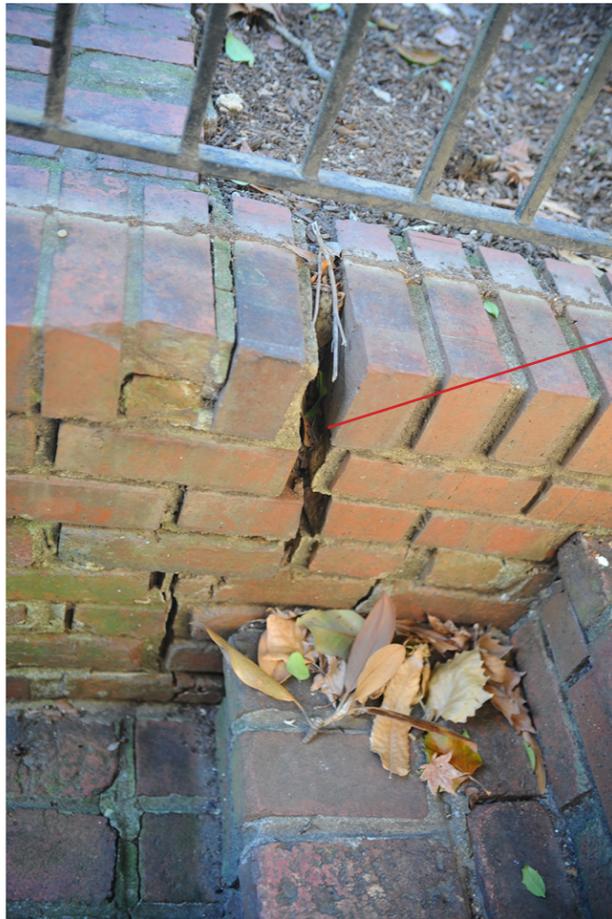
7

10



8

13



9

12



10

15

- Demolition Notes
- 10. Route cabling inside house
  - 12. Repair retaining wall
  - 13. Replace broken flagstone
  - 15. Sand, refinish and resinstall door



indicates photo location-see plan



Renovations to  
1316  
36th St.NW  
Washington DC.  
20007

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Drawing Title

PHOTO REFERENCES

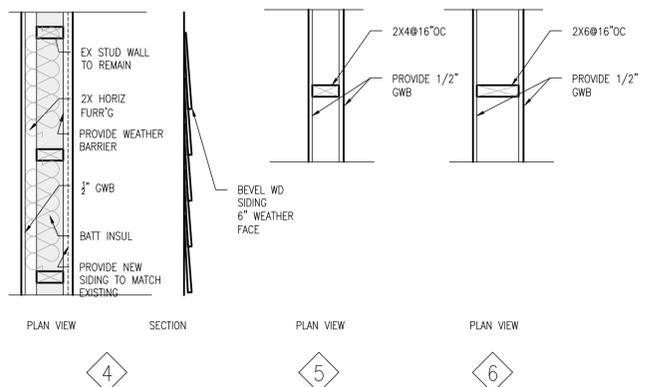
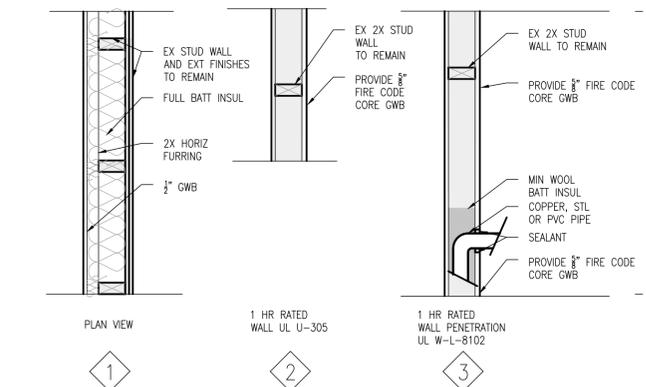
Project No. VA2205-03  
Date 23 JAN 23

11 NOT USED

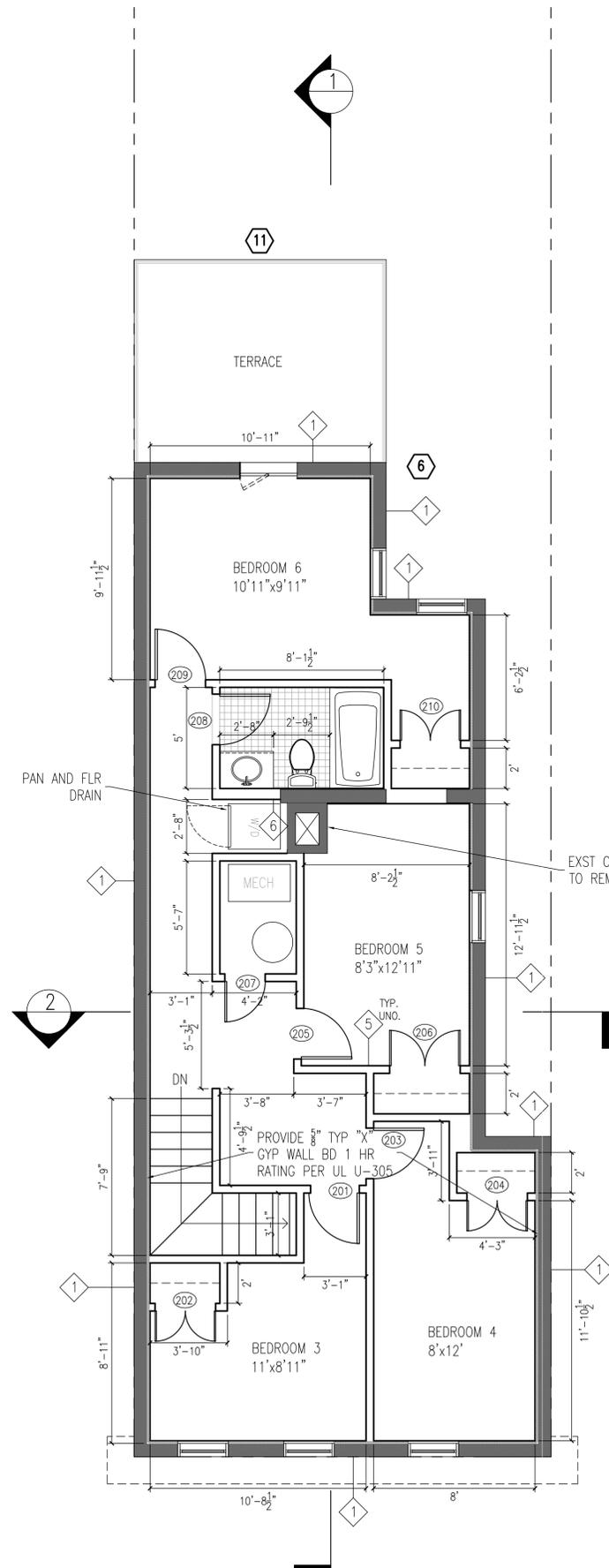
AP4

DOOR SCHEDULE						
MK	SLAB DIM	MATL	STYLE	FUNCTION	HDWR	NOTES
101	2'-6"x6'-8"	SCW	6 PANEL	SWG		
102	(2)2'-0"x6'-8"	SCW	6 PANEL	SWG		
103	2'-6"x6'-8"	SCW	6 PANEL	SWG		
104	1'-6"x6'-8"	SCW	3 PANEL	SWG		
105	2'-6"x6'-8"	SCW	6 PANEL	SWG		
106	(2)1'-6"x6'-8"	SCW	3 PANEL	SWG		
107	1'-9"x6'-8"	SCW	3 PANEL	SWG		
201	2'-6"x6'-8"	SCW	6 PANEL	SWG		
202	(2)1'-6"x6'-8"	SCW	3 PANEL	SWG		
203	2'-6"x6'-8"	SCW	6 PANEL	SWG		
204	(2)1'-6"x6'-8"	SCW	3 PANEL	SWG		
205	2'-6"x6'-8"	SCW	6 PANEL	SWG		
206	(2)1'-9"x6'-8"	SCW	3 PANEL	SWG		
207	2'-0"x6'-8"	SCW	LOUVER	SWG		
208	2'-6"x6'-8"	SCW	6 PANEL	SWG		
209	2'-6"x6'-8"	SCW	6 PANEL	SWG		
210	(2)1'-6"x6'-8"	SCW	3 PANEL	SWG		

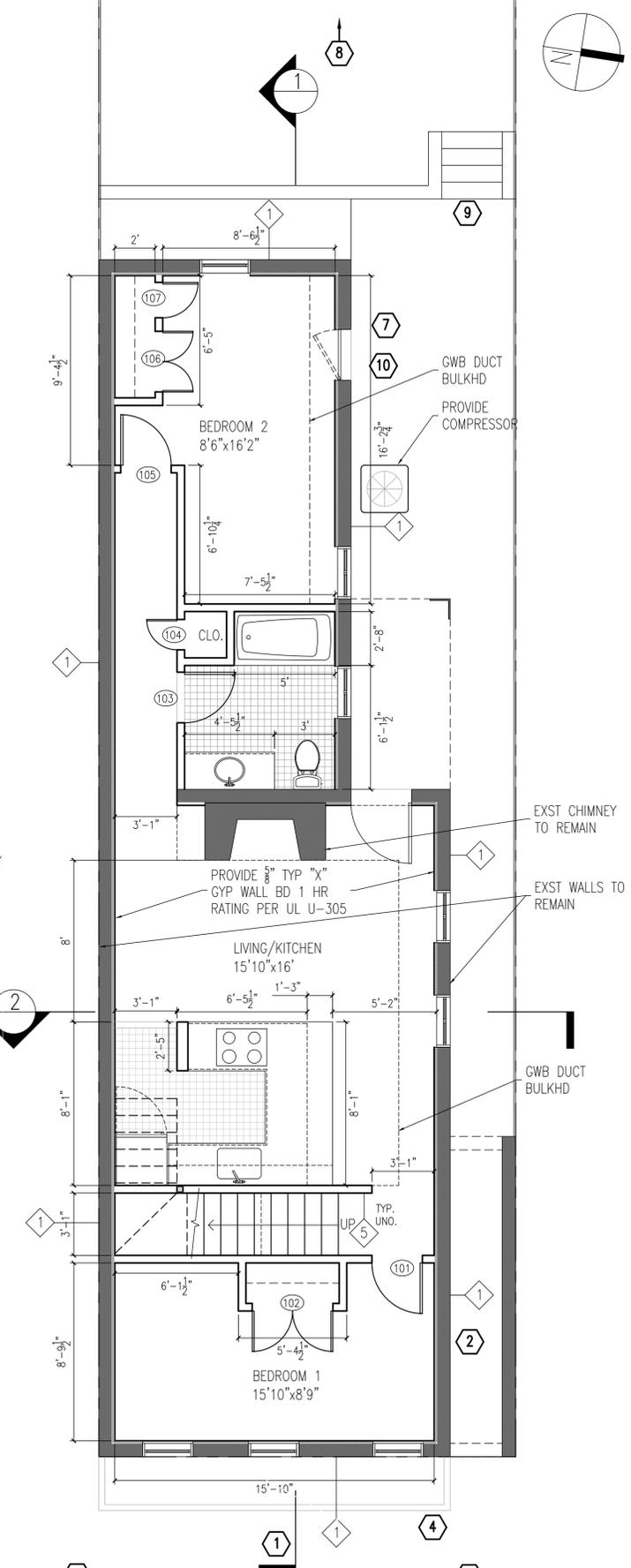
FINISH SCHEDULE						
ROOM	FLOOR	BASE	WALLS	CLC	CROWN	NOTES
KITCHEN	CT	WM623-PNT	GWB-PNT	GWB-PNT		
LIVING	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#1	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#2	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BATH	CT	CT	MRCWB-PNT	MRCWB-PNT		TILE BATH ADJ WALLS TO 6'-8"
BR#3	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#4	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#5	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BR#6	HDWD	WM623-PNT	GWB-PNT	GWB-PNT		
BATH	CT	CT	MRCWB-PNT	MRCWB-PNT		TILE BATH ADJ WALLS TO 6'-8"
MECH	VCT	WM623-PNT	GWB-PNT	GWB-PNT		



**3 WALL TYPES**  
1/2"=1'-0"



**2 SECOND FLOOR PLAN**  
1/8"=1'-0"



**1 FIRST FLOOR PLAN**  
1/8"=1'-0"



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1316  
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Drawing Title

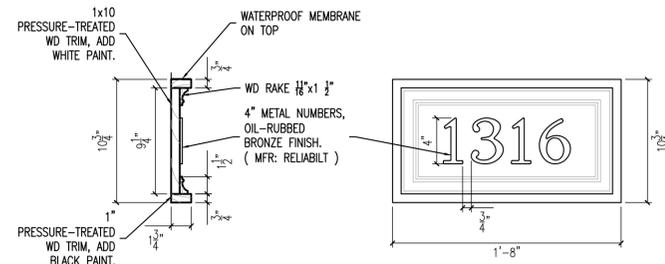
INTERIORS - FLOOR  
PLANS PROPOSED

Project No. VA2205-03

Date 23 JAN 23

A3

11x17 sheets are 1/2 size

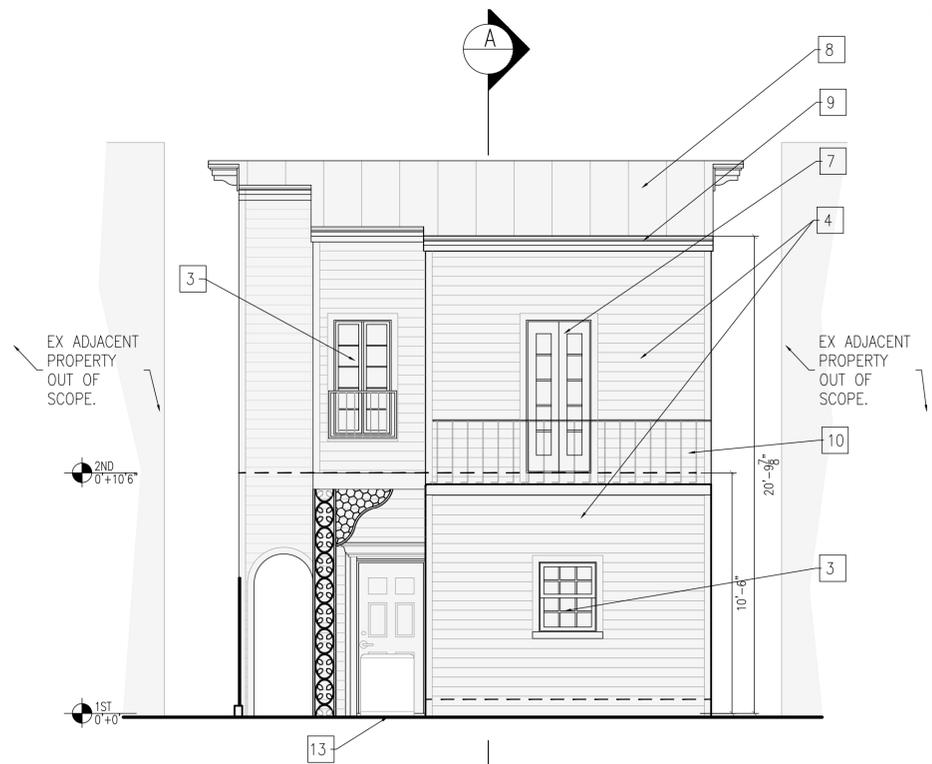


**4 HOUSE NUMBER BOARD**  
1 1/2" = 1'-0"

- 1. CLEAN, SAND, AND PAINT WD TRIMS.
- 2. REMOVE, REFINISH AND REINSTALL WD SHUTTERS.
- 3. EX WIN TO REMAIN.
- 4. PROVIDE NEW SIDING.
- 5. REPAIR DAMAGED MORTAR.
- 6. PATCH, SAND AND PAINT WD TRIM.
- 7. SAND AND REPAINT DOORS.
- 8. PROVIDE SS COPPER ROOF.
- 9. PROVIDE HALF ROUND COPPER GUTTERS AND DOWNSPOUTS.
- 10. PROVIDE MTL HANDRAIL.
- 11. PROVIDE MTL NUMBERS.
- 12. REPAIR RETAINING WALL.
- 13. PROVIDE COMPRESSOR.



**2 RIGHT ELEVATION - PROPOSED**  
1/8" = 1'-0"



**3 REAR ELEVATION - PROPOSED**  
1/8" = 1'-0"



**1 FRONT ELEVATION - PROPOSED**  
1/8" = 1'-0"



Renovations to  
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Drawing Title

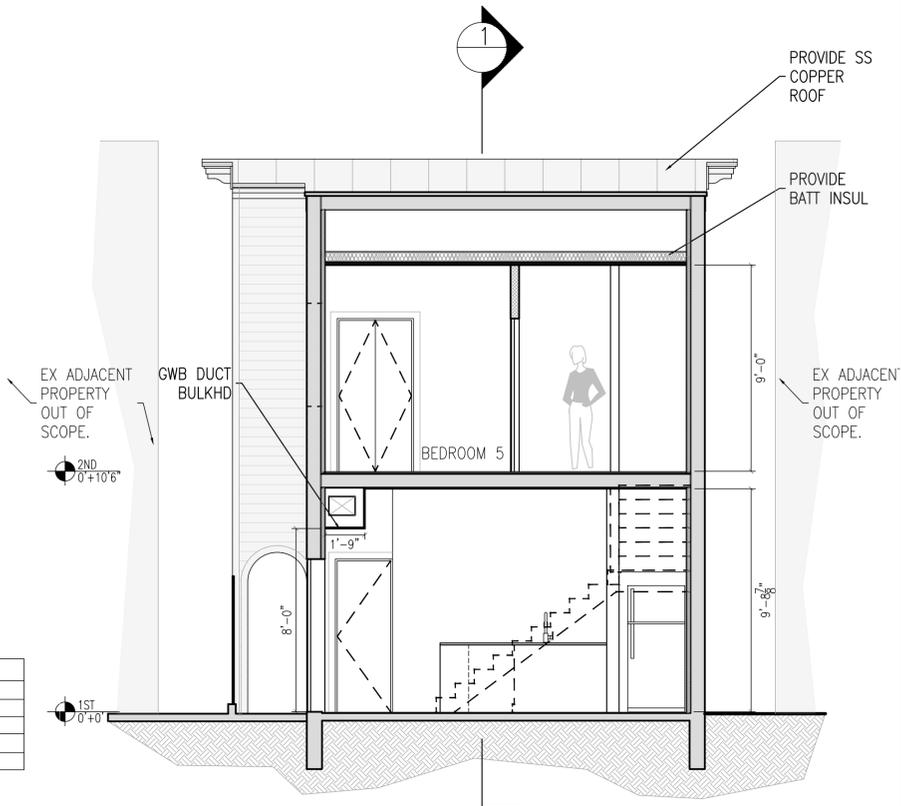
BUILDING  
ELEVATIONS -  
PROPOSED

Project No. VA2205-03

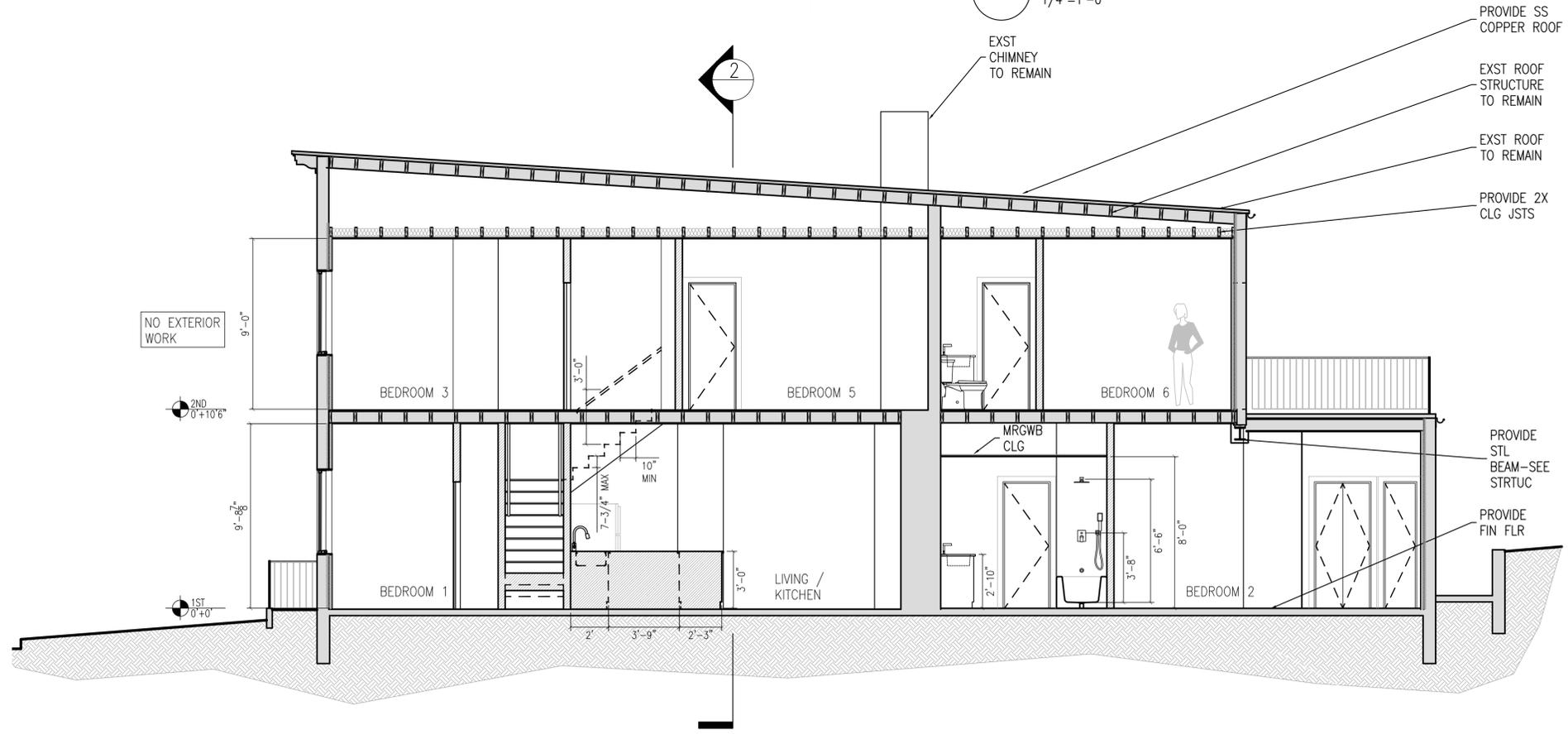
Date 23 JAN 23

A4

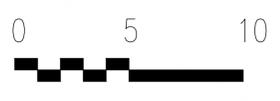
INSULATION SCHEDULE						
LOCATION	TYPE	THK (IN)	R-VALUE/IN	R-VALUE	R VALUE REQ'D	NOTES
FOUNDATION	RIGID	2	5	10	10	EXTEND HORIZ 2' INSID PERI
MASS WALL	RIGID	2.0000	5.0000	10	10	
CLG/ROOF	BATT	14	3.5000	49	49	



**2 CROSS SECTION 2 – PROPOSED**  
1/4"=1'-0"



**1 LONGITUDINAL SECTION 1 – PROPOSED**  
1/8"=1'-0"



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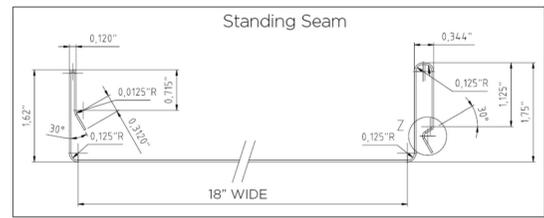
BUILDING  
SECTION –  
PROPOSED

Project No. VA2205-03

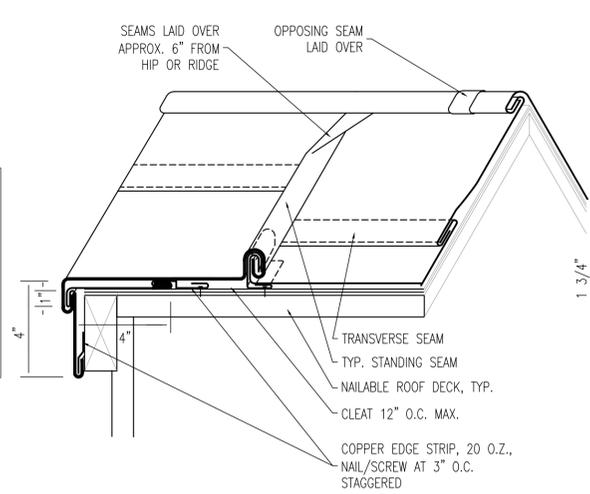
Date 23 JAN 23

A5

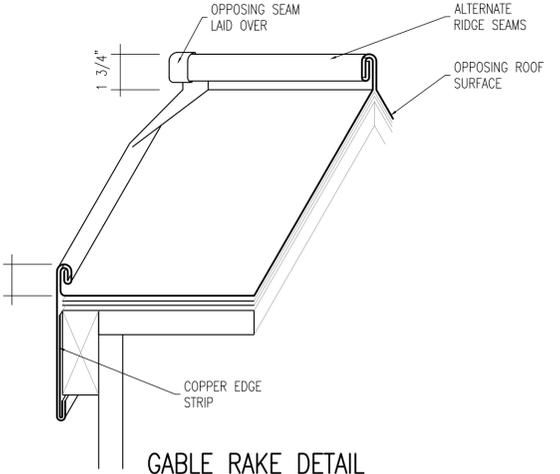
11x17 sheets are 1/2 size



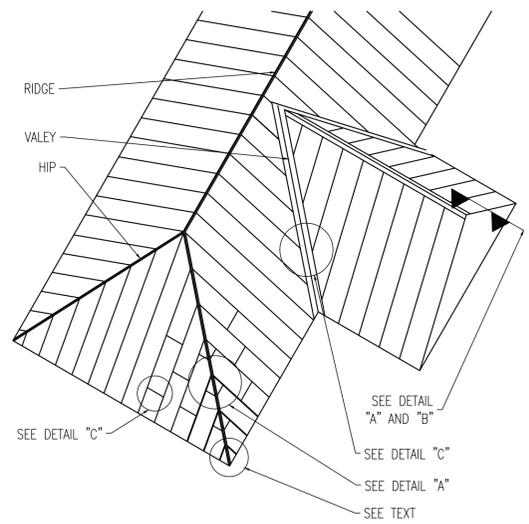
STANDING SEAM  
PANEL DETAIL



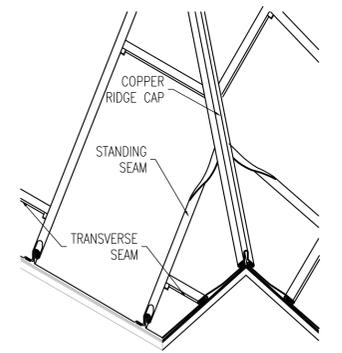
TYPICAL STANDING SEAM



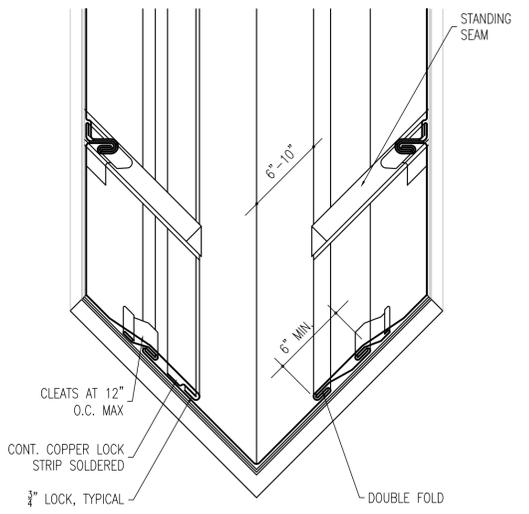
GABLE RAKE DETAIL



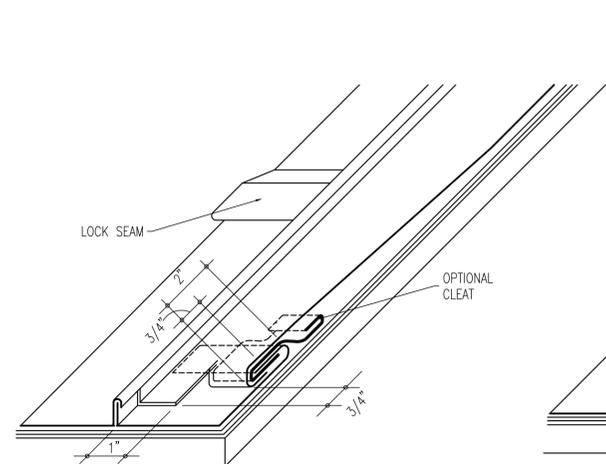
STANDING SEAM ROOF - OVERALL VIEW



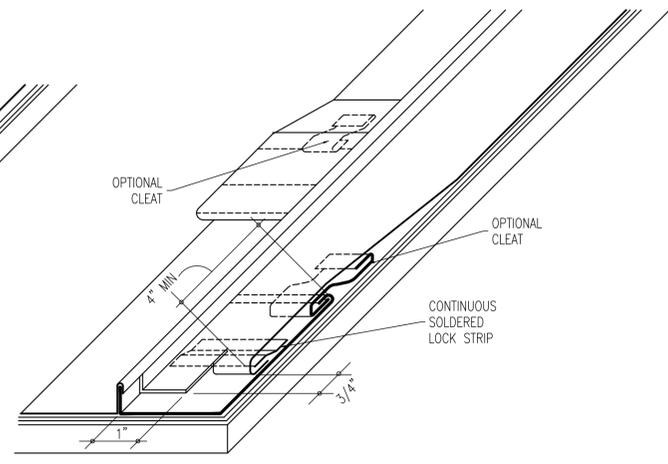
STANDING SEAM HIP DETAIL



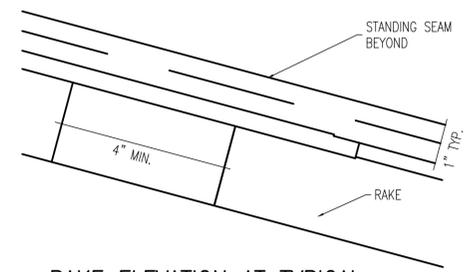
STANDING SEAM,  
VALLEY DETAIL



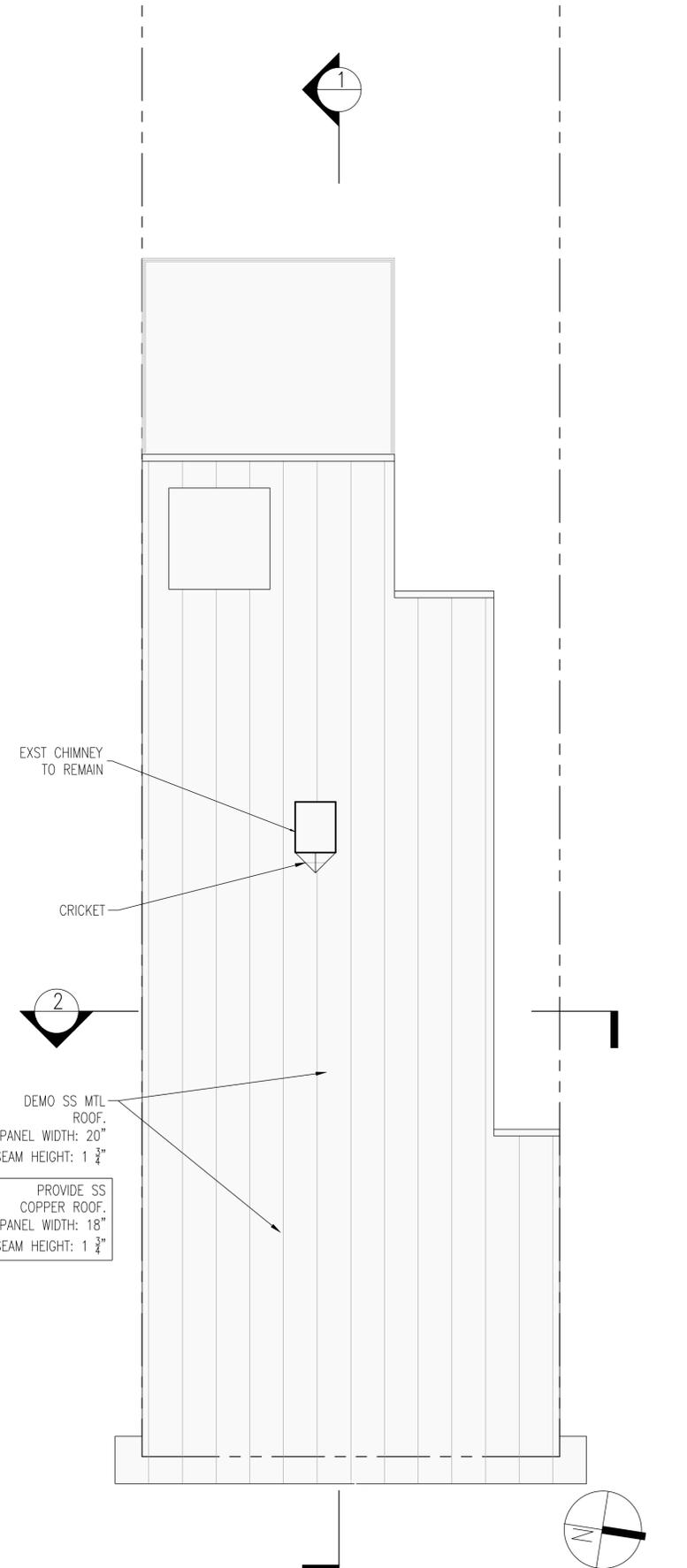
STEEP PITCH DETAIL



LOW PITCH DETAIL



RAKE ELEVATION AT TYPICAL  
STANDING SEAM



1 ROOF PLAN  
A1 1/4"=1'-0"



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Drawing Title

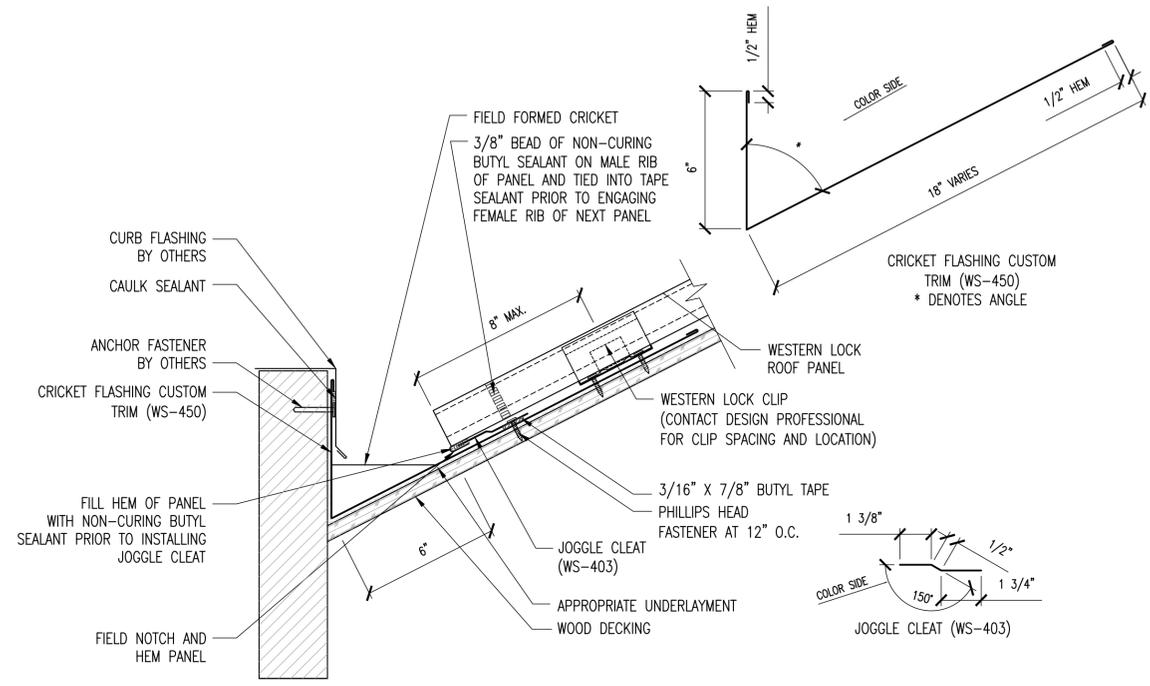
ROOF PLAN  
AND DETAILS

Project No. VA2205-03

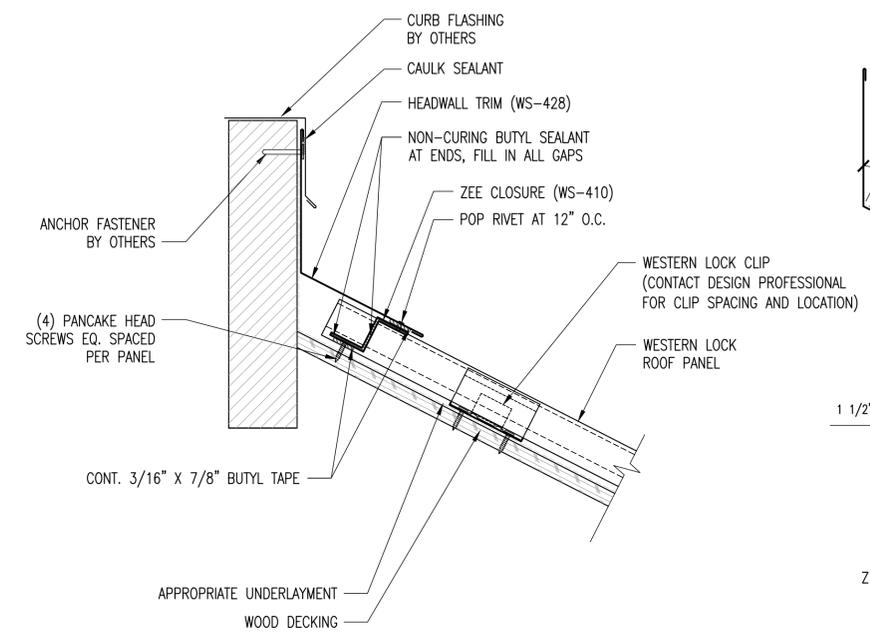
Date 23 JAN 23

A6

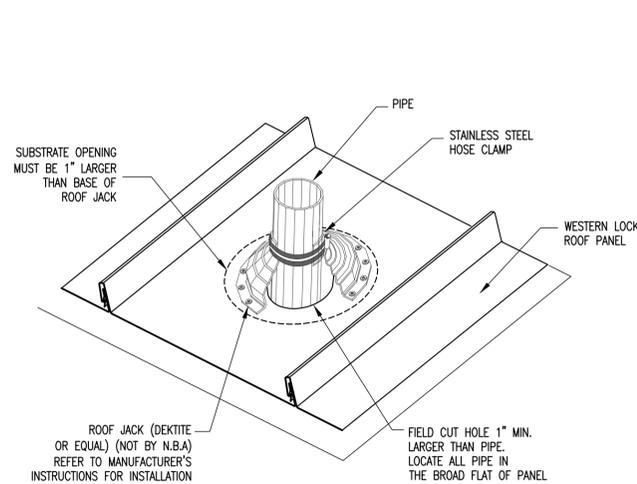
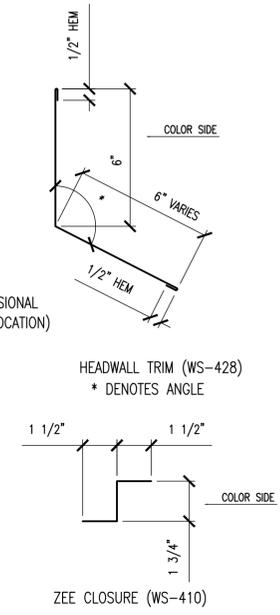
11x17 sheets are 1/2 size



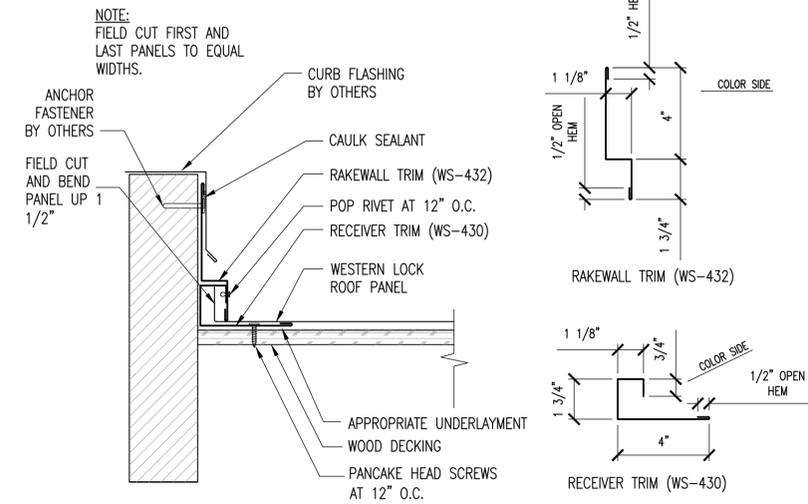
D23 - CRICKET FLASHING AT CURB & CHIMNEY DETAIL



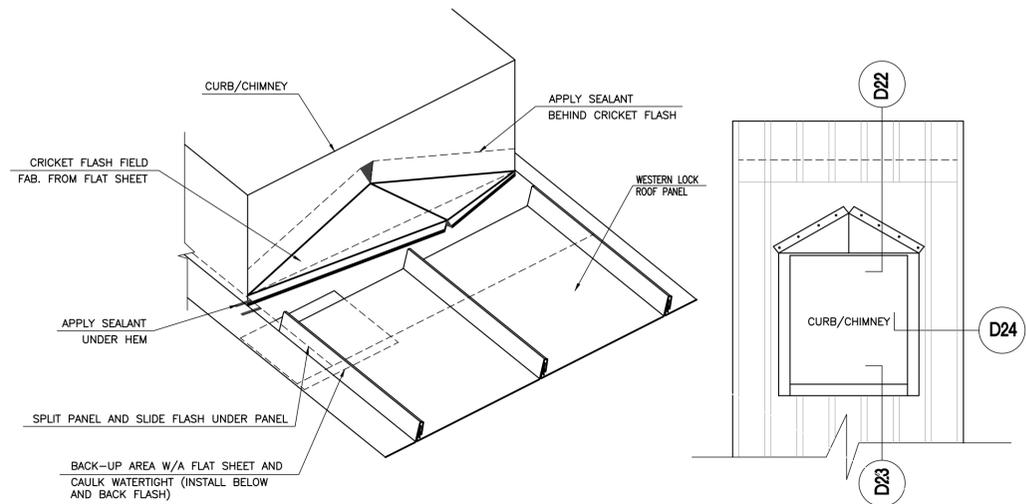
D24 - PITCHBREAK AT CURB & CHIMNEY DETAIL



PIPE PENETRATION DETAIL



SIDEWALL AT CURB & CHIMNEY DETAIL



ISOMETRIC CURB

PLAN VIEW



Renovations to  
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Drawing Title

ROOF DETAILS

Project No. VA2205-03

Date 23 JAN 23

A7

11x17 sheets are 1/2 size

23 Jan 23

Re: Response to Comments:  
Project Address: 1316 36 St. NW



address  
1713 N. Bryan Street  
Arlington, VA 22201

tel 703-725-4328  
url www.pvanderpoel.com

Below are listed comments received for the project with response italicized and indented.

VA2205-03  
1316 36th St. NW

Comments:

1. Please include existing and proposed pan widths and seam heights for the roof replacement.

*Information regarding the seam height and panel width has been added to the drawings.*

2. Would you be willing to do some investigation as to what exists underneath the stucco on the front elevation? Or, you could also wait and do some investigative demolition after obtaining concept approval, but before finalizing permit drawings for OGB review. I think at some point, the OGB will want to know what exists under the stucco on the front as well as the side.

*We have demolished a small area of stucco on the front elevation to reveal a 6" german profile siding. See image #11. The siding in the alley is a 6.5" lap siding (see image #2)*

3. Please provide the exposure of the existing siding.

*We have demolished a small area of stucco on the front elevation to reveal a 6" german profile siding. See image #11. The siding in the alley is a 6.5" lap siding (see image #2)*

4. Please show location of replacement compressor on site plans.

*The revised plans show the existing compressor and a new compressor*

5. Can the meter on the front facade be relocated to the side or rear or interior of the house?

*We will contact Pepco to ascertain costs and feasibility of relocating the electric meter to the rear of the house.*