

1689 35TH ST. NW RESIDENCE

1689 35TH ST. NW, WASHINGTON, D.C. 20007

PROJECT DATA

OWNER:	1689 35TH ST NW LLC
EXISTING	RESIDENTIAL FLATS-LESS THAN 5
PROPOSED	RESIDENTIAL FLATS-LESS THAN 5
PROJECT DESCRIPTION	ALL EXTERIOR WORK IN REAR YARD. A PORTION OF THE 1ST FLOOR DECK TO BE REMOVED TO MAKE ROOM FOR A 9'-0" x 19'-0" PARKING SPACE.
METHOD OF REMOVING CONSTRUCTION DEBRIS	DUMPSTER

PROJECT TEAM

ARCHITECT
 EUSTILUS LLC
 ERIC TERAN
 2800 N. ROSSER ST
 ALEXANDRIA, VA 22311
 202-569-9620
 ETERAN@EUSTILUS.COM

ZONING DATA

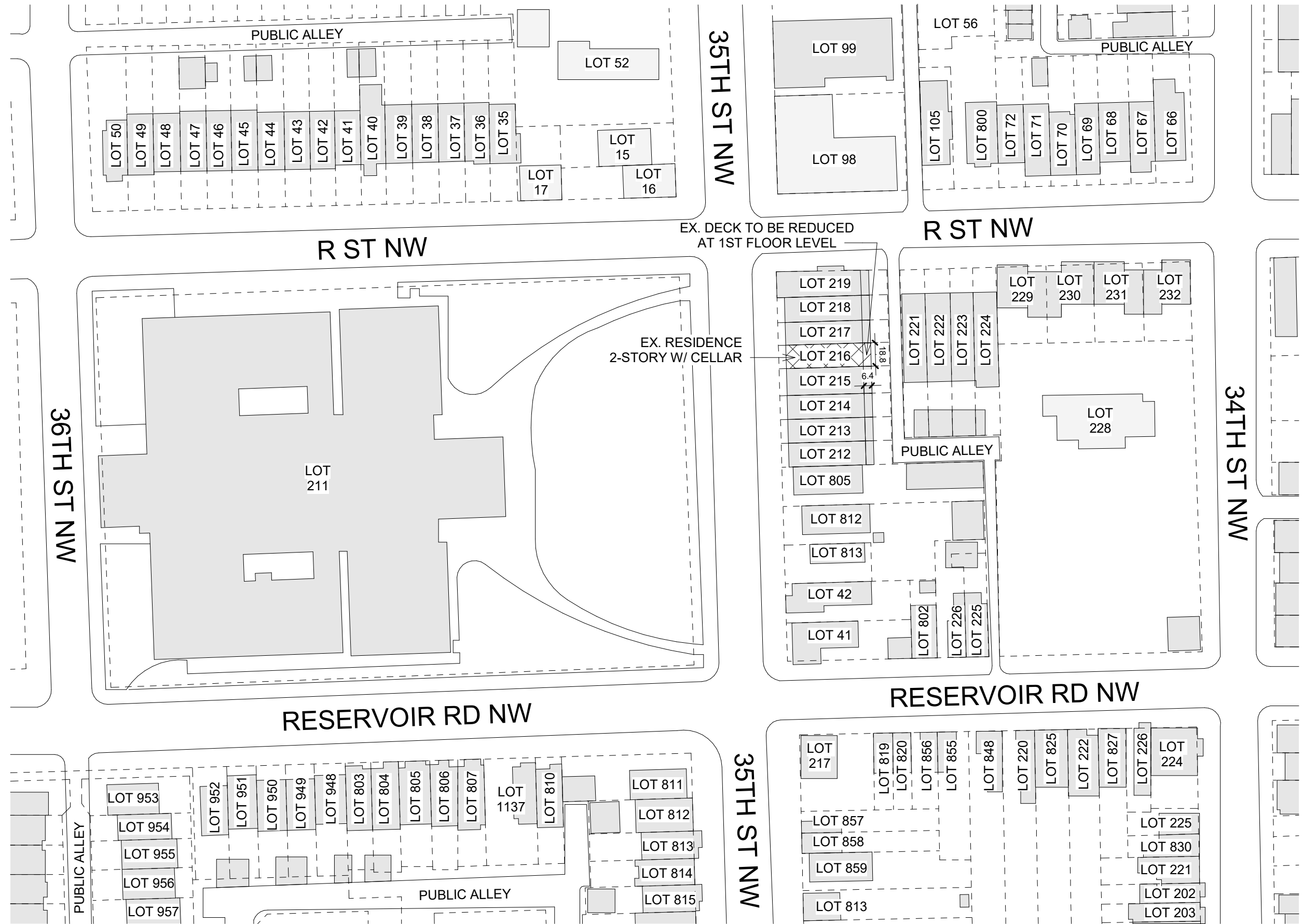
SQUARE / LOT	1294 / 0216	
ZONE	R-20	
USE GROUP	R-3	
CONSTRUCTION TYPE	VB	
STORIES	EXISTING	PROPOSED
LOT SIZE	2 + CELLAR	NO CHANGE
LOT OCCUPANCY	1,665 SF	NO CHANGE
	1,296 SF OR 77.8%	NO CHANGE

SHEET INDEX

01	COVER
02	SITE PLAN
03	FLOOR PLANS
04	FLOOR PLAN W/ CONTEXT
05	BUILDING ELEVATIONS
06	BUILDING ELEVATIONS
07	BUILDING ELEVATION W/ CONTEXT
08	EX. CONDITIONS & DEMO PLANS

VICINITY MAP





SITE PHOTOS

1689 35TH ST. NW RESIDENCE
1689 35TH ST. NW



1689 35TH ST. NW RESIDENCE

EUSTILUS ARCHITECTURE

2800 N. Rosser ST., Alexandria, VA 22311 202.569.9620 www.eustilus.com eteran@eustilus.com



VIEW OF EXISTING DECK FROM REAR YARD.



VIEW OF EXISTING DECK FROM REAR YARD.



VIEW OF EXISTING AREAWAY FROM REAR YARD.



VIEW OF EXISTING MASONRY PIER FOUNDATION.



VIEW OF REAR YARD FROM EXISTING DECK.



VIEW OF REAR YARD FROM EXISTING DECK.



VIEW OF REAR YARD FROM EXISTING DECK.



VIEW OF NEIGHBORING YARD AT 1691 35TH STREET FROM EXISTING DECK AT SUBJECT PROPERTY.



VIEW OF SUBJECT LOT AND NEIGHBORING YARDS
FROM ALLEY



VIEW FROM ALLEY



VIEW OF SUBJECT LOT AND NEIGHBORING YARDS



VIEW FROM ALLEY



VIEW OF SUBJECT LOT FROM ALLEY



VIEW OF SUBJECT LOT FROM ALLEY



VIEW FROM ALLEY



VIEW OF NEIGHBORING YARD AT 1691 35TH STREET FROM ALLEY



VIEW OF NEIGHBORING YARD FROM ALLEY



VIEW OF NEIGHBORING YARD FROM ALLEY



VIEW OF SUBJECT LOT AND NEIGHBORING YARDS FROM ALLEY



VIEW OF SUBJECT LOT AND NEIGHBORING YARDS FROM ALLEY.



VIEW OF NEIGHBORING YARD AT FROM ALLEY



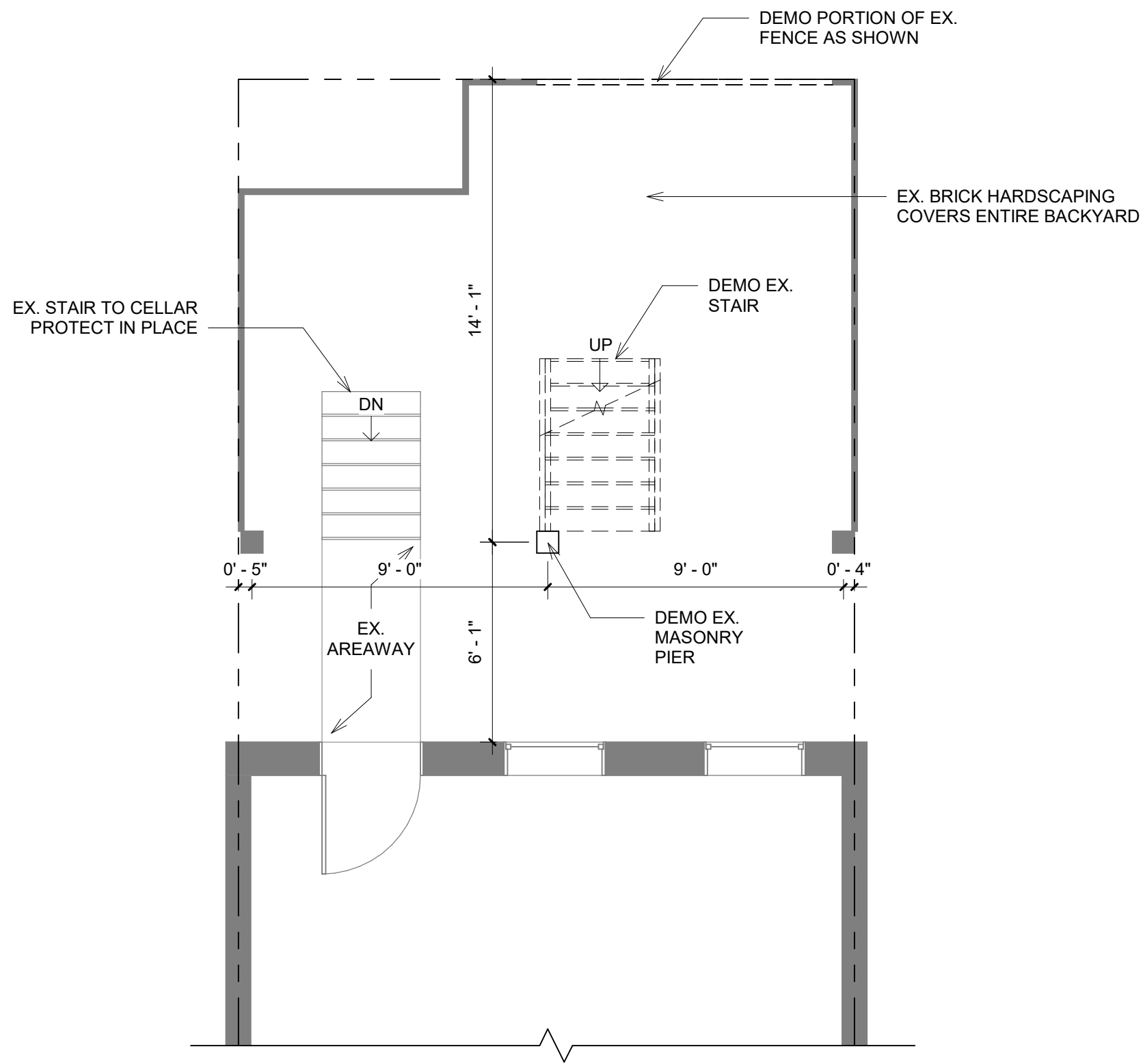
VIEW OF NEIGHBORING YARD FROM ALLEY



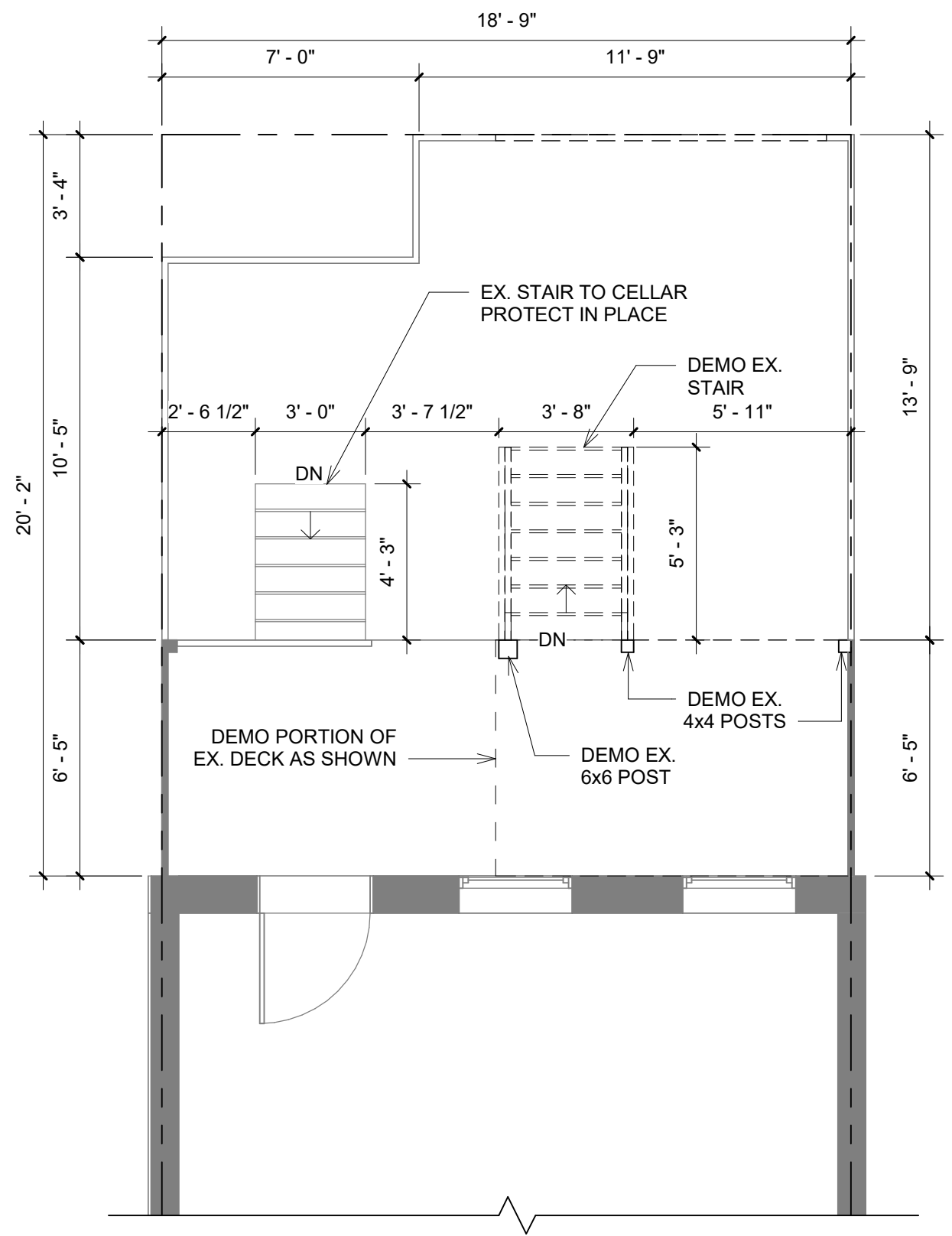
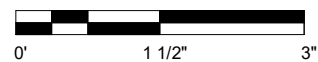
VIEW FROM ALLEY



VIEW FROM ALLEY

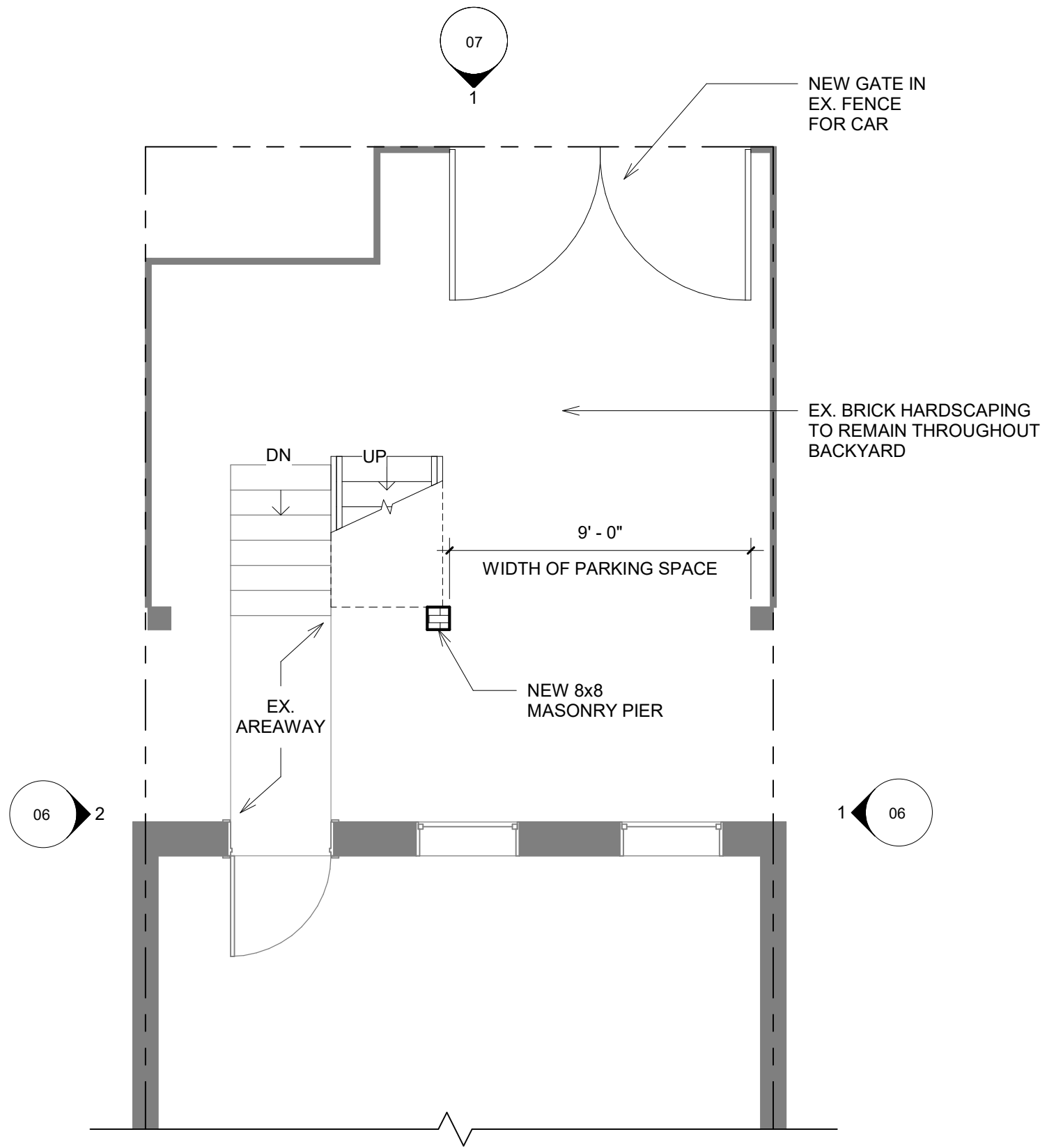


1 CELLAR - DEMOLITION
 1/4" = 1'-0"

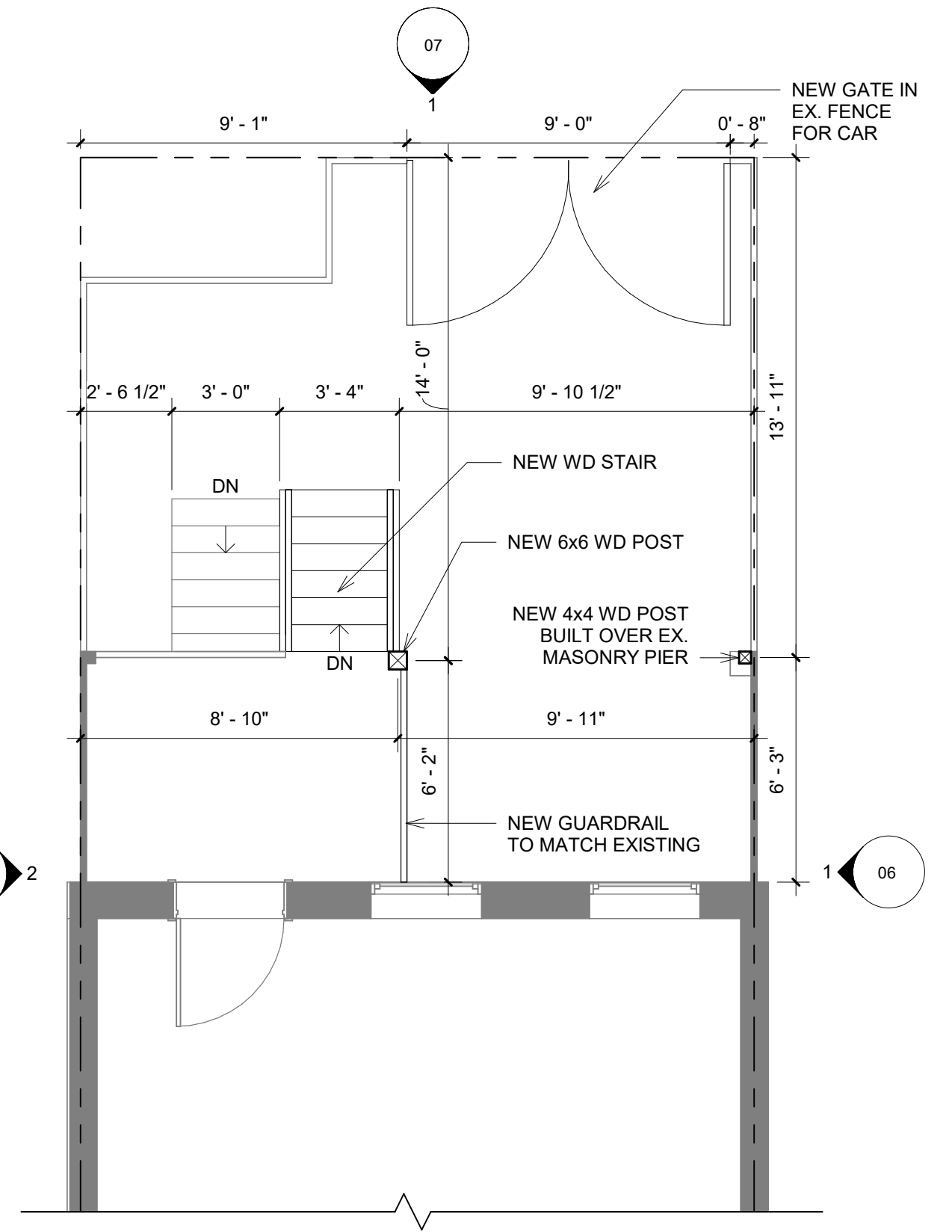
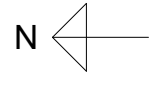
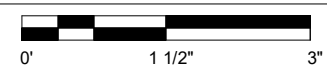


2 LEVEL 01 - DEMOLITION
 1/4" = 1'-0"

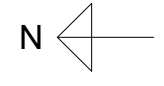
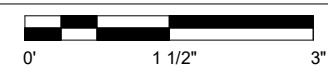


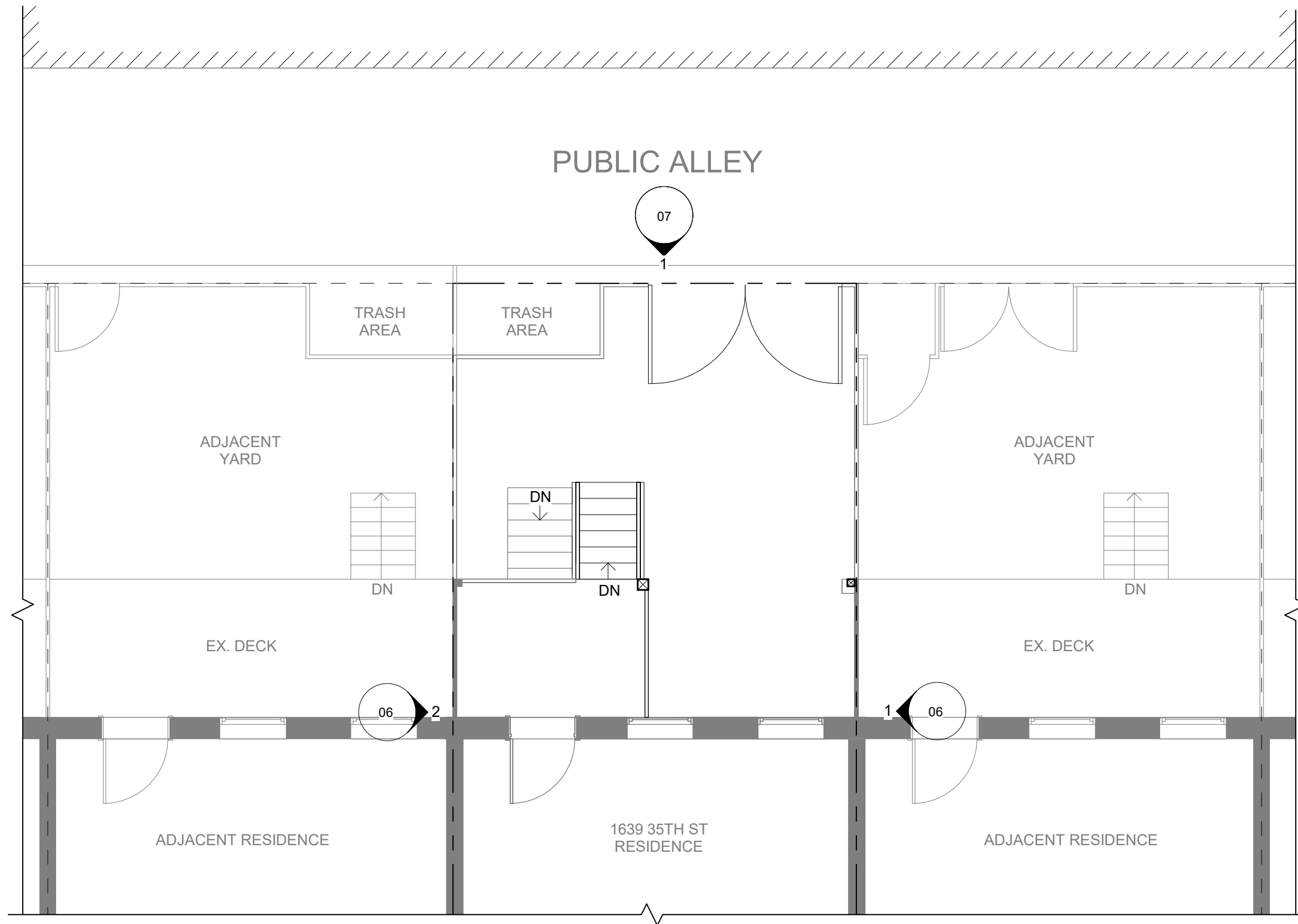


1 CELLAR
1/4" = 1'-0"

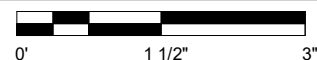


2 LEVEL 01
1/4" = 1'-0"





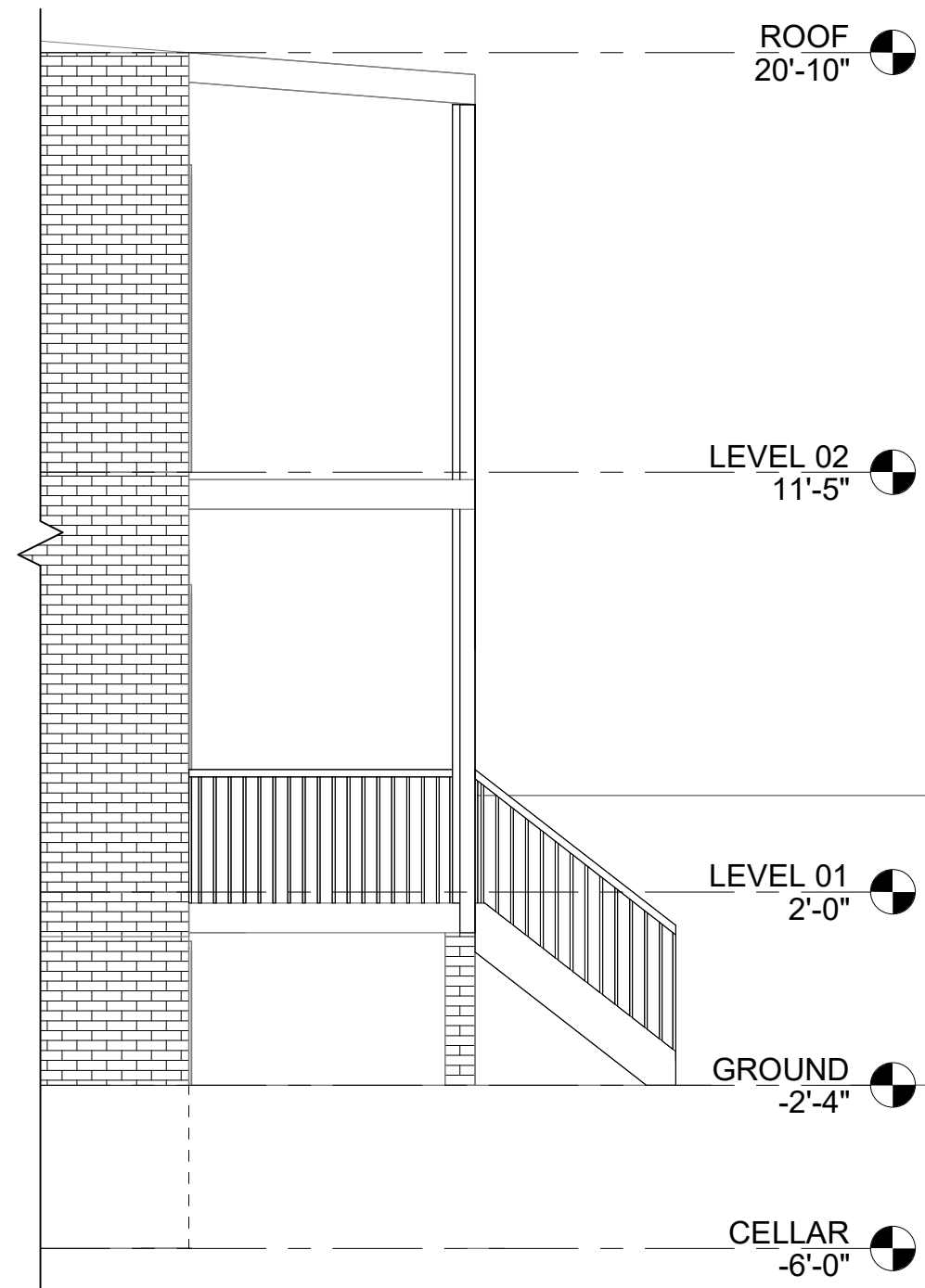
1 FLOOR PLAN W/ NEIGHBORING YARDS
 3/16" = 1'-0"



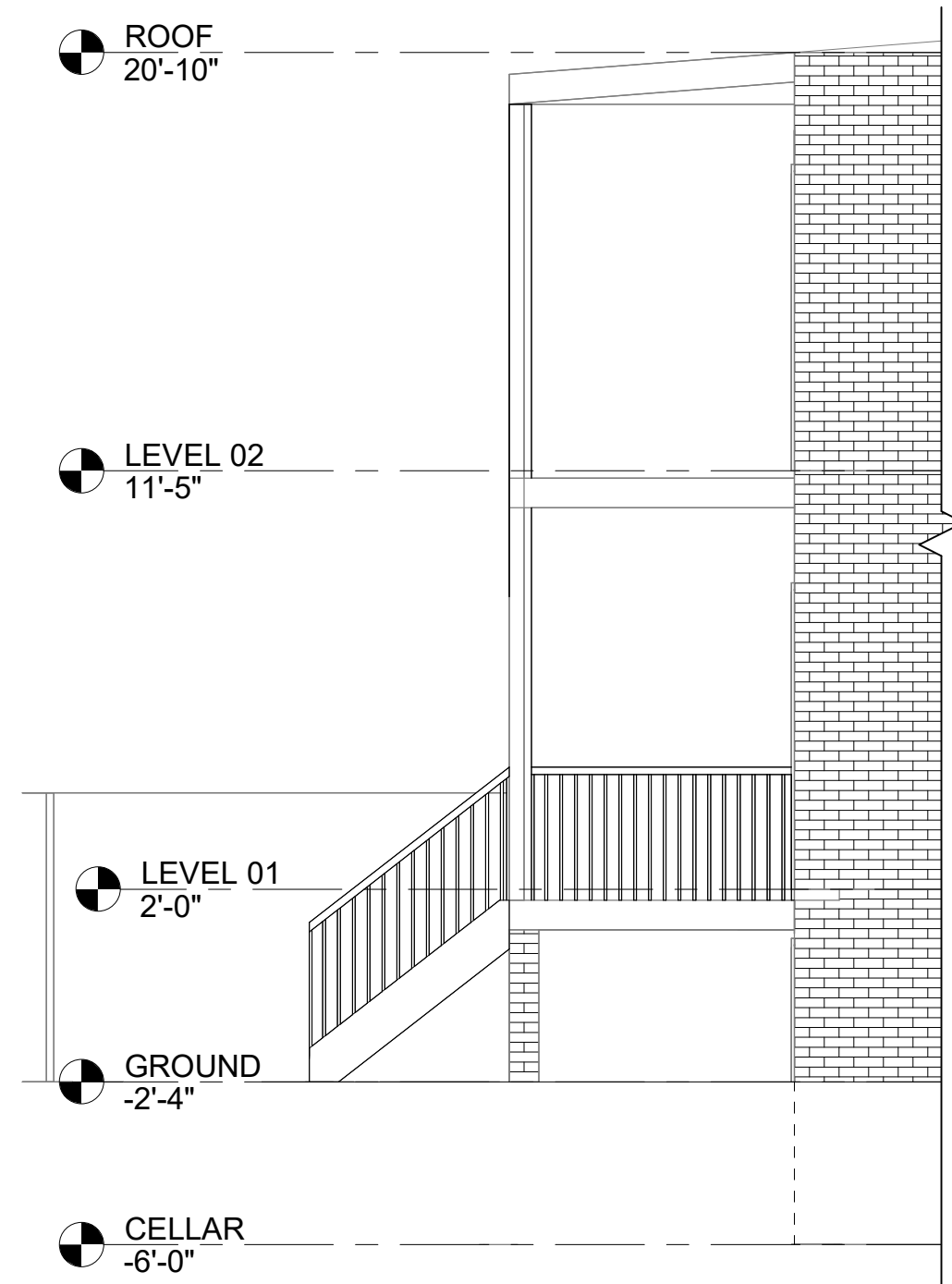


2 EAST ELEVATION - EXISTING
 1/4" = 1'-0"
 0' 1 1/2" 3'

1 EAST ELEVATION - PROPOSED
 1/4" = 1'-0"
 0' 1 1/2" 3'



1 SOUTH ELEVATION
 1/4" = 1'-0"
 0' 1 1/2" 3"



2 NORTH ELEVATION
 1/4" = 1'-0"
 0' 1 1/2" 3"



1 EAST ELEVATION - FROM ALLEY W/ NEIGHBORING ELEVATIONS
 1/4" = 1'-0"
 0' 1 1/2" 3"

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., December 5, 2022

Plat for Building Permit of :

SQUARE 1294 LOT 216

Scale: 1 inch = 20 feet

Recorded in Book 29 Page 125

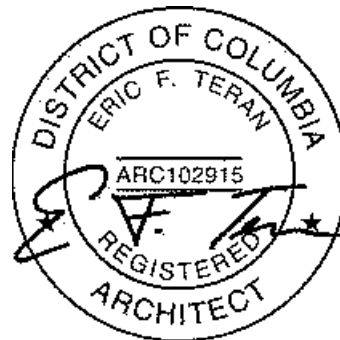
Receipt No. 23-01049

Drawn by: A.S.

Furnished to: ERIC F. TERAN

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

Eric F. Teran
For Surveyor, D.C.



I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application _____; and
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:

- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
- 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- 3) I have have not (circle one) filed a subdivision application with the Office of the Surveyor;
- 4) I have have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
- 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance. The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete.

I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: *Eric F. Teran*
Date: 1/20/2023

Printed Name: Eric Teran Relationship to Lot Owner: Architect

If a registered design professional, provide license number ARC102915 and include stamp below.



SCALE: 1:20

SQUARE 1294

LOT OCCUPANCY

LOT SIZE 1,665 SF

AREA CALCULATIONS:

EXISTING HOME 1,296 SF

EXISTING DECK 120 SF

EX. LOT OCCUPANCY 77.8%

PROPOSED DECK 120 SF

TOTAL PROPOSED 120 SF

PROPOSED LOT OCCUPANCY 77.8%

NOTE: DECK SIZE TO BE REDUCED ON LEVEL 01 TO ALLOW FOR PARKING SPACE

35th STREET, N.W.

