

1235 34th Street NW, Washington DC 20007

Old Georgetown Act **PERMIT** Review Package February, 2023

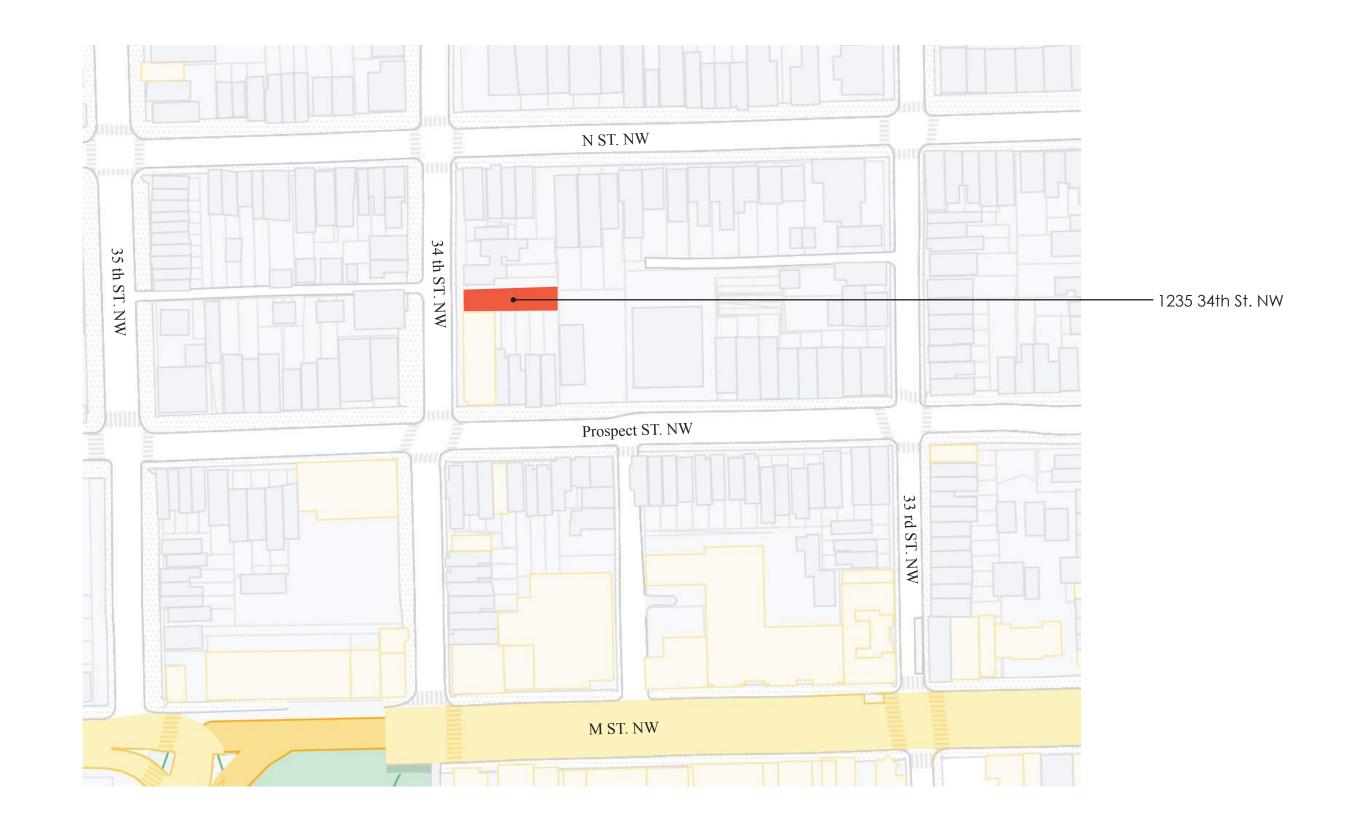
Zannoni Architecture www.zannoniarchitecture.com | 202.207.6034

Project Description

Per OGB Suggestion we have opted for a Rear Addition with a simplified Floor Layout. The new construction will connect with the existing house on the East Facade and mitigate the height difference between the existing First Floor Plan and the garden, with the goal of maintaining the existing mature landscaping untouched and improving indoor/outdoor relationship.

The program for the addition is a multiporpuse room to serve as office/family/guest room as well as covered outdoor seating/entertaining.

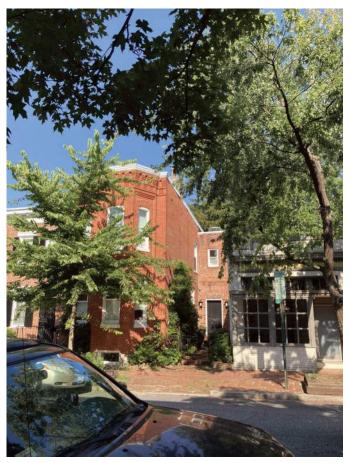
This addition is being planned and designed simultaneously with next door neighbors, 1237 34th St NW.

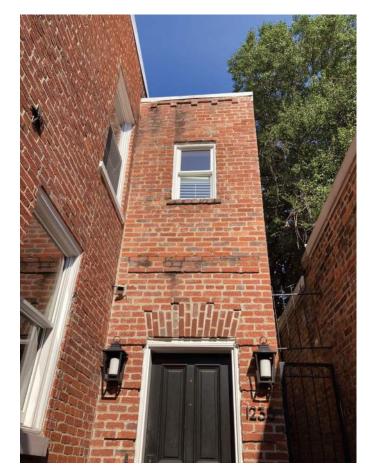


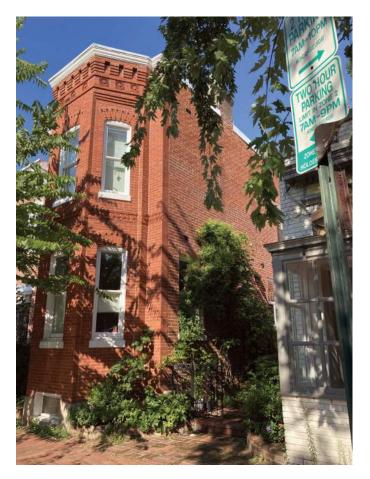


CONTEXTUAL PHOTOS - FONT FACADE EXISTING CONDITIONS WITH ADJACENT PROPERTIES









EXISTING FRONT FACADE



34TH ST & PROSPECT - NW CORNER



34TH ST & N ST - S VIEW



34TH ST & N ST - N VIEW



34TH ST & N ST - SE CORNER



34TH ST & N ST - SE CORNER



34TH ST & N ST - SW CORNER



34TH ST & PROSPECT - S VIEW



34TH ST & PROSPECT - W VIEW



34TH ST & PROSPECT - NW CORNER

CONTEXTUAL PHOTOS - ADJACENT PROPERTIES



EXISTING BACK FACADE







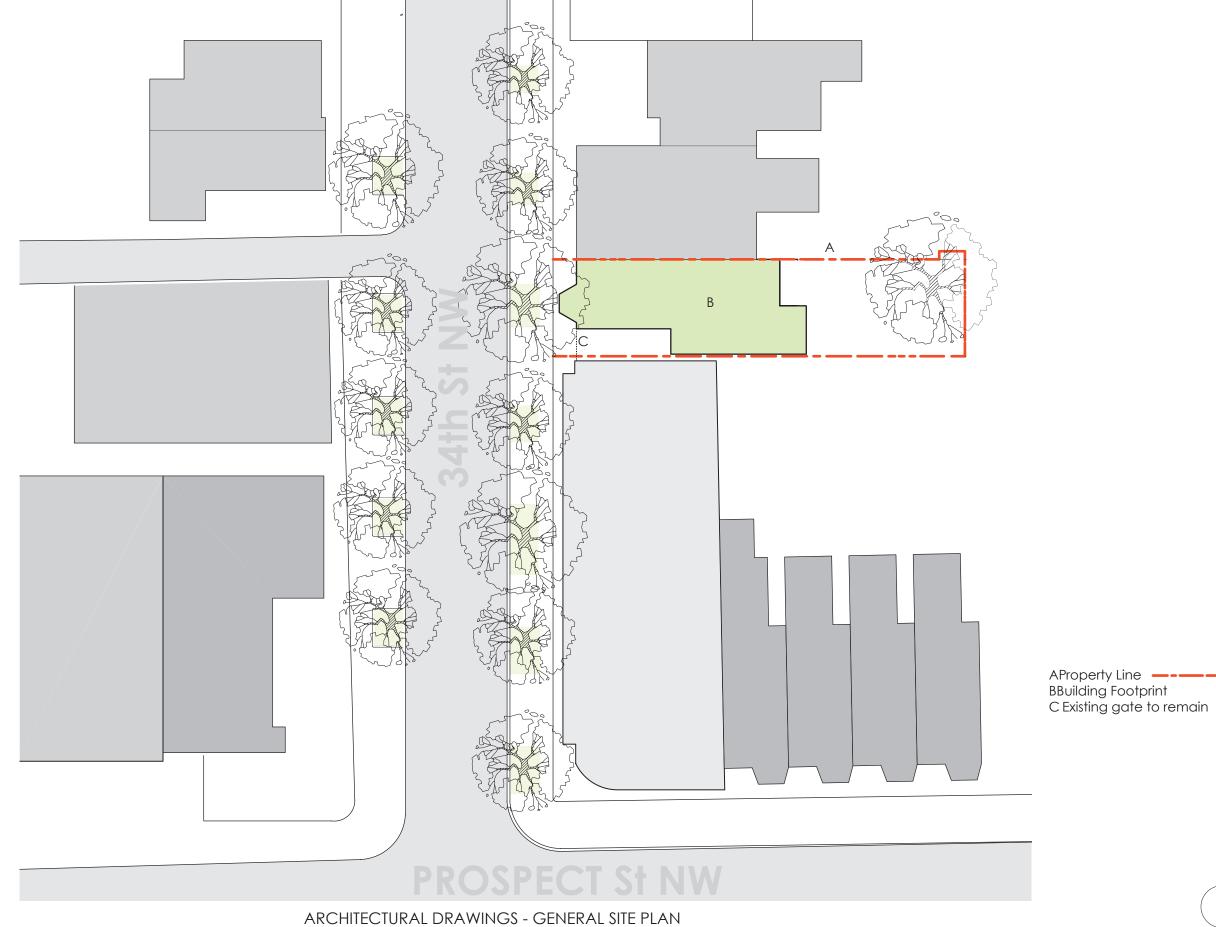




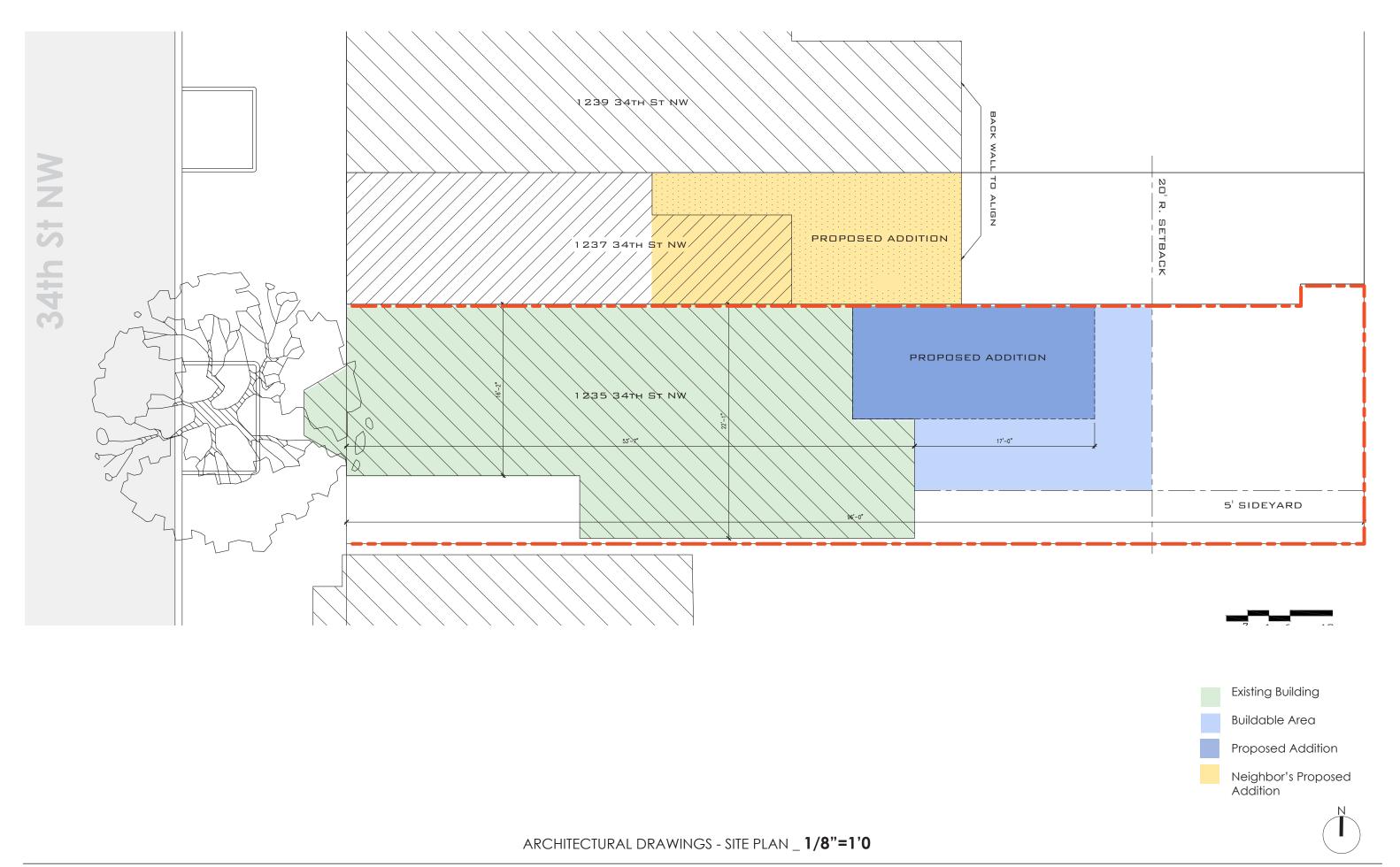


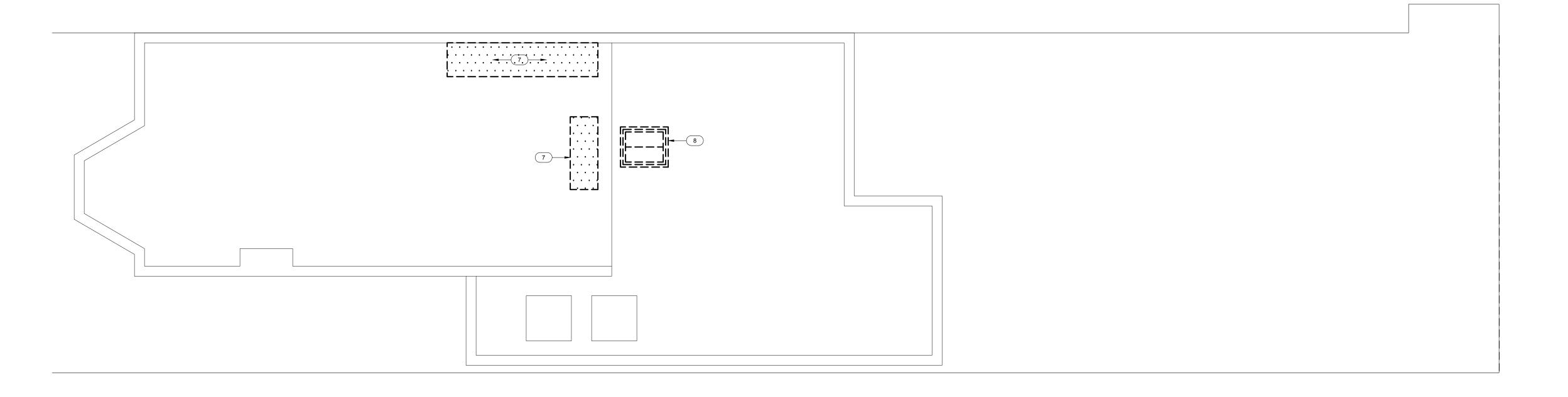
ADJACENT PROPERTIES CONCEALED BY TREES

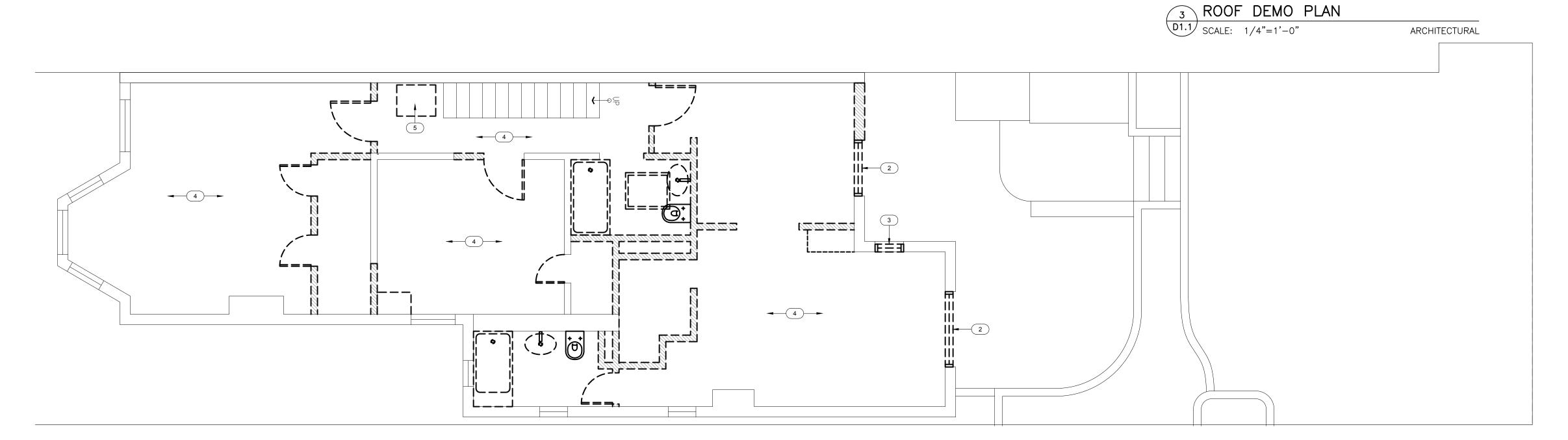
AS SEEN FROM ROOF FACING 33rd STREET (EAST).

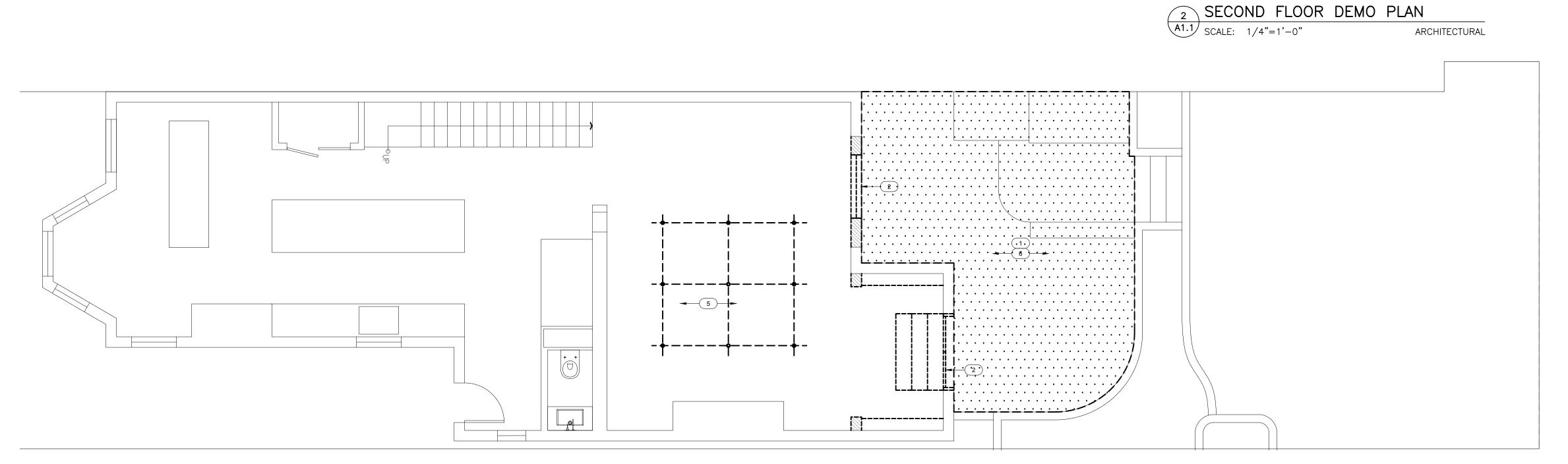












Tennical Plan | FIRST FLOOR DEMO PLAN | SCALE: 1/4"=1'-0" ARCHITECTURAL

GENERAL DEMOLITION NOTES

- THESE DRAWINGS DESCRIBE THE GENERAL LEVEL OF DEMOLITION THROUGHOUT THE ENTIRE PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PHASE THE DEMOLITION AS IT IS CONSISTENT WITH FUTURE CONSTRUCTION ACTIVITIES. IT IS TO BE UNDERSTOOD BY THE CONTRACTOR THAT THE INSTALLATION OF NEW WORK WILL REQUIRE ADDITIONAL SELECTIVE DEMOLITION.
- ALL ITEMS TO BE DEMOLISHED SHALL BE REMOVED COMPLETELY, INCLUDING FASTENERS, BRACKETS, BRACES, TIES, HANGERS, SHIMS, PIPES, CONDUITS, ETC; UNLESS OTHERWISE INDICATED TO BE ABANDONED IN PLACE.
- WHERE WALLS THAT ARE TO REMAIN ARE DISTURBED BY DEMOLITION, PATCH/REPAIR ADJACENT SURFACES TO A LIKE-NEW CONDITION. WHERE CEILINGS AND FLOORS THAT ARE TO REMAIN ARE DISTURBED BY DEMOLITION PATCH/REPAIR AREA AND ADJACENT AREAS TO LIKE NEW CONDITION.
- THE OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGED ITEMS. THE CONTRACTOR SHALL PROMPTLY DISPOSE OF ALL DEMOLISHED ITEMS THAT ARE NOT RETAINED BY THE OWNER. DO NOT STOCKPILE DEMOLITION DEBRIS ON SITE. WHERE ITEMS ARE TO BE DEMOLISHED THAT WOULD ALLOW
- UNAUTHORIZED ACCESS INTO THE BUILDING, THE CONTRACTOR MUST PROVIDE A TEMPORARY BARRIER TO PREVENT UNAUTHORIZED ACCESS.
- ALL EXISTING SURFACES TO REMAIN SHALL BE PROTECTED FROM DAMAGE. IF DAMAGED THEY SHALL BE RETURNED TO LIKE-EXISTING CONDITION. COLUMN LINES INDICATE EXTERIOR FACE OF EXISTING MASONRY
- EXISITNG LANDSCAPING SHOULD BE PROTECTED DURING CONSTRUCTION. COORDINATE WITH OWNER THE REMOVAL/RELOCATION OF ANY PLANT PRIOR TO PROCEED.

ANNOTATED DEMOLITION NOTES:

- EXCAVATE THIS AREA AS REQUIRED TO ACHIEVE DESIRED FLOOR HEIGHT PER BUILDING SECTION. FINISH FLOOR TO BE 6" BELOW FIRST FLOOR FINISH FLOOR.
- EXISTING REAR WINDOWS TO BE REPLACED PER WINDOW SCHEDULE. ENLARGE ROUGH OPENING AS REQUIRED.
- EXISTING WINDOW TO BE REMOVED AND CAVITY FILLED. EXISTING WOOD FLOORING TO BE REMOVED AND REPLACED PER
- MATERIAL SCHEDULE. REMOVE EXISTING LIGHT FIXTURES, PULL WIRES BACK TO PANEL AND
- PATCH CEILING. EXISTING IRRIGATION SYSTEM TO BE SALVAGED AND REINSTALLED TO ACCOMMODATE NEW FLOOR HEIGHT.
- DEMO THIS PORTION OF THE ROOF OPENINGS TO ACCOMMODATE NEW SKYLIGHT. GC TO PROVIDE ADDITIONAL SUPPORT AS REQUIRED DURING CONSTRUCTION TO MAKE SAFE AND AVOID DAMAGE TO
- EXISTING STRUCTURE. EXISTING SKYLIGHT TO BE REMOVED. INFILL OPENING AS NEEDED.

RENOVATION + ADDITION

1235 34TH STREET NW WASHINGTON DC, 20007

OWNER

X

ELISSA ALBEN & DAVID FRAGALE

1235 34TH STREET NW WASHINGTON DC 20007

ARCHITECT

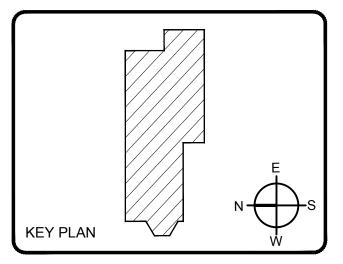
ZANNONI ARCHITECTURE 6011 WOODACRES DR BETHESDA MD, 20816

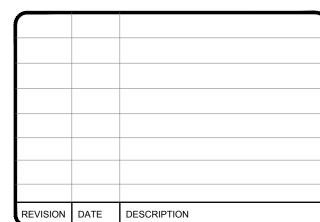
STRUCTURAL ENGINEER

5D ENGINEERS, PLLC RYAN D. DAVIES, PE TOUND HILL, VA 20142

CONTRACTOR

TBD





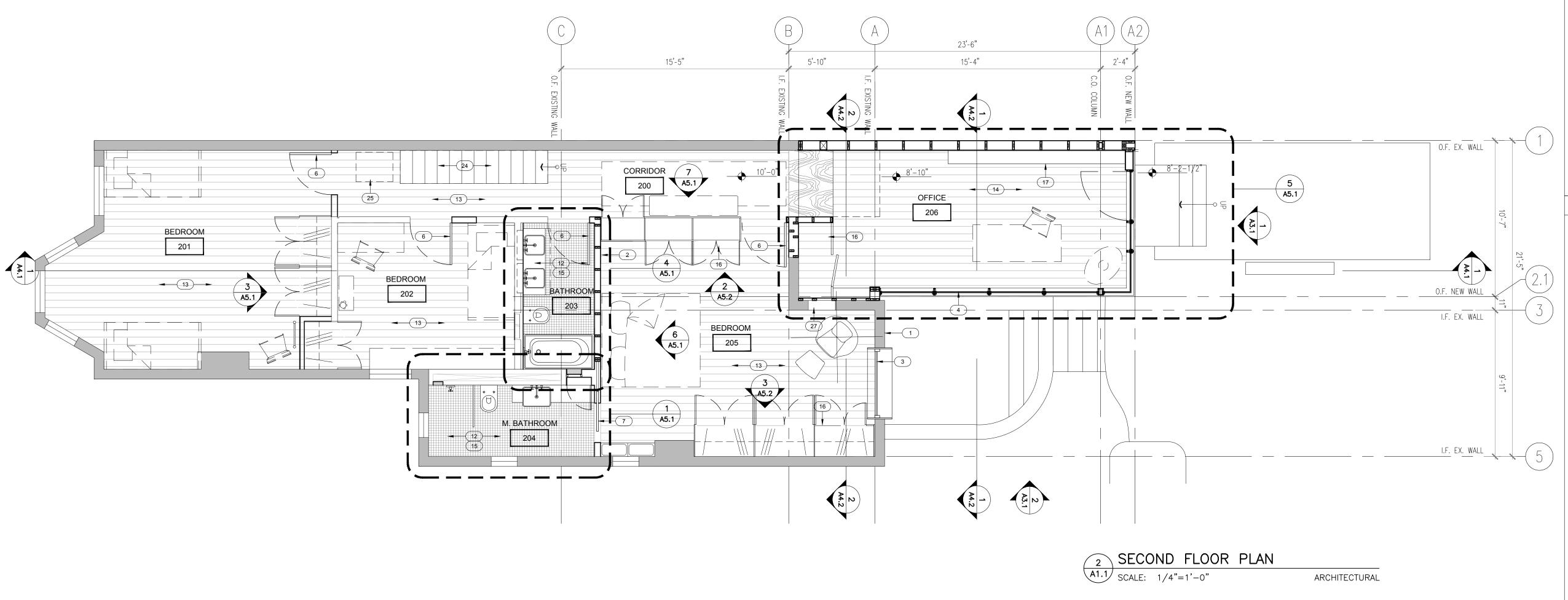


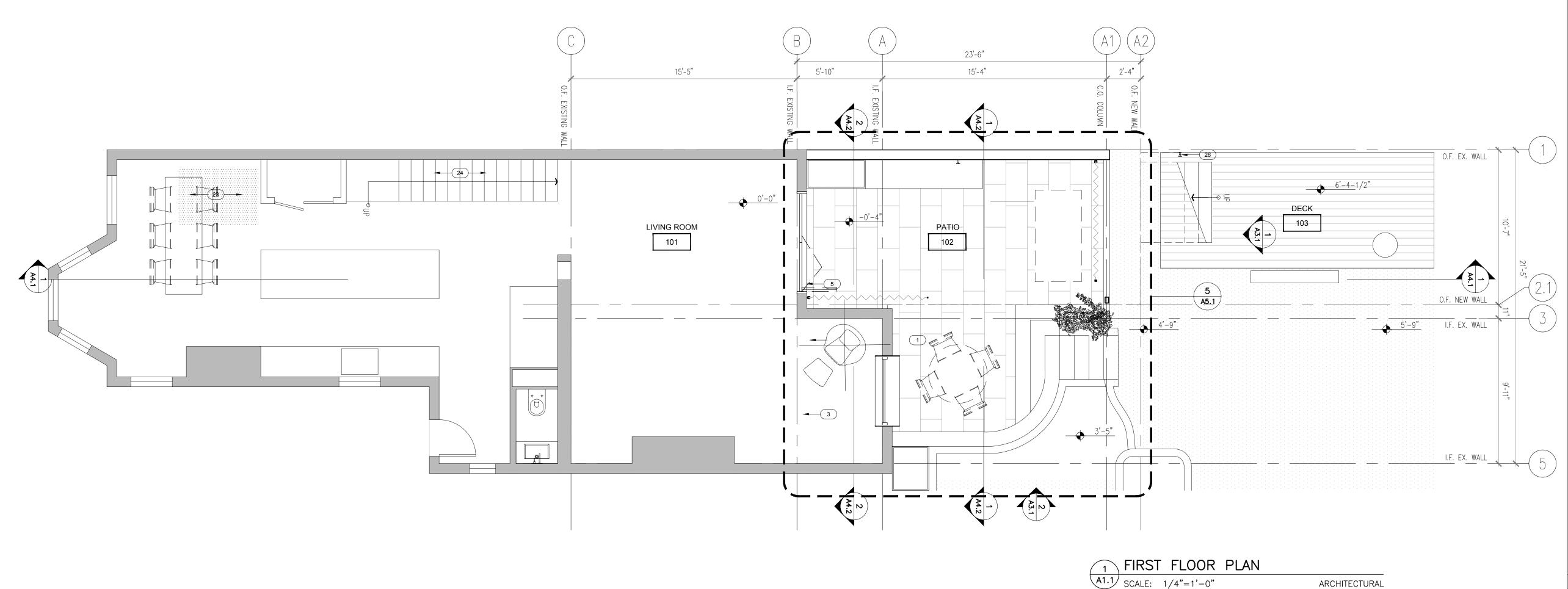
EXISTING WALL

DRAWING NUMBER

DEMOLITION FLOOR PLANS

DRAWING TITLE





GENERAL NEW CONSTRUCTION NOTES

- THESE DOCUMENTS ARE BASED ON INFORMATION GATHERED FROM FIELD OBSERVATION AND AS SUCH MAY REQUIRE ADJUSTMENT MODIFICATIONS. THESE DRAWINGS ARE TO BE USED TO SHOW DESIGN INTENT ONLY WHERE CHANGES ARE REQUIRED.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS PRIOR TO START OF IN THE EVENT OF DISCREPANCY, NOTIFY THE ARCHITECT AND GET SECURE RESOLUTION BEFORE PROCEEDING.
- ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE. WHERE NO DIMENSIONS ARE SHOWN AT PARTITIONS INDICATED AT COLUMN OR GRID LINES, CENTER PARTITIONS UNLESS OTHERWISE
- NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.

ANNOTATED NEW WORK NOTES:

- EXISTING EXTERIOR MASONRY WALL PARTITION TO REMAIN UNLESS NOTED OTHERWISE, COORDINATE WITH DEMOLITION DRAWINGS. INTERIOR WOOD FRAMED PARTITION WALL WITH SOUND ATTENUATION BATT INSULATION PER PLAN LAYOUT, TYPICAL. SEE PARTITION SCHEDULE. EXISTING WINDOWS TO BE REPLACED WITH STEEL FRAME THERMALLY
- BROKEN WINDOWS WITHIN EXISTING OPENING AS SCHEDULED. WINDOWS TO BE THERMALLY BROKEN STEEL FRAME WITH INSULATED 1" LOW-E GLASS. ALL WINDOWS TO BE TAPED, SEALED AND INSULATED PER MANUFACTURER INSTALLATION INSTRUCTIONS. ALT 1: THERMALLY BROKEN ALUMINUM FRAME WINDOWS.
- NEW WINDOWS TO BE STEEL FRAME THERMALLY BROKEN WINDOWS AS SCHEDULED. WINDOWS TO BE THERMALLY BROKEN STEEL FRAME WITH INSULATED 1" LOW-E GLASS. ALL WINDOWS TO BE TAPED, SEALED AND INSULATED PER MANUFACTURER INSTALLATION INSTRUCTIONS. ALT 1: THERMALLY BROKEN ALUMINUM FRAME WINDOWS.
- NEW ALUMINUM FRAME THERMALLY BROKEN BIFOLD DOOR WITHIN EXISTING -ENLARGED- OPENING AS SCHEDULED. GLASS DOOR TO BE THERMALLY BROKEN ALUMINUM FRAME WITH INSULATED 1" LOW-E GLASS. PROVIDE WEATHER TIGHT THRESHOLD, CASKETING, SEALANT AND FLASHING PER MANUFACTURER INSTALLATION INSTRUCTIONS.
- INTERIOR DOORS: "FRAMELESS" SOLID CORE PAINT GRADE WOOD WITH NEW HARDWARE AS SCHEDULED. TRANSOM WINDOW ABOVE. SEE SCHEDULE. INTERIOR DOORS: POCKET SOLID CORE PAINT GRADE WITH NEW HARDWARE AS SCHEDULED
- INSULATION OF PER CODE REQUIREMENTS AT ALL NEW EXTERIOR FRAMED WALLS. PROVIDE SEALANT AND INSULATION AT FULL PERIMETER OF EXISTING FLOOR FRAMING AS REQUIRED PRIOR TO INSTALLATION OF NEW CEILING FINISHES. TYPICAL. BATT INSULATION AT ALL NEW INTERIOR WOOD FRAMED WALLS. TYPICAL.
- 10. PROVIDE A NEW 🕯 DRYWALL LAYER ON ALL EXISTING CEILINGS TO REMAIN. 1. ½" GYPSUM BOARD WALL FINISH THROUGHOUT UNLESS NOTED OTHERWISE, PAINTED. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOMS, SERVICE AREAS. PROVIDE APPROPRIATE BACKER BOARD AS
- REQUIRED TO ACCOMMODATE TILE FINISHES. SEE FINISH SCHEDULE. . BATHROOM: PROVIDE NEW FINISHES, PLUMBING FIXTURES AND ACCESSORIES AS SCHEDULED, SEE ENLARGED PLAN AND INTERIOR ELEVATIONS.
- . REPLACE SOLID WOOD FLOORING ON SECOND FLOOR TO MATCH FLOORING ON FIRST FLOOR. REPAIR, REPLACE/PROVIDE NEW SUB FLOOR AS REQUIRED TO ACCOMMODATE NEW FLOOR FINISH. PROVIDE MOISTURE BARRIER, SOUND ATTENUATION MATERIALS PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- 4. NEW WOOD FLOOR TO MATCH FLOORING ON FIRST FLOOR.PROVIDE MOISTURE BARRIER, SOUND ATTENUATION MATERIALS PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- . GROUTED TILE FLOOR FINISH OVER APPROPRIATE SUBSTRATE AND MOISTURE BARRIER, SEALED AT PERIMETER AS SCHEDULED. PROVIDE ALL TRANSITIONS, FINISH SEALANTS AS REQUIRED. 6. ARCHITECTURAL MILLWORK ASSEMBLY, TO BE HARDWOOD LAMINATE OVER
- SOLID PLYWOOD UNLESS OTHERWISE NOTED GC TO PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION. 7. SUSPENDED SHELVING , PROVIDE RECESSED TRACKS AT BACK FOR
- HARDWOOD SHELVES. SEE MILLWORK DETAILS. . PROVIDE WALL BLOCKING AS REQUIRED TO ACCOMMODATE OWNER PROVIDED AND INSTALLED EQUIPMENT. SEE INTERIOR ELEVATIONS AND PROVIDE BLOCKING COORDINATION MEETING WITH OWNER FOR FINAL
- CONFIRMATIONS PRIOR TO WALL CLOSE IN. TYPICAL. 9. NEW HEATING AND COOLING SYSTEM TO BE INSTALLED TO SERVE SECOND AND ADDITION LEVELS, SEE MECHANICAL LAYOUT PLANS FOR REFERENCE.
- D. WATER HEATER AS SCHEDULED, SEE PLUMBING PLANS. 1. WATER/WASTE LINES PER NEW LAYOUT, SEE PLUMBING PLANS. 22. ELECTRICAL DEVICES, SYSTEMS PER NEW LAYOUT, SEE ELECTRICAL PLANS. 23. EXISTING -RECENTLY INSTALLED- WOOD FLOOR TO BE
- CLEANED/REFINISHED TO REMOVE MARKS. 24. EXISTING -RECENTLY INSTALLED- WOOD STAIR RISERS AND HANDRAIL TO BE REFINISHED TO MATCH NEW FLOORING.
- . INSTALL NEW FRAMELESS (OPENING) ATTIC ACCESS STAIR. SEE SCHEDULE. . NEW WATER HOSE AT GROUND LEVEL. . EXISTING ROUGH OPENING, LINE OPENING WITH SOLID WOOD TRIM AND INSTALL OPEN SHELVES. PAINTED TO MATCH WALL.

RENOVATION + ADDITION

1235 34TH STREET NW WASHINGTON DC, 20007

OWNER

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ELISSA ALBEN & DAVID

FRAGALE 1235 34TH STREET NW

WASHINGTON DC 20007

ARCHITECT

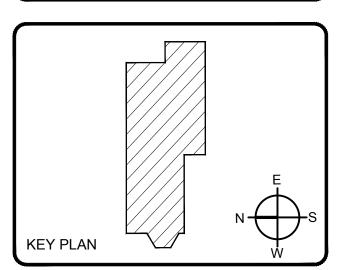
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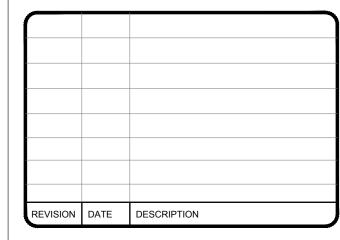
STRUCTURAL ENGINEER

5D ENGINEERS, PLLC RYAN D. DAVIES, PE TOUND HILL, VA 20142

CONTRACTOR

TBD







DRAWING TITLE FIRST AND SECOND FLOOR PLANS

RAWING NUMBER

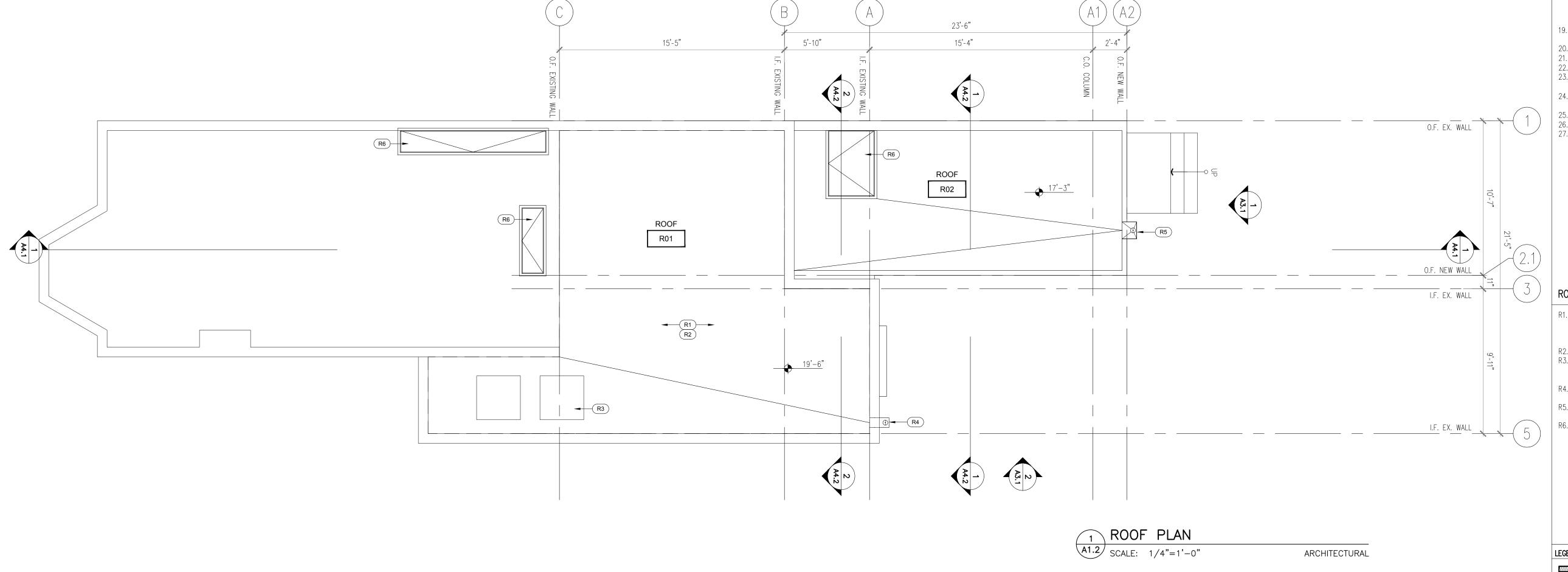
ARCHITECTURA

A1.

ARCHITECTURAL

WWW.WALLS

EXISTING WALLS



GENERAL NEW CONSTRUCTION NOTES

- A. THESE DOCUMENTS ARE BASED ON INFORMATION GATHERED FROM FIELD OBSERVATION AND AS SUCH MAY REQUIRE ADJUSTMENT MODIFICATIONS. THESE DRAWINGS ARE TO BE USED TO SHOW DESIGN INTENT ONLY WHERE CHANGES ARE REQUIRED.
- B. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS PRIOR TO START OF IN THE EVENT OF DISCREPANCY, NOTIFY THE ARCHITECT AND GET SECURE RESOLUTION BEFORE PROCEEDING.
- C. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED
 OTHERWISE. WHERE NO DIMENSIONS ARE SHOWN AT PARTITIONS INDICATED
 AT COLUMN OR GRID LINES, CENTER PARTITIONS UNLESS OTHERWISE
- D. NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.

ANNOTATED NEW WORK NOTES:

- 1. EXISTING EXTERIOR MASONRY WALL PARTITION TO REMAIN UNLESS NOTED
- OTHERWISE, COORDINATE WITH DEMOLITION DRAWINGS.

 2. INTERIOR WOOD FRAMED PARTITION WALL WITH SOUND ATTENUATION BATT INSULATION PER PLAN LAYOUT, TYPICAL. SEE PARTITION SCHEDULE.

 3. EXISTING WINDOWS TO BE REPLACED WITH STEEL FRAME THERMALLY BROKEN WINDOWS WITHIN EXISTING OPENING AS SCHEDULED. WINDOWS TO
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- 5. NEW ALUMINUM FRAME THERMALLY BROKEN BIFOLD DOOR WITHIN EXISTING -ENLARGED- OPENING AS SCHEDULED. GLASS DOOR TO BE THERMALLY BROKEN ALUMINUM FRAME WITH INSULATED 1" LOW-E GLASS. PROVIDE WEATHER TIGHT THRESHOLD, CASKETING, SEALANT AND FLASHING PER MANUFACTURER INSTALLATION INSTRUCTIONS.
- 6. INTERIOR DOORS: "FRAMELESS" SOLID CORE PAINT GRADE WOOD WITH NEW HARDWARE AS SCHEDULED. TRANSOM WINDOW ABOVE. SEE SCHEDULE.

 7. INTERIOR DOORS: POCKET SOLID CORE PAINT GRADE WITH NEW HARDWARE AS SCHEDULED.
- AS SCHEDULED.

 B. INSULATION OF PER CODE REQUIREMENTS AT ALL NEW EXTERIOR FRAMED WALLS. PROVIDE SEALANT AND INSULATION AT FULL PERIMETER OF EXISTING FLOOR FRAMING AS REQUIRED PRIOR TO INSTALLATION OF NEW CEILING FINISHES. TYPICAL.
- BATT INSULATION AT ALL NEW INTERIOR WOOD FRAMED WALLS.TYPICAL.
 PROVIDE A NEW TO DRYWALL LAYER ON ALL EXISTING CEILINGS TO REMAIN.
 GYPSUM BOARD WALL FINISH THROUGHOUT UNLESS NOTED OTHERWISE, PAINTED. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOMS, SERVICE AREAS. PROVIDE APPROPRIATE BACKER BOARD AS
- REQUIRED TO ACCOMMODATE TILE FINISHES. SEE FINISH SCHEDULE.

 12. BATHROOM: PROVIDE NEW FINISHES, PLUMBING FIXTURES AND ACCESSORIES AS SCHEDULED, SEE ENLARGED PLAN AND INTERIOR
- ELEVATIONS.

 13. REPLACE SOLID WOOD FLOORING ON SECOND FLOOR TO MATCH FLOORING ON FIRST FLOOR. REPAIR, REPLACE/PROVIDE NEW SUB FLOOR AS REQUIRED TO ACCOMMODATE NEW FLOOR FINISH. PROVIDE MOISTURE BARRIER, SOUND ATTENUATION MATERIALS PER MANUFACTURERS
- INSTALLATION INSTRUCTIONS.

 14. NEW WOOD FLOOR TO MATCH FLOORING ON FIRST FLOOR.PROVIDE MOISTURE BARRIER, SOUND ATTENUATION MATERIALS PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- MANOTACTORERS INSTALLATION INSTRUCTIONS.

 GROUTED TILE FLOOR FINISH OVER APPROPRIATE SUBSTRATE AND MOISTURE BARRIER, SEALED AT PERIMETER AS SCHEDULED. PROVIDE ALL TRANSITIONS, FINISH SEALANTS AS REQUIRED.
- 16. ARCHITECTURAL MILLWORK ASSEMBLY, TO BE HARDWOOD LAMINATE OVER SOLID PLYWOOD, UNLESS OTHERWISE NOTED. GC TO PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION.
- 7. SUSPENDED SHELVING , PROVIDE RECESSED TRACKS AT BACK FOR HARDWOOD SHELVES. SEE MILLWORK DETAILS.
- 8. PROVIDE WALL BLOCKING AS REQUIRED TO ACCOMMODATE OWNER PROVIDED AND INSTALLED EQUIPMENT. SEE INTERIOR ELEVATIONS AND PROVIDE BLOCKING COORDINATION MEETING WITH OWNER FOR FINAL CONFIRMATIONS PRIOR TO WALL CLOSE IN. TYPICAL.
- 19. NEW HEATING AND COOLING SYSTEM TO BE INSTALLED TO SERVE SECOND AND ADDITION LEVELS, SEE MECHANICAL LAYOUT PLANS FOR REFERENCE.
- 20. WATER HEATER AS SCHEDULED, SEE PLUMBING PLANS.
 21. WATER/WASTE LINES PER NEW LAYOUT, SEE PLUMBING PLANS.
 22. ELECTRICAL DEVICES, SYSTEMS PER NEW LAYOUT, SEE ELECTRICAL PLANS.
 23. EXISTING -RECENTLY INSTALLED- WOOD FLOOR TO BE
- CLEANED/REFINISHED TO REMOVE MARKS.

 24. EXISTING -RECENTLY INSTALLED- WOOD STAIR RISERS AND HANDRAIL TO BE REFINISHED TO MATCH NEW FLOORING.
- 25. INSTALL NEW FRAMELESS (OPENING) ATTIC ACCESS STAIR. SEE SCHEDULE.
 26. NEW WATER HOSE AT GROUND LEVEL.
 27. EXISTING ROUGH OPENING, LINE OPENING WITH SOLID WOOD TRIM AND

INSTALL OPEN SHELVES. PAINTED TO MATCH WALL.

HOUSE

RENOVATION + ADDITION

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WASHINGTON DC, 20007

OWNER

X

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FRAGALE
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WASHINGTON DC 20007

ARCHITECT

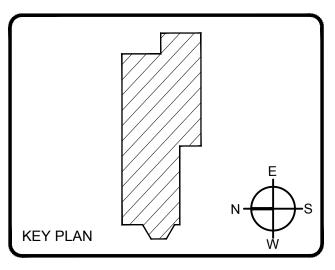
Z A N N □ N I A R C H I T E C T U R E 6011 WOODACRES DR BETHESDA MD, 20816

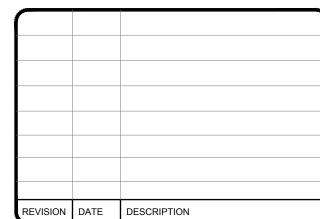
STRUCTURAL ENGINEER

5D ENGINEERS, PLLC RYAN D. DAVIES, PE TOUND HILL, VA 20142

CONTRACTOR

TE





ROOFING NOTES:

- R1. REPLACE EXISTING ROOFING WITH 60 MIL WHITE T.P.O WATERPROOF
 MEMBRANE OVER MANUFACTURER PROTECTION BOARD OVER TAPERED
 RIGID INSULATION AS REQUIRED TO ACHIEVE PROPER DRAINAGE. LOW
- R2. REPLACE EXISTING WALL FLASHING AS REQUIRED.
 R3. EXISTING EQUIPMENT PLATFORM TO REMAIN. INCREASE HEIGHT IF
 REQUIRED TO ACCOMMODATE NEW ROOF SLOPE. SALVAGE/PROVIDE NEW
- SOUND DAMPENING SPRINGS.

 R4. NEW THROUGH WALL SCUPPER, AND DRAIN. CONNECT TO EXISTING STORM WATER DRAIN.
- R5. NEW THROUGH WALL SCUPPER, AND RAIN CHAIN DRAINING INTO RAIN WATER COLLECTION TANK FOR IRRIGATION.R6. NEW ROOF SKYLIGHTS. SEE WINDOW SCHEDULE.

PROJECT NUMBER 2101
DRAWING DATE FEBRUARY, 2023
DRAWING SCALE 1/4" = 1'-0"

DRAWING TITLE

RAWING TYPE

RAWING NUMBER

LEGEND

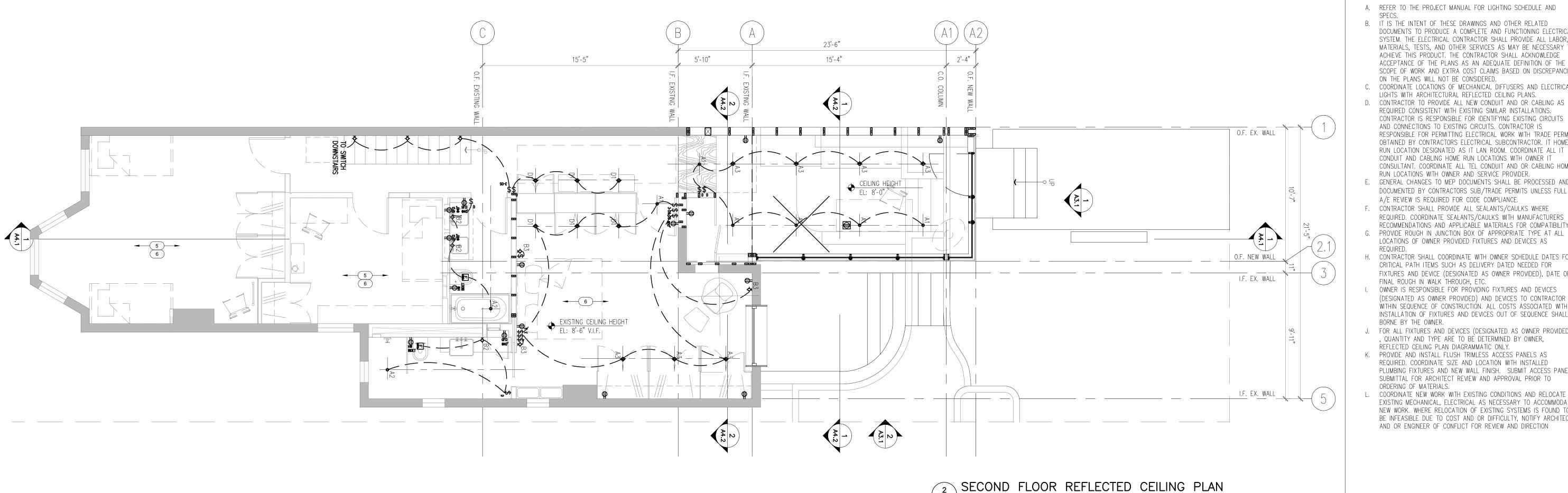
NEW WALLS

EXISTING WALLS

A1.2

ROOF FLOOR PLANS

ARCHITECTURAL



GENERAL RCP NOTES

- A. REFER TO THE PROJECT MANUAL FOR LIGHTING SCHEDULE AND
- B. IT IS THE INTENT OF THESE DRAWINGS AND OTHER RELATED DOCUMENTS TO PRODUCE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TESTS, AND OTHER SERVICES AS MAY BE NECESSARY T ACHIEVE THIS PRODUCT. THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF THE PLANS AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK AND EXTRA COST CLAIMS BASED ON DISCREPANCIES
- ON THE PLANS WILL NOT BE CONSIDERED. C. COORDINATE LOCATIONS OF MECHANICAL DIFFUSERS AND ELECTRICAL
- LIGHTS WITH ARCHITECTURAL REFLECTED CEILING PLANS. D. CONTRACTOR TO PROVIDE ALL NEW CONDUIT AND OR CABLING AS REQUIRED CONSISTENT WITH EXISTING SIMILAR INSTALLATIONS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING EXISTING CIRCUITS AND CONNECTIONS TO EXISTING CIRCUITS. CONTRACTOR IS RESPONSIBLE FOR PERMITTING ELECTRICAL WORK WITH TRADE PERMIT OBTAINED BY CONTRACTORS ELECTRICAL SUBCONTRACTOR. IT HOME RUN LOCATION DESIGNATED AS IT LAN ROOM. COORDINATE ALL IT CONDUIT AND CABLING HOME RUN LOCATIONS WITH OWNER IT CONSULTANT, COORDINATE ALL TEL CONDUIT AND OR CABLING HOME
- RUN LOCATIONS WITH OWNER AND SERVICE PROVIDER. . GENERAL CHANGES TO MEP DOCUMENTS SHALL BE PROCESSED AND DOCUMENTED BY CONTRACTORS SUB/TRADE PERMITS UNLESS FULL A/E REVIEW IS REQUIRED FOR CODE COMPLIANCE.
- F. CONTRACTOR SHALL PROVIDE ALL SEALANTS/CAULKS WHERE REQUIRED. COORDINATE SEALANTS/CAULKS WITH MANUFACTURERS RECOMMENDATIONS AND APPLICABLE MATERIALS FOR COMPATIBILITY.
- LOCATIONS OF OWNER PROVIDED FIXTURES AND DEVICES AS H. CONTRACTOR SHALL COORDINATE WITH OWNER SCHEDULE DATES FOR CRITICAL PATH ITEMS SUCH AS DELIVERY DATED NEEDED FOR
- FIXTURES AND DEVICE (DESIGNATED AS OWNER PROVIDED), DATE OF FINAL ROUGH IN WALK THROUGH, ETC. . OWNER IS RESPONSIBLE FOR PROVIDING FIXTURES AND DEVICES (DESIGNATED AS OWNER PROVIDED) AND DEVICES TO CONTRACTOR WITHIN SEQUENCE OF CONSTRUCTION. ALL COSTS ASSOCIATED WITH INSTALLATION OF FIXTURES AND DEVICES OUT OF SEQUENCE SHALL
- BORNE BY THE OWNER. J. FOR ALL FIXTURES AND DEVICES (DESIGNATED AS OWNER PROVIDED) , QUANTITY AND TYPE ARE TO BE DETERMINED BY OWNER,
- REFLECTED CEILING PLAN DIAGRAMMATIC ONLY. K. PROVIDE AND INSTALL FLUSH TRIMLESS ACCESS PANELS AS REQUIRED. COORDINATE SIZE AND LOCATION WITH INSTALLED PLUMBING FIXTURES AND NEW WALL FINISH. SUBMIT ACCESS PANEL SUBMITTAL FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO ORDERING OF MATERIALS.
- COORDINATE NEW WORK WITH EXISTING CONDITIONS AND RELOCATE EXISTING MECHANICAL, ELECTRICAL AS NECESSARY TO ACCOMMODATE NEW WORK. WHERE RELOCATION OF EXISTING SYSTEMS IS FOUND TO BE INFEASIBLE DUE TO COST AND OR DIFFICULTY, NOTIFY ARCHITECT AND OR ENGINEER OF CONFLICT FOR REVIEW AND DIRECTION

RENOVATION + ADDITION

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OWNER

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ZANN ON I ARCHITECTURE 6011 WOODACRES DR BETHESDA MD, 20816

STRUCTURAL ENGINEER

5D ENGINEERS, PLLC RYAN D. DAVIES, PE TOUND HILL, VA 20142

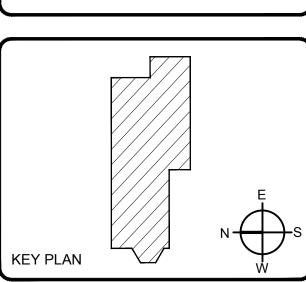
CONTRACTOR

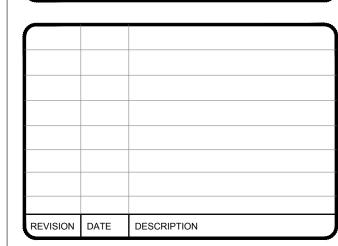
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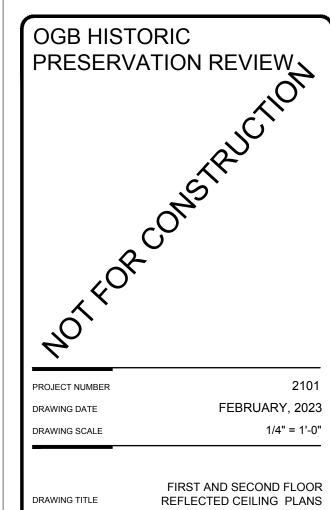
TBD

ANNOTATED NEW WORK NOTES:

- 1. PAINTED GYPSUM BOARD CEILING, TYP.
- 2. PENDANT LIGHTS PBO, COORDINATE WITH OWNER/ARCHITECT MOUNTING HEIGHT.
- 3. WALL SCONCE LIGHTS PBO, COORDINATE WITH OWNER/ARCHITECT
- MOUNTING HEIGHT. 4. DECORATIVE FIXTURES TO BE PBO, RECESSED FIXTURES TO BE PBGC.5. REPLACE EXISTING RECESSED LIGHT FIXTURES WITH TRIMLESS LED
- DIMMABLE FIXTURES. 6. REMOVE ALL CEILING TRIM AND REFINISH AT A 90* ANGLE CORNER.

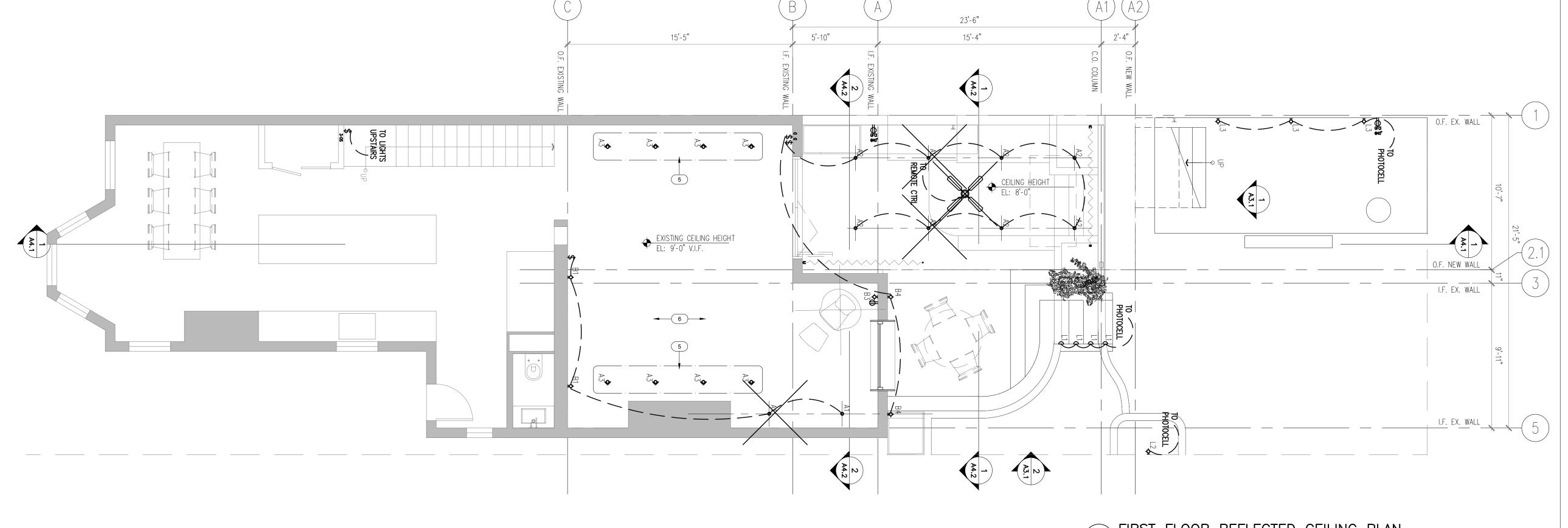






ARCHITECTURA

A2.1



1 FIRST FLOOR REFLECTED CEILING PLAN A2.1 SCALE: 1/4"=1'-0"

ARCHITECTURAL

ARCHITECTURAL

ELECTRICAL FIXTURE LEGEND						
	MANUFACTURER	NAME AND NUMBER	NOTES			
SINGLE POLE SWITCH	LUTRON	DIVA SATIN SERIES SNOW	NONE			
TWO-WAY SWITCH	LUTRON	DIVA SATIN	NONE			
THREE-WAY SWITCH	LUTRON	DIVA SATIN	NONE			
	LUTRON	DIVA SATIN	DIMMER W/ PRESET, COORDINATE CONFIGURATION SETTING WITH OWNER			
	LUTRON	DIVA SATIN	DIMMER W/ PRESET, COORDINATE CONFIGURATION SETTING WITH OWNER			
	LUTRON	DIVA SATIN	DIMMER W/ PRESET, COORDINATE CONFIGURATION SETTING WITH OWNER			
SWITCH WITH OCCUPANCY SENSOR	LUTRON	DIVA SATIN	COORDINATE CONFIGURATION SETTING WITH OWNER			
SWITCH WITH VACANCY SENSOR	LUTRON	DIVA SATIN	COORDINATE CONFIGURATION SETTING WITH OWNER			
110 VOLT DUPLEX OUTLET	LUTRON	DIVA SATIN	NONE			
GROUND FAULT OUTLET	LUTRON	DIVA SATIN	NONE			
100 VOLT OUTLET WITH USB PORT	LUTRON	DIVA SATIN	NONE			
110 VOLT DUPLEX FLOOR OUTLET	LUTRON	DIVA SATIN	NONE			
TELEPHONE / DATA JACK COMBO OUTLET	LUTRON	DIVA SATIN	NONE			
CABLE TV OUTLET	LUTRON	DIVA SATIN	NONE			
EXHAUST FAN	PANASONIC PANASONIC	WHISPER CEILING FV-11VQD2 WHISPER CEILING FV-20Q3	110CFM 190CFM			
THERMOSTAT	TO BE DETERMINED	TO BE DETERMINED	PROGRAMMABLE THERMOSTAT			
SMOKE DETECTOR	TO BE DETERMINED	TO BE DETERMINED	NONE			
SMOKE AND CARBON MONOXIDE DETECTOR	TO BE DETERMINED	TO BE DETERMINED	NONE			
	1	I				
	LOCATION SINGLE POLE SWITCH TWO-WAY SWITCH THREE-WAY SWITCH SINGLE POLE SWITCH W/ DIMMER TWO POLE SWITCH W/ DIMMER THREE POLE SWITCH W/ DIMMER SWITCH WITH OCCUPANCY SENSOR SWITCH WITH VACANCY SENSOR 110 VOLT DUPLEX OUTLET GROUND FAULT OUTLET 110 VOLT DUPLEX FLOOR OUTLET TELEPHONE / DATA JACK COMBO OUTLET EXHAUST FAN THERMOSTAT SMOKE DETECTOR	LOCATION SINGLE POLE SWITCH LUTRON TWO-WAY SWITCH LUTRON THREE-WAY SWITCH LUTRON SINGLE POLE SWITCH W/ DIMMER TWO POLE SWITCH W/ DIMMER THREE POLE SWITCH W/ DIMMER THREE POLE SWITCH W/ DIMMER SWITCH WITH OCCUPANCY SENSOR LUTRON SWITCH WITH VACANCY SENSOR LUTRON 110 VOLT DUPLEX OUTLET GROUND FAULT OUTLET LUTRON 110 VOLT DUPLEX FLOOR OUTLET TELEPHONE / DATA JACK COMBO OUTLET LUTRON EXHAUST FAN PANASONIC THERMOSTAT TO BE DETERMINED SMOKE DETECTOR	LOCATION MANUFACTURER NAME AND NUMBER SINGLE POLE SWITCH LUTRON DIVA SATIN SERIES SNOW TWO-WAY SWITCH LUTRON DIVA SATIN SERIES SNOW THREE-WAY SWITCH LUTRON DIVA SATIN SERIES SNOW SINGLE POLE SWITCH LUTRON DIVA SATIN SERIES SNOW SINGLE POLE SWITCH LUTRON DIVA SATIN SERIES SNOW TWO POLE SWITCH LUTRON DIVA SATIN SERIES SNOW THEE POLE SWITCH LUTRON DIVA SATIN SERIES SNOW THEE POLE SWITCH LUTRON DIVA SATIN SERIES SNOW SWITCH WITH OCCUPANCY SENSOR LUTRON DIVA SATIN SERIES SNOW SWITCH WITH VACANCY SENSOR LUTRON DIVA SATIN SERIES SNOW THO VOLT DUPLEX CUTRON DIVA SATIN SERIES SNOW THO VOLT DUPLEX CROUND FAULT CUTLET LUTRON DIVA SATIN SERIES SNOW TO VOLT OUTLET WITH USE PORT LUTRON DIVA SATIN SERIES SNOW THO VOLT DUPLEX LUTRON DIVA SATIN SERIES MOW THO VOLT DUPLEX LUTRON DIVA SATIN SERIES MOW THO VOLT DUPLEX LUTRON DIVA SATIN SERIES MOW THO VOLT DUPLEX LUTRON DIVA SATIN SERIES SNOW THO VOLT DUPLEX LUTRON DIVA SATIN SERIES MOW THO VOLT DUPLEX LUTRON DIVA SATIN SERIES MOW THO VOLT DUPLEX LUTRON DIVA SATIN SERIES MOW THE VOLTET LUTRON DIVA SATIN SERIES SNOW THE VOLTET LUTRON DIVA SATIN SERIES SNOW CABLE TV CUTLET LUTRON DIVA SATIN SERIES SNOW THE VOLTED DIVERTING TO DE DETERMINED SMOKE DETERMINED TO BE DETERMINED TO BE DETERMINED			

LIGHTING FIXTURE SCHEDULE								
SYM	KEY	DESCRIPTION	MAUFACTURER	MODEL NUMBER	NOTES			
o	A1	4" DOWNLIGHT	WAC LIGHTING	4" ADJUSTABLE L4R, L4RA	NONE			
0	A2	4" DOWNLIGHT - DAMP LOCATION						
\$	A3	4" DOWNLIGHT - DIRECTIONAL						
ф	B1	WALL SCONCE	TO BE DETERMINED	TO BE DETERMINED	PB0			
ф	B2	VANITY LIGHT	TO BE DETERMINED	TO BE DETERMINED	PBO			
ф	В3	READING SCONCE	TO BE DETERMINED	TO BE DETERMINED	PBO - COORDINATE WITH OWNER/ARCHITECT INSTALLATION HEIGHT			
ф	B4	EXTERIOR WALL SCONCE	TO BE DETERMINED	TO BE DETERMINED	PBO			
	C1	24" LINEAR	TO BE DETERMINED	TO BE DETERMINED	MOTION SENSOR INSIDE CLOSET			
	F1	CEILING FAN	TO BE DETERMINED	TO BE DETERMINED	PBO			
ф	L1	LANDSCAPE LIGHTING	TO BE DETERMINED	TO BE DETERMINED	LOW VOLTAGE			
ф	L2	LANDSCAPE LIGHTING	TO BE DETERMINED	TO BE DETERMINED	LOW VOLTAGE			
ф	L3	LANDSCAPE LIGHTING	TO BE DETERMINED	TO BE DETERMINED	LOW VOLTAGE			
	1	'	•					

GENERAL RCP NOTES

- A. REFER TO THE PROJECT MANUAL FOR LIGHTING SCHEDULE AND
- B. IT IS THE INTENT OF THESE DRAWINGS AND OTHER RELATED DOCUMENTS TO PRODUCE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TESTS, AND OTHER SERVICES AS MAY BE NECESSARY TO ACHIEVE THIS PRODUCT. THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF THE PLANS AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK AND EXTRA COST CLAIMS BASED ON DISCREPANCIES ON THE PLANS WILL NOT BE CONSIDERED.

C. COORDINATE LOCATIONS OF MECHANICAL DIFFUSERS AND ELECTRICAL LIGHTS WITH ARCHITECTURAL REFLECTED CEILING PLANS.

D. CONTRACTOR TO PROVIDE ALL NEW CONDUIT AND OR CABLING AS

- D. CONTRACTOR TO PROVIDE ALL NEW CONDUIT AND OR CABLING AS REQUIRED CONSISTENT WITH EXISTING SIMILAR INSTALLATIONS.

 CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING EXISTING CIRCUITS AND CONNECTIONS TO EXISTING CIRCUITS. CONTRACTOR IS RESPONSIBLE FOR PERMITTING ELECTRICAL WORK WITH TRADE PERMIT OBTAINED BY CONTRACTORS ELECTRICAL SUBCONTRACTOR. IT HOME RUN LOCATION DESIGNATED AS IT LAN ROOM. COORDINATE ALL IT CONDUIT AND CABLING HOME RUN LOCATIONS WITH OWNER IT CONSULTANT. COORDINATE ALL TEL CONDUIT AND OR CABLING HOME RUN LOCATIONS WITH OWNER AND SERVICE PROVIDER.
- E. GENERAL CHANGES TO MEP DOCUMENTS SHALL BE PROCESSED AND DOCUMENTED BY CONTRACTORS SUB/TRADE PERMITS UNLESS FULL A/E REVIEW IS REQUIRED FOR CODE COMPLIANCE.
- F. CONTRACTOR SHALL PROVIDE ALL SEALANTS/CAULKS WHERE REQUIRED. COORDINATE SEALANTS/CAULKS WITH MANUFACTURERS RECOMMENDATIONS AND APPLICABLE MATERIALS FOR COMPATIBILITY.

 G. PROVIDE ROUGH IN JUNCTION BOX OF APPROPRIATE TYPE AT ALL LOCATIONS OF OWNER PROVIDED FIXTURES AND DEVICES AS
- REQUIRED.

 H. CONTRACTOR SHALL COORDINATE WITH OWNER SCHEDULE DATES FOR CRITICAL PATH ITEMS SUCH AS DELIVERY DATED NEEDED FOR FIXTURES AND DEVICE (DESIGNATED AS OWNER PROVIDED), DATE OF
- FINAL ROUGH IN WALK THROUGH, ETC.

 I. OWNER IS RESPONSIBLE FOR PROVIDING FIXTURES AND DEVICES (DESIGNATED AS OWNER PROVIDED) AND DEVICES TO CONTRACTOR WITHIN SEQUENCE OF CONSTRUCTION. ALL COSTS ASSOCIATED WITH INSTALLATION OF FIXTURES AND DEVICES OUT OF SEQUENCE SHALL BORNE BY THE OWNER.
- J. FOR ALL FIXTURES AND DEVICES (DESIGNATED AS OWNER PROVIDED) , QUANTITY AND TYPE ARE TO BE DETERMINED BY OWNER, REFLECTED CEILING PLAN DIAGRAMMATIC ONLY.
- K. PROVIDE AND INSTALL FLUSH TRIMLESS ACCESS PANELS AS REQUIRED. COORDINATE SIZE AND LOCATION WITH INSTALLED PLUMBING FIXTURES AND NEW WALL FINISH. SUBMIT ACCESS PANEL SUBMITTAL FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO ORDERING OF MATERIALS.
- L. COORDINATE NEW WORK WITH EXISTING CONDITIONS AND RELOCATE EXISTING MECHANICAL, ELECTRICAL AS NECESSARY TO ACCOMMODATE NEW WORK. WHERE RELOCATION OF EXISTING SYSTEMS IS FOUND TO BE INFEASIBLE DUE TO COST AND OR DIFFICULTY, NOTIFY ARCHITECT AND OR ENGINEER OF CONFLICT FOR REVIEW AND DIRECTION

HOUSE

RENOVATION + ADDITION

1235 34TH STREET NW WASHINGTON DC, 20007

OWNER

ELISSA ALBEN & DAVID FRAGALE

1235 34TH STREET NW WASHINGTON DC 20007

ARCHITECT

Z A N N □ N I A R C H I T E C T U R E 6011 WOODACRES DR BETHESDA MD, 20816

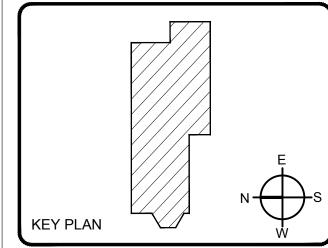
STRUCTURAL ENGINEER

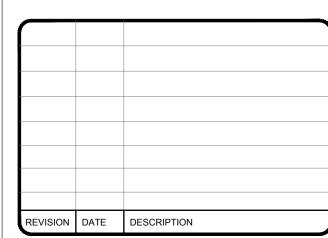
5D ENGINEERS, PLLC RYAN D. DAVIES, PE

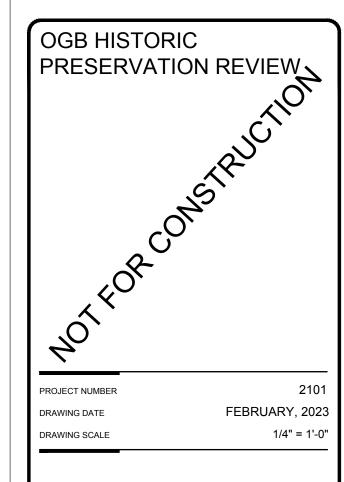
CONTRACTOR

TBD TBD

TOUND HILL, VA 20142

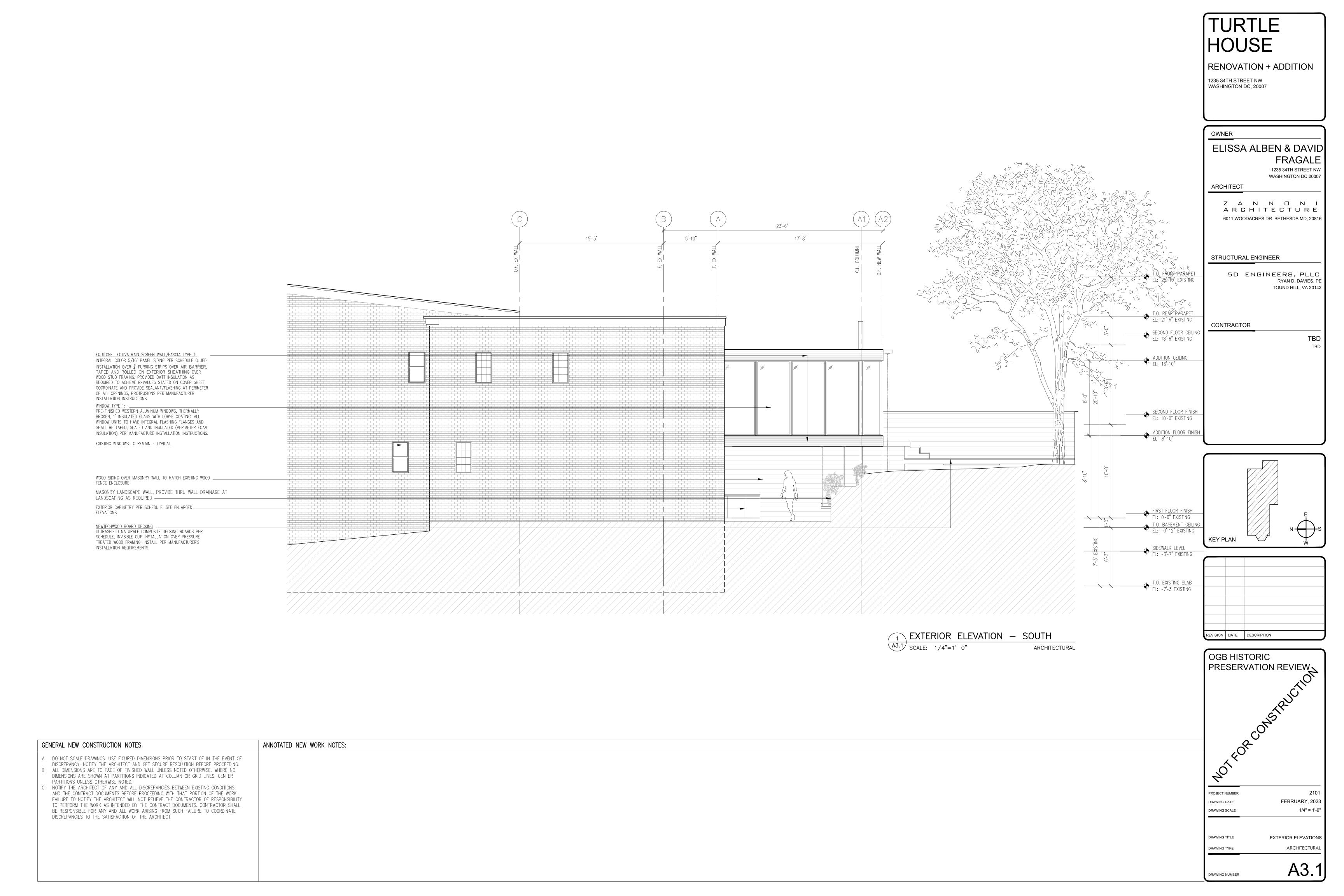


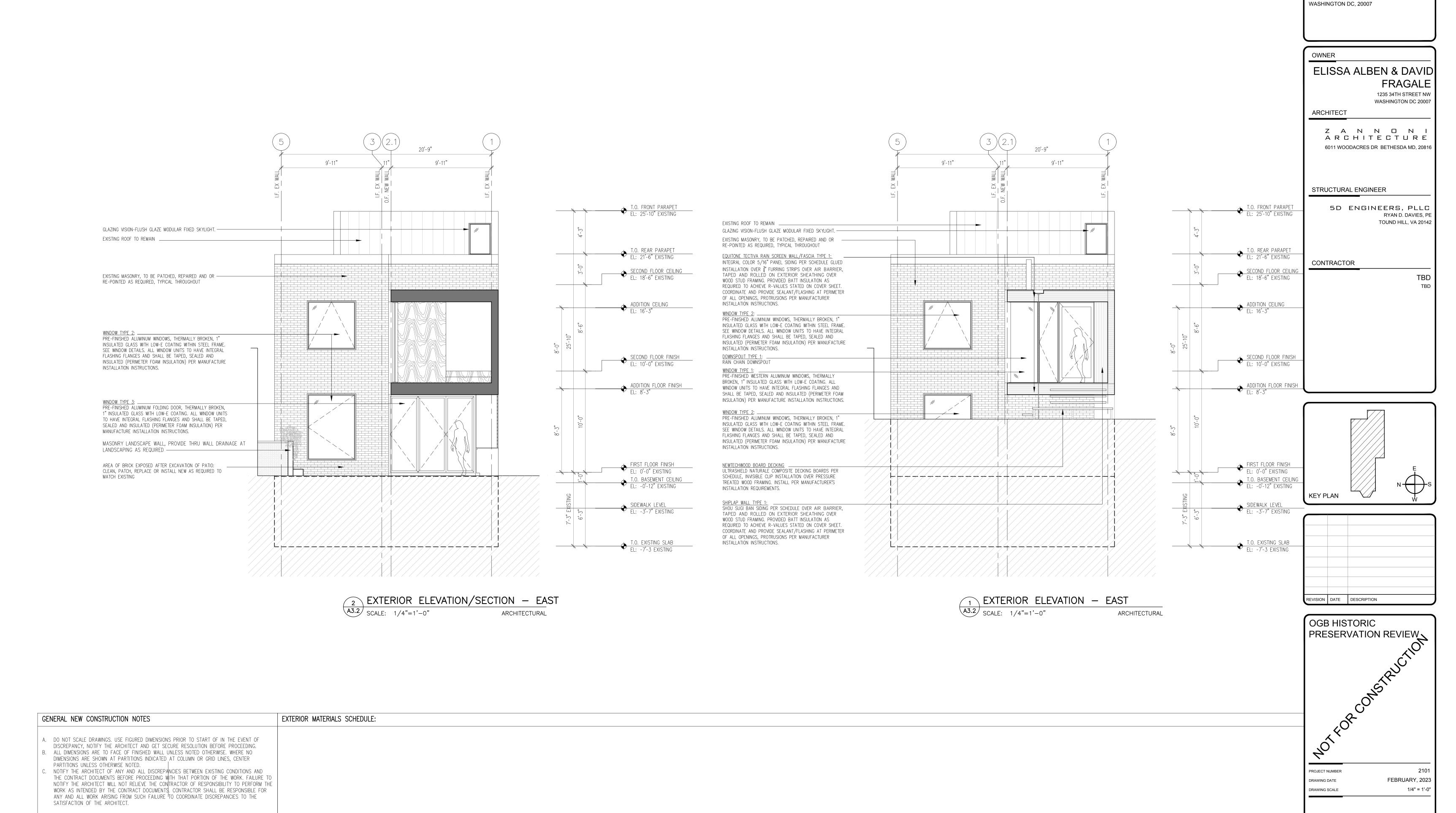




LIGHTING SCHEDULE

ARCHITECTURAL





TURTLE

1235 34TH STREET NW

DRAWING TITLE

DRAWING TYPE

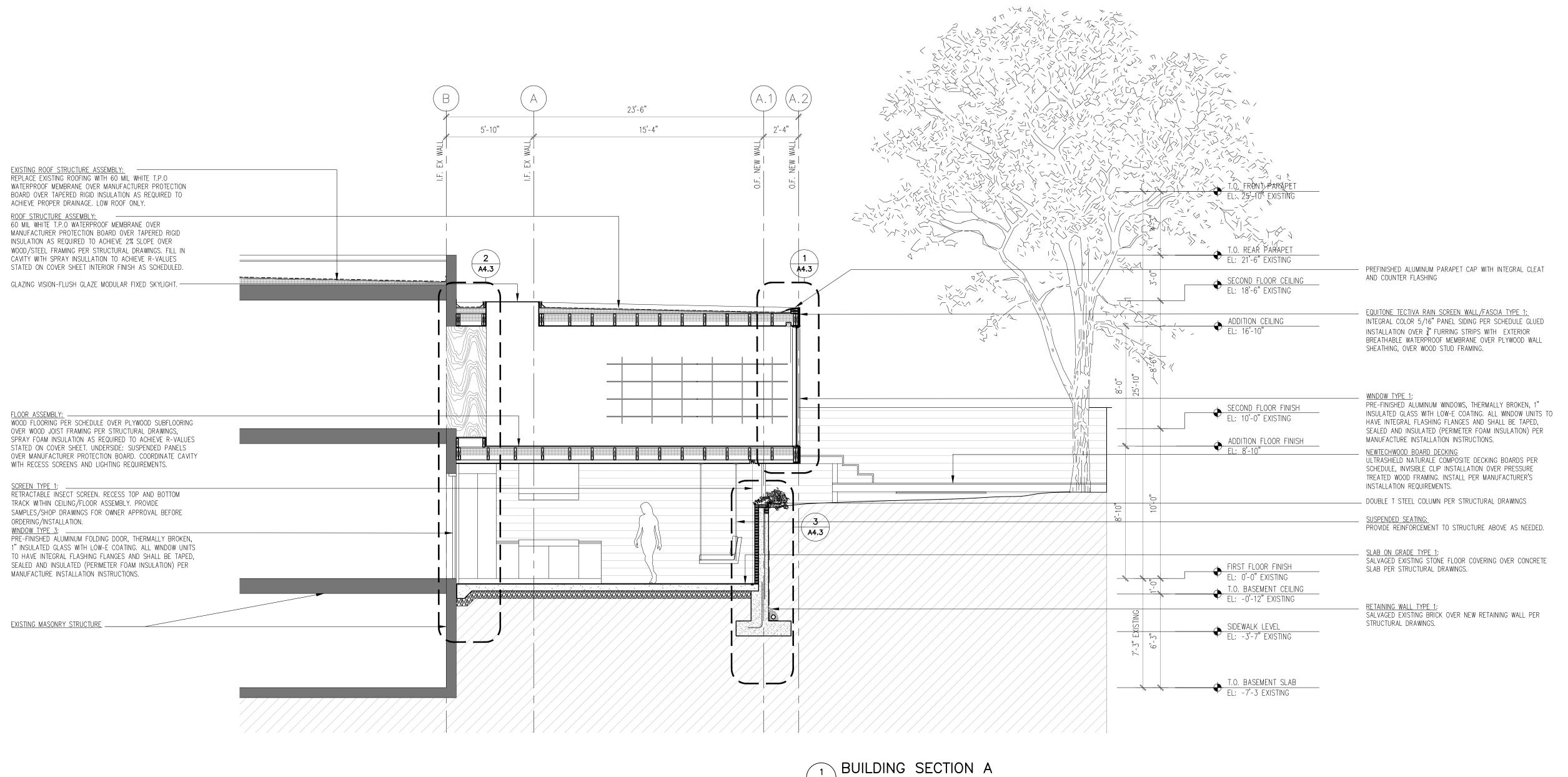
DRAWING NUMBER

EXTERIOR ELEVATIONS

ARCHITECTURA

A3.2

RENOVATION + ADDITION



A4.1 SCALE: 1/4"=1'-0"

ARCHITECTURAL

ANNOTATED NEW WORK NOTES: GENERAL NEW CONSTRUCTION NOTES A. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS PRIOR TO START OF IN THE EVENT OF DISCREPANCY, NOTIFY THE ARCHITECT AND GET SECURE RESOLUTION BEFORE PROCEEDING. B. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE. WHERE NO DIMENSIONS ARE SHOWN AT PARTITIONS INDICATED AT COLUMN OR GRID LINES, CENTER PARTITIONS UNLESS OTHERWISE NOTED. NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT. DRAWING TITLE DRAWING TYPE DRAWING NUMBER

TURTLE

RENOVATION + ADDITION

1235 34TH STREET NW WASHINGTON DC, 20007

ELISSA ALBEN & DAVID
FRAGALE

1235 34TH STREET NW
WASHINGTON DC 20007

ARCHITECT

Z A N N D N I
A R C H I T E C T U R E

STRUCTURAL ENGINEER

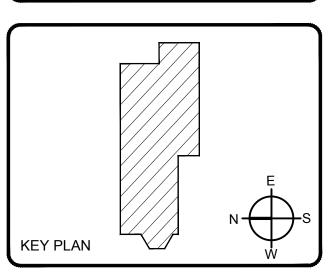
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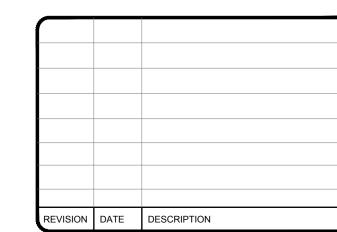
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6011 WOODACRES DR BETHESDA MD, 20816

CONTRACTOR

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PROJECT NUMBER 2101
DRAWING DATE DESCRIPTION

2101

DESCRIPTION

PROJECT NUMBER
2101

DESCRIPTION

PROJECT NUMBER
2101

DESCRIPTION

PROJECT NUMBER
2101

DESCRIPTION

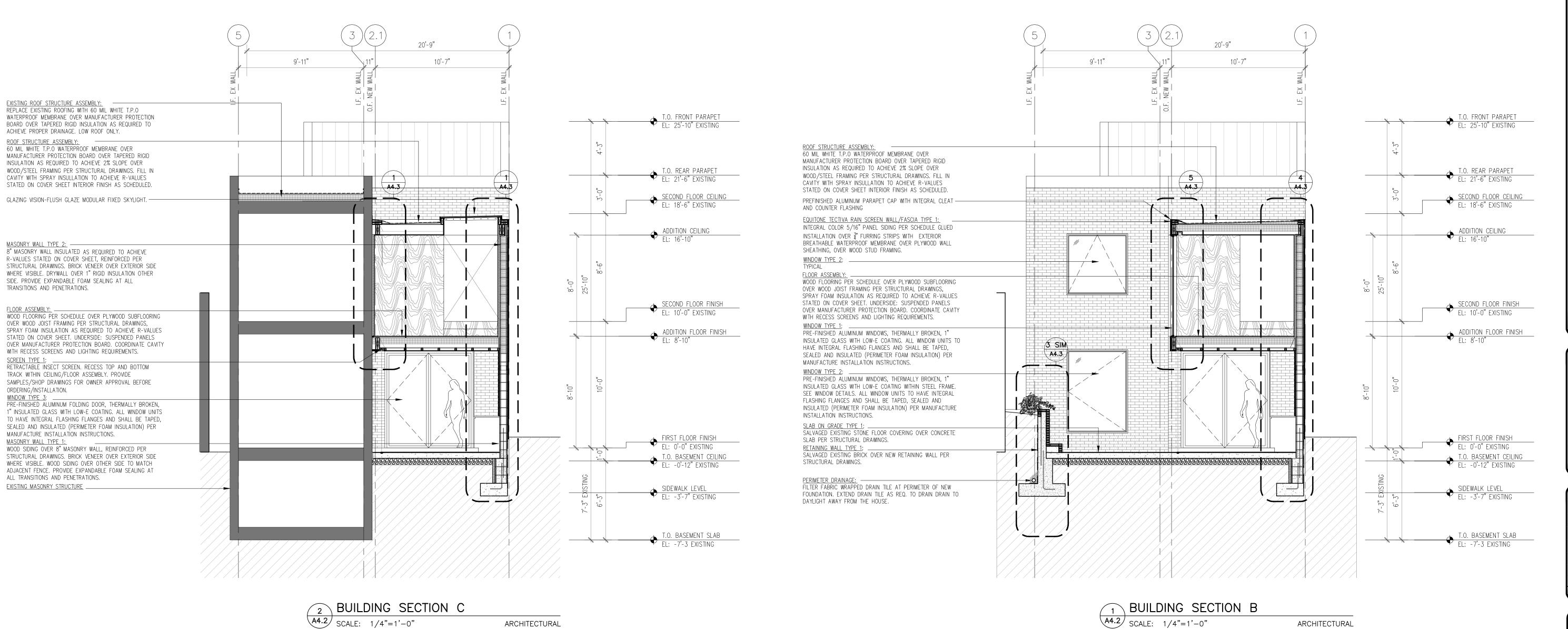
PROJECT NUMBER
2101

DESCRIPTION

BUILDING SECTIONS

ARCHITECTURA

A4.1



GENERAL NEW CONSTRUCTION NOTES

PARTITIONS UNLESS OTHERWISE NOTED.

SATISFACTION OF THE ARCHITECT.

DESIGN INTENT ONLY WHERE CHANGES ARE REQUIRED.

A. THESE DOCUMENTS ARE BASED ON INFORMATION GATHERED FROM FIELD OBSERVATION AND AS SUCH MAY REQUIRE ADJUSTMENT MODIFICATIONS. THESE DRAWINGS ARE TO BE USED TO SHOW

DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS PRIOR TO START OF IN THE EVENT OF DISCREPANCY, NOTIFY THE ARCHITECT AND GET SECURE RESOLUTION BEFORE PROCEEDING. ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE. WHERE NO DIMENSIONS ARE SHOWN AT PARTITIONS INDICATED AT COLUMN OR GRID LINES, CENTER

NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND

THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO

NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE

ANNOTATED NEW WORK NOTES:

TURTLE

RENOVATION + ADDITION

1235 34TH STREET NW WASHINGTON DC, 20007

OWNER ELISSA ALBEN & DAVID FRAGALE 1235 34TH STREET NW WASHINGTON DC 20007 ARCHITECT ZANNONI

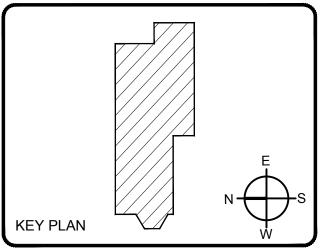
ARCHITECTURE 6011 WOODACRES DR BETHESDA MD, 20816

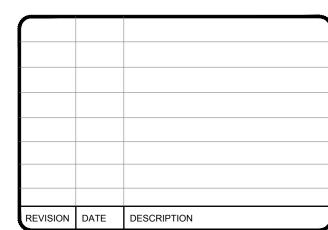
STRUCTURAL ENGINEER

5D ENGINEERS, PLLC RYAN D. DAVIES, PE TOUND HILL, VA 20142

TBD

CONTRACTOR





OGB HISTORIC PRESERVATION REVIEW PROJECT NUMBER FEBRUARY, 2023 DRAWING DATE 1/4" = 1'-0" DRAWING SCALE

BUILDING SECTIONS

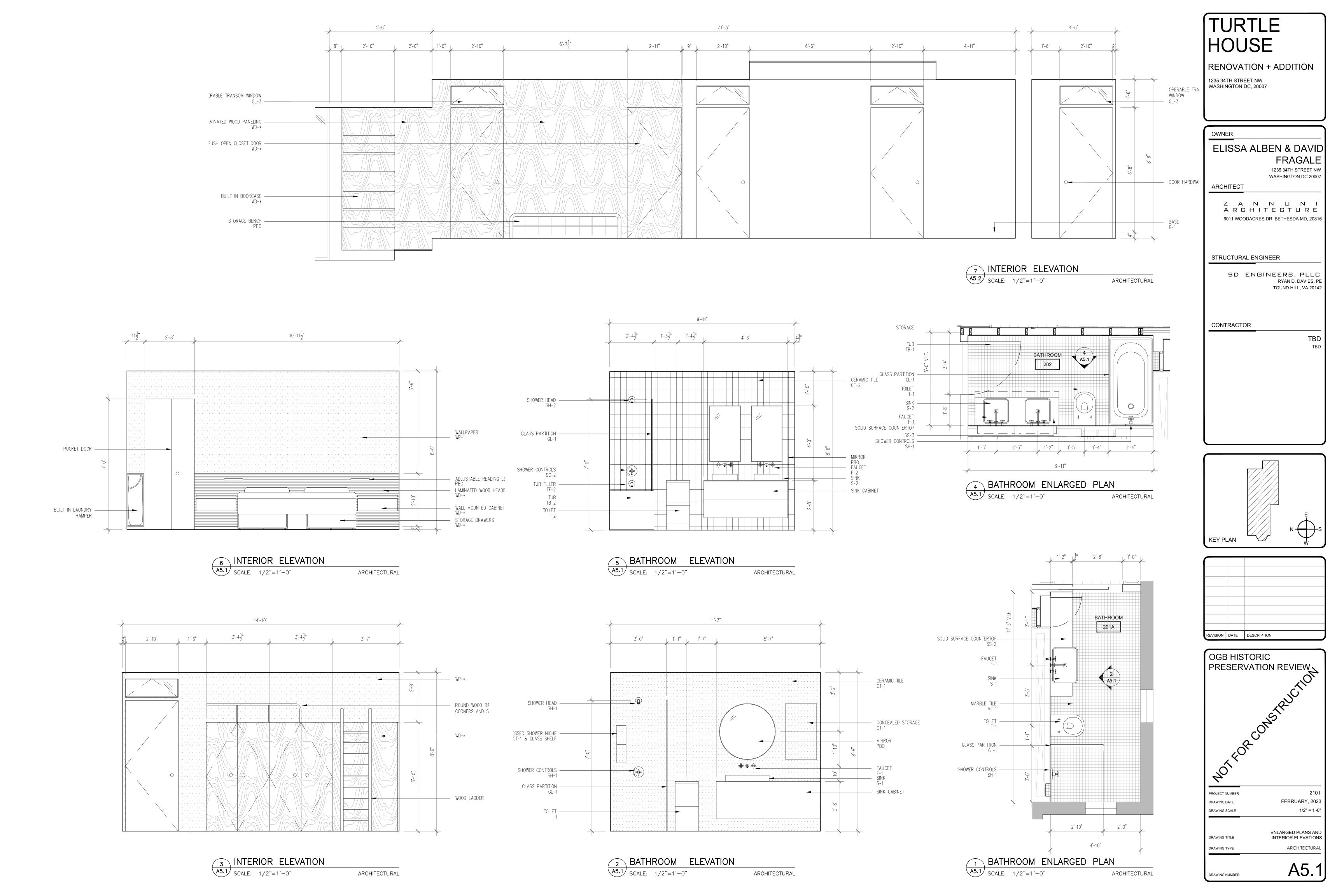
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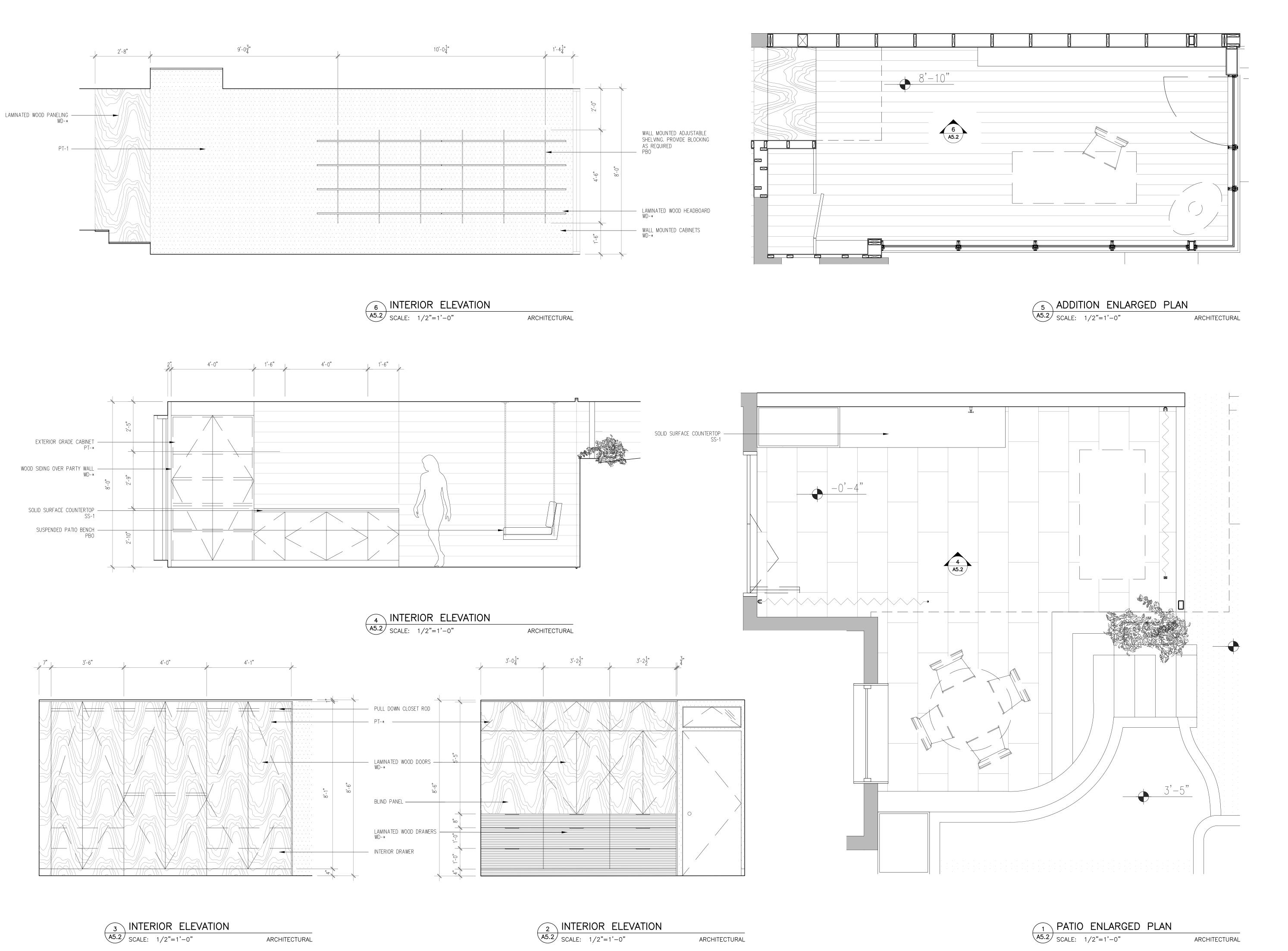
A4.2

DRAWING TITLE

DRAWING TYPE

DRAWING NUMBER





TURTLE

RENOVATION + ADDITION

1235 34TH STREET NW WASHINGTON DC, 20007

OWNER

ELISSA ALBEN & DAVID FRAGALE

1235 34TH STREET NW WASHINGTON DC 20007

ARCHITECT

Z A N N O N I ARCHITECTURE 6011 WOODACRES DR BETHESDA MD, 20816

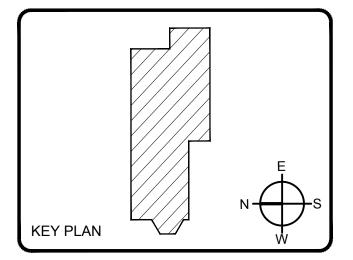
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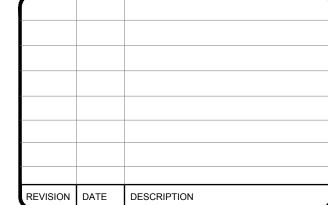
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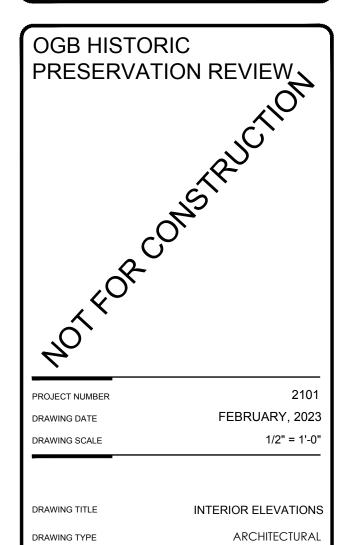
TOUND HILL, VA 20142

TBD

CONTRACTOR



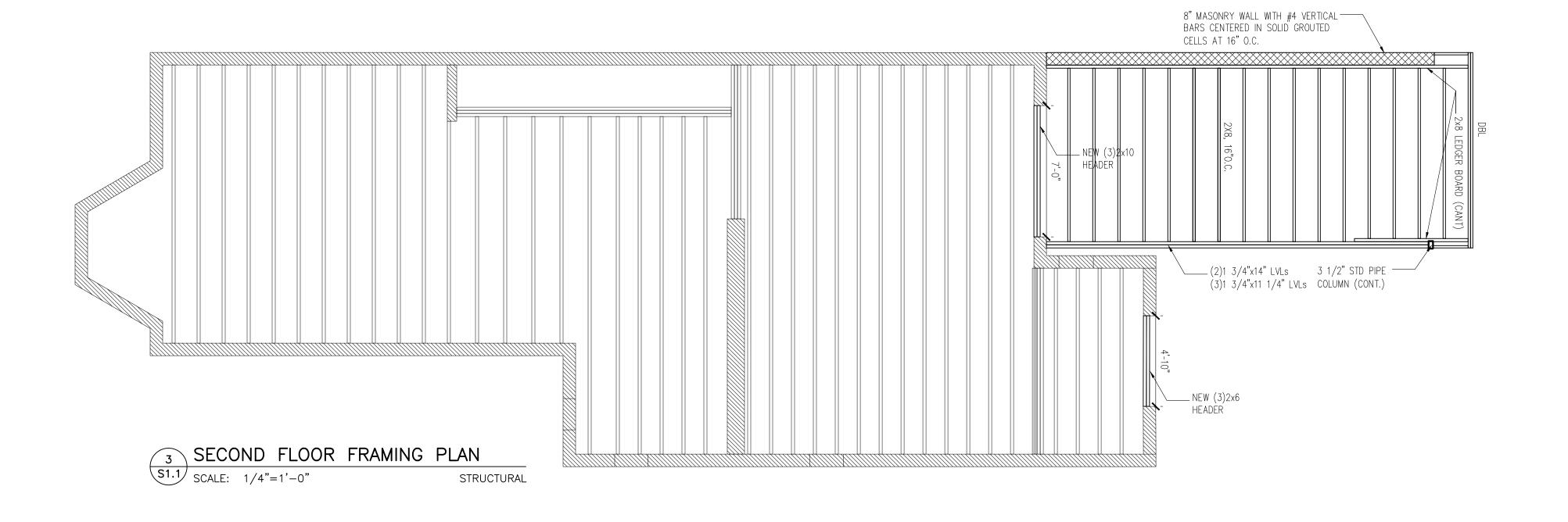


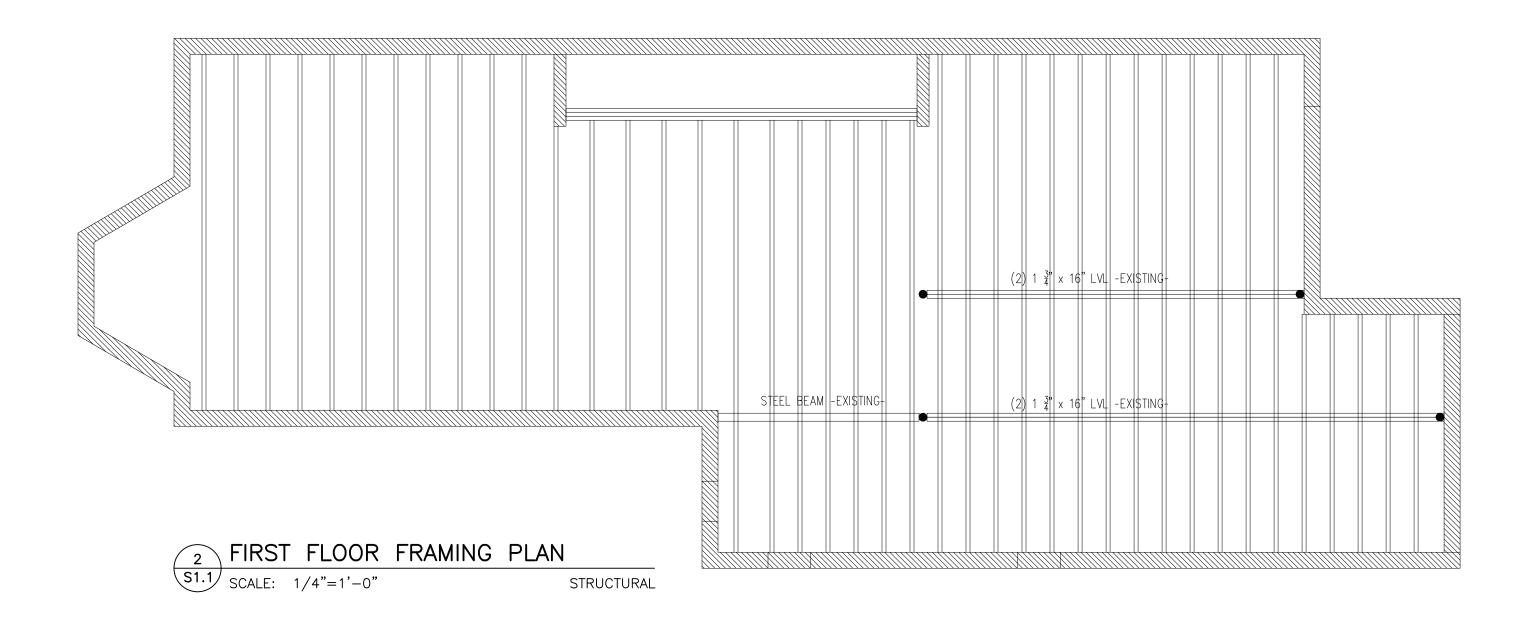


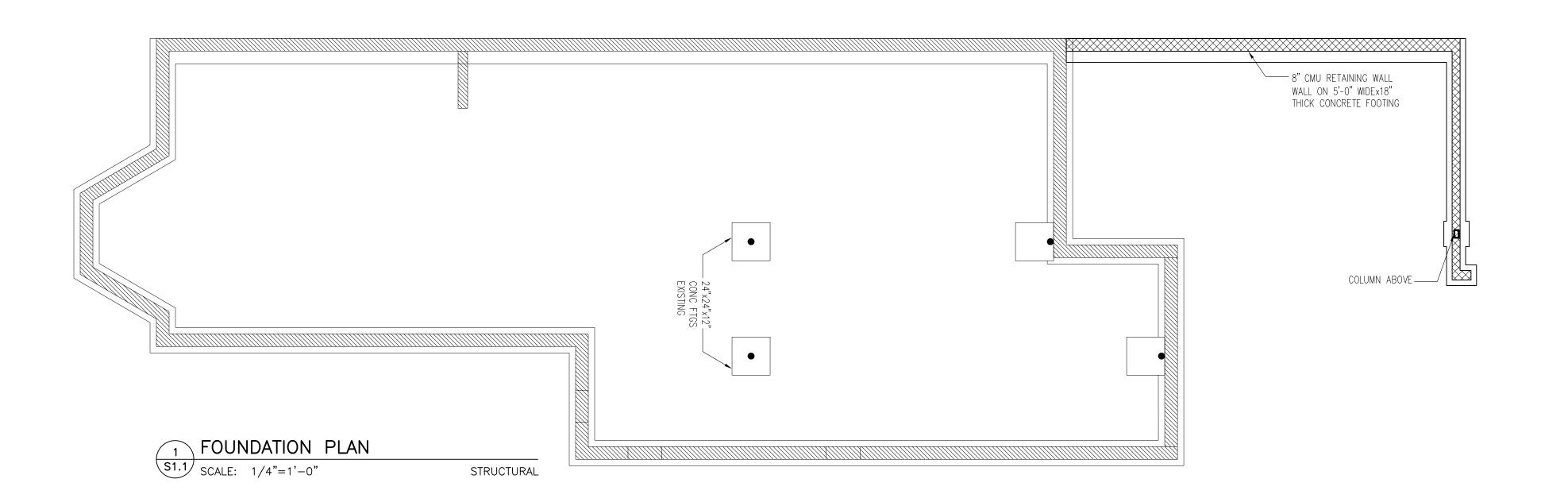
A5.2

DRAWING TYPE

DRAWING NUMBER







GENERAL STRUCTURAL NOTES

- A. THESE DOCUMENTS ARE BASED ON INFORMATION GATHERED FROM FIELD OBSERVATION AND AS SUCH MAY REQUIRE ADJUSTMENT MODIFICATIONS. THESE DRAWINGS ARE TO BE USED TO SHOW DESIGN INTENT ONLY WHERE CHANGES ARE REQUIRED.
- B. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS PRIOR TO START OF IN THE EVENT OF DISCREPANCY, NOTIFY THE ARCHITECT AND GET SECURE RESOLUTION BEFORE PROCEEDING.
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 OTHERWISE. WHERE NO DIMENSIONS ARE SHOWN AT PARTITIONS INDICATED
 AT COLUMN OR GRID LINES, CENTER PARTITIONS UNLESS OTHERWISE
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TURTLE HOUSE

RENOVATION + ADDITION

1235 34TH STREET NW WASHINGTON DC, 20007

OWNER

ELISSA ALBEN & DAVID FRAGALE

1235 34TH STREET NW WASHINGTON DC 20007

ARCHITECT

Z A N N □ N I A R C H I T E C T U R E 6011 WOODACRES DR BETHESDA MD, 20816

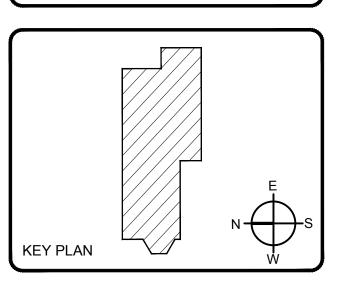
STRUCTURAL ENGINEER

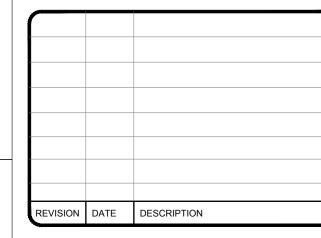
5D ENGINEERS, PLLC RYAN D. DAVIES, PE TOUND HILL, VA 20142

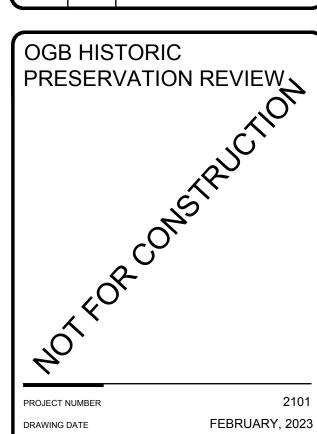
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CONTRACTOR

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GEND

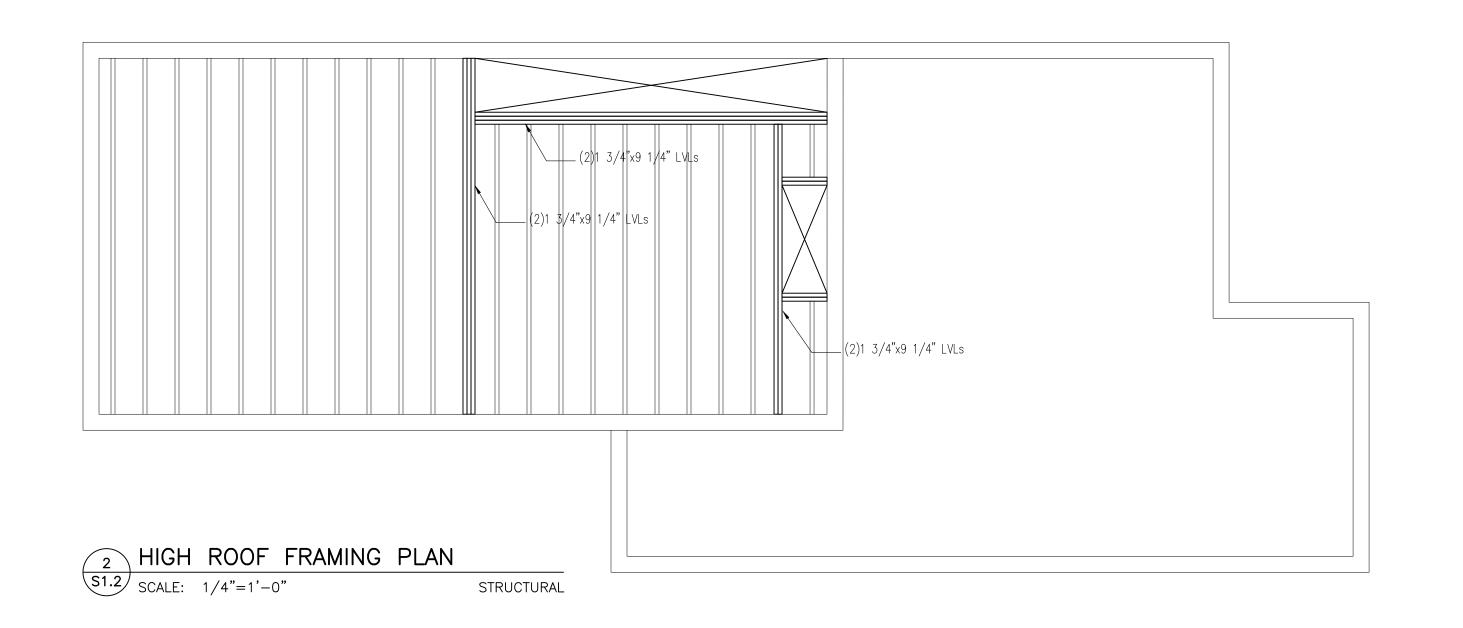
NEW LOAD BEARING WALLS

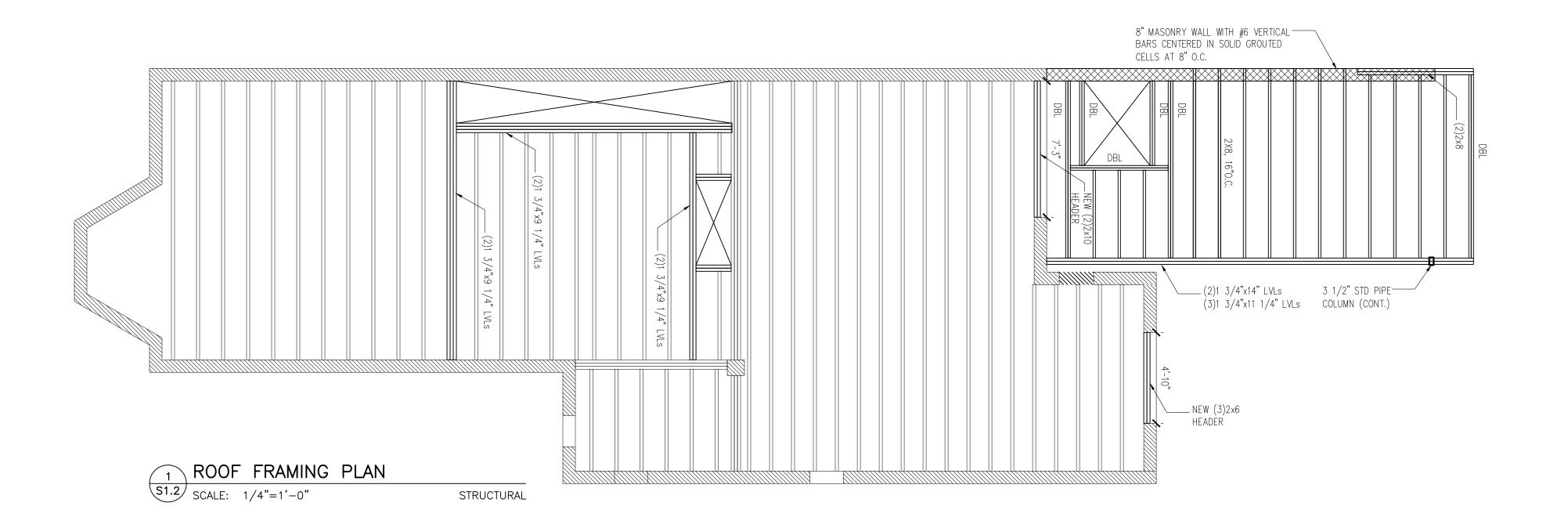
EXISTING WALLS

S 1.1

FOUNDATION/FRAMING PLANS

1/4" = 1'-0"





GENERAL STRUCTURAL NOTES

- A. THESE DOCUMENTS ARE BASED ON INFORMATION GATHERED FROM FIELD OBSERVATION AND AS SUCH MAY REQUIRE ADJUSTMENT MODIFICATIONS. THESE DRAWINGS ARE TO BE USED TO SHOW DESIGN INTENT ONLY WHERE CHANGES ARE REQUIRED.
- CHANGES ARE REQUIRED.

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TURTLE

RENOVATION + ADDITION

1235 34TH STREET NW WASHINGTON DC, 20007

OWNER

ELISSA ALBEN & DAVID FRAGALE

1235 34TH STREET NW WASHINGTON DC 20007

ARCHITECT

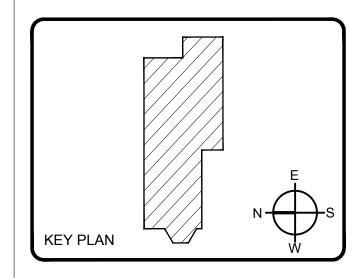
Z A N N D N I A R C H I T E C T U R E 6011 WOODACRES DR BETHESDA MD, 20816

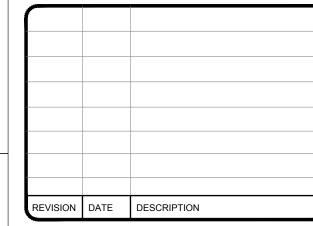
STRUCTURAL ENGINEER

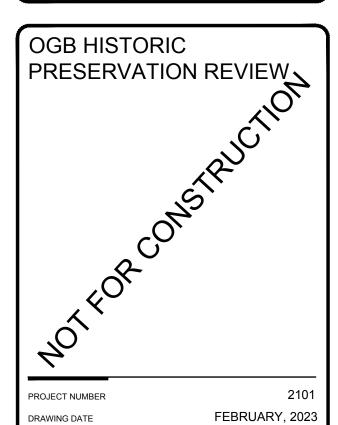
5D ENGINEERS, PLLC RYAN D. DAVIES, PE TOUND HILL, VA 20142

CONTRACTOR

TI







DRAWING DATE

VING SCALE 1/4" = 1'-0"

DRAWING TITLE FRAMING PLANS

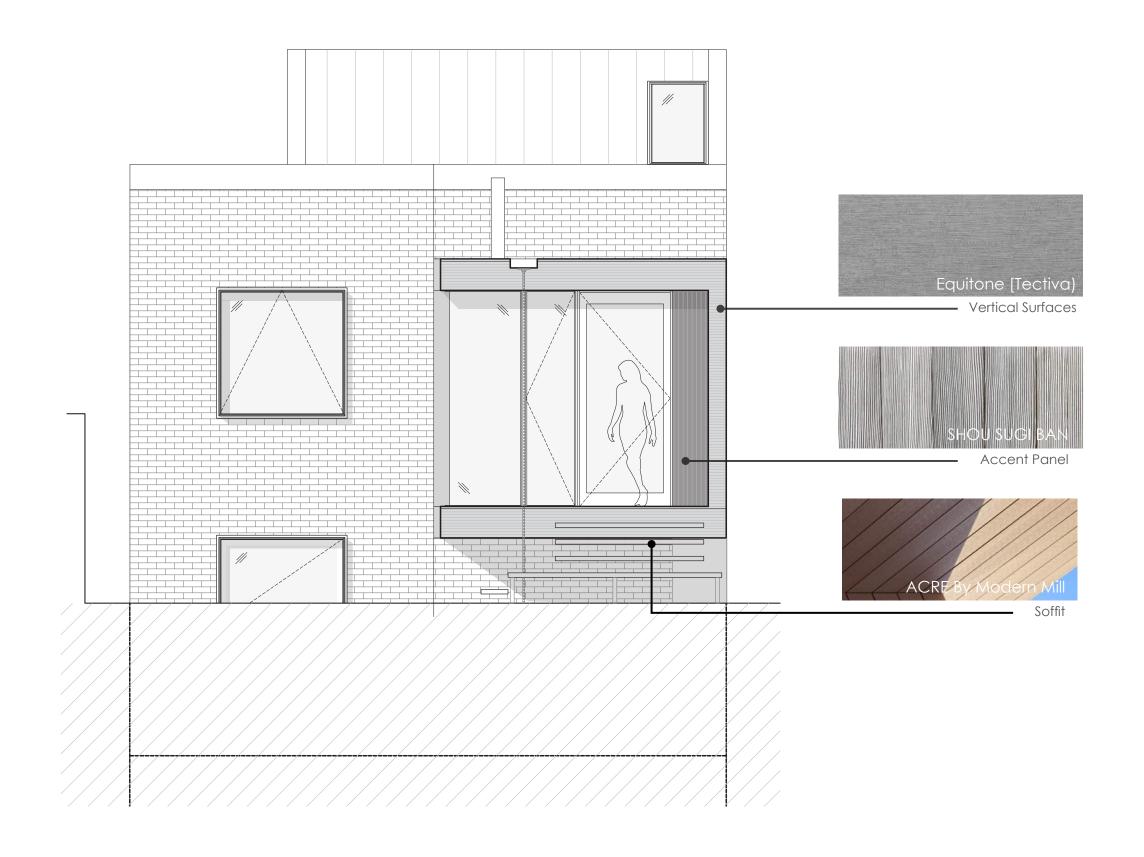
DRAWING TYPE STRUCTURAL

DRAWING NUMBER \$1.2

LEGEND

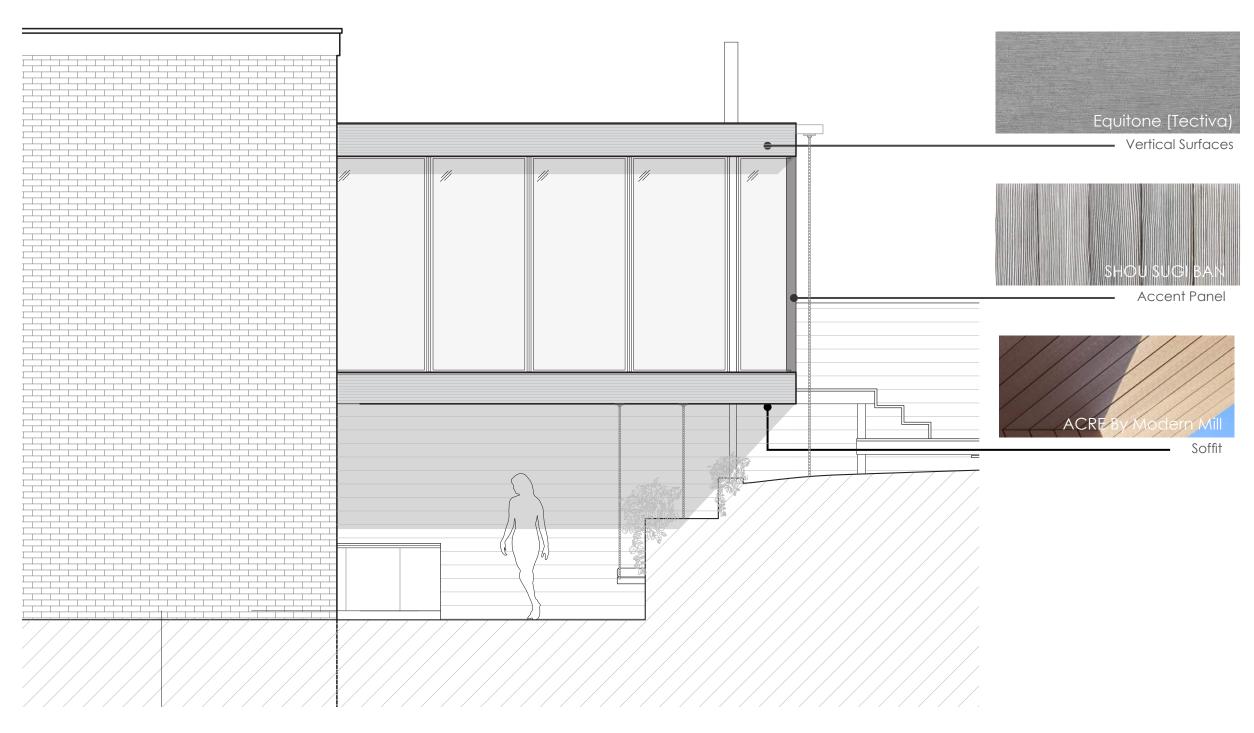
NEW LOAD BEARING WALLS

EXISTING WALLS



ARCHITECTURAL DRAWINGS - Proposed Materials





ARCHITECTURAL DRAWINGS - Proposed Materials

DISTRICT OF COLUMBIA GOVERNMENT OFFICE OF THE SURVEYOR Washington, D.C., December 21, 2021

Plat for Building Permit of:

SQUARE 1220 LOT 849

Scale: 1 inch = 20 feet

Recorded in Book A&T Page 3228 - Z

Receipt No. 22-01508

Drawn by: A.S.

Furnished to: ANA ZANNONI

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."

Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:

- 1) all existing buildings and improvements including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
- 2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application
- 3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

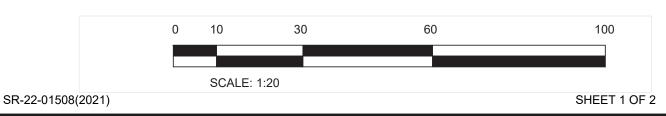
I also hereby certify that:

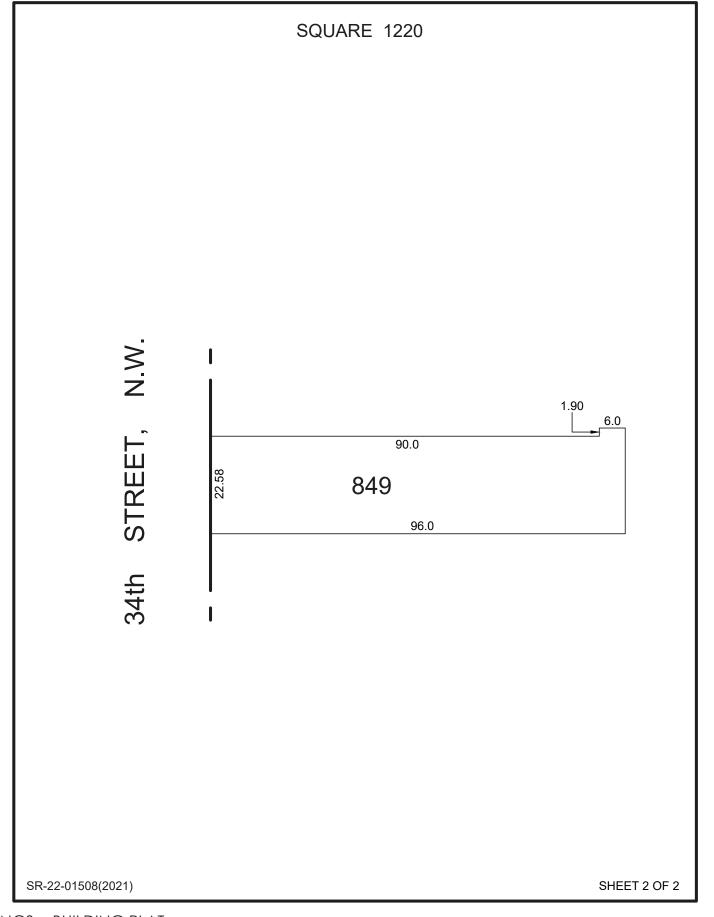
- 1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
- 2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
- 3) I have/have not (circle one) filed a subdivision application with the Office of the Surveyor;
- 4) I have/have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
- 5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance.

The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as

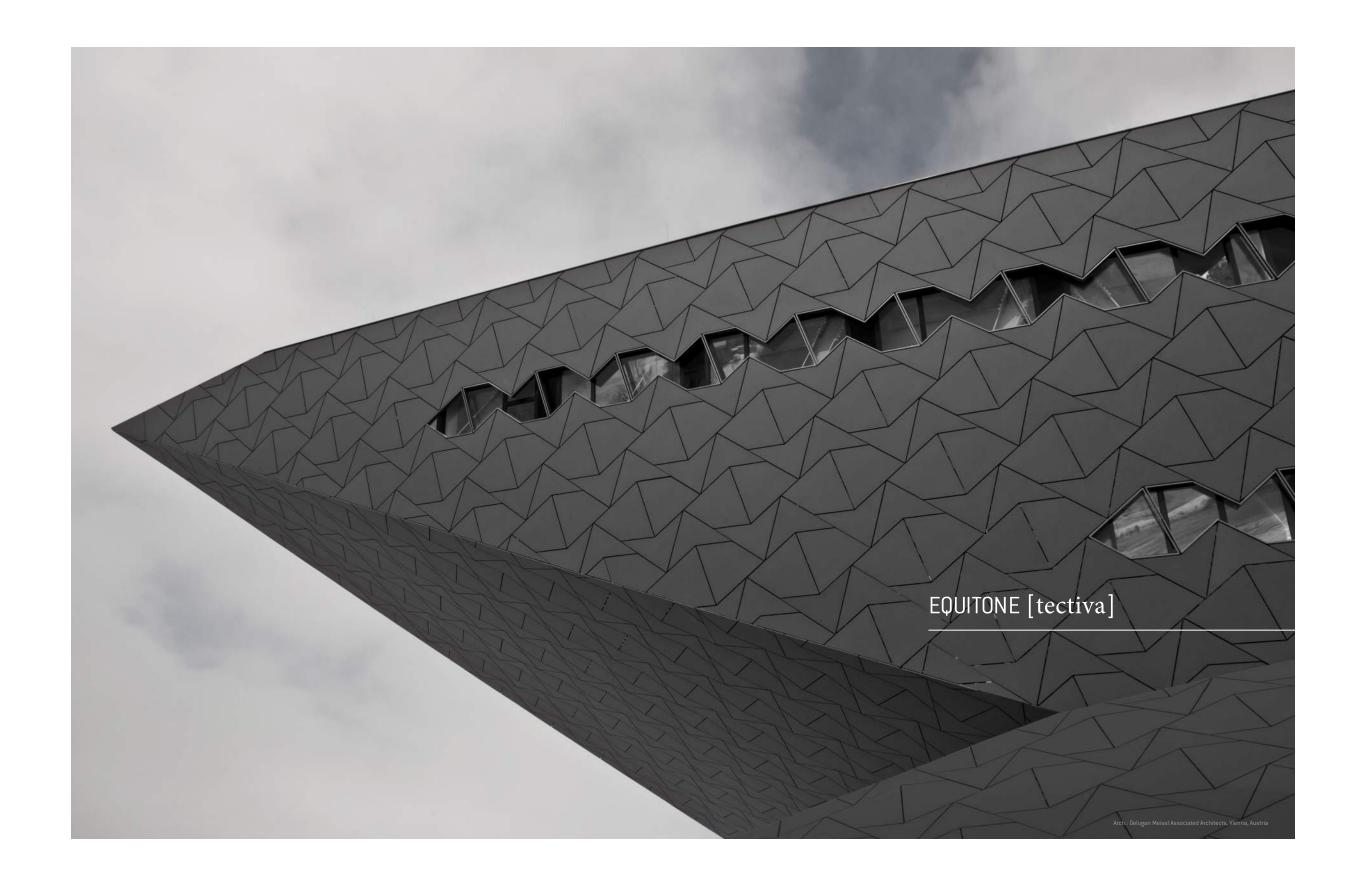
I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Date: Printed Name: to Lot Owner: If a registered design professional, provide license number and include stamp below.





ARCHITECTURAL DRAWINGS - BUILDING PLAT





AUTHENTICITY

Original, through-colored material with highly expressive structure.

INDIVIDUALTIY

The production process makes each panel unique in color, texture and surface.

Tactility

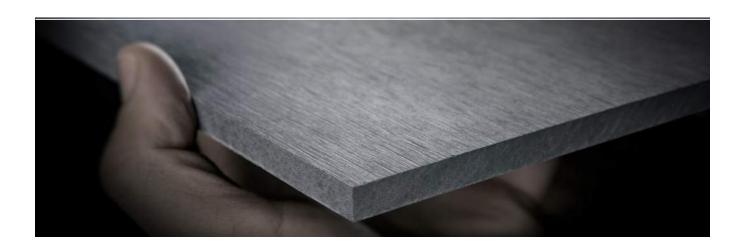
Rough, unpolished fiber cement surface with delicate, linen touch.

Thickness	Sheet Size	Nominal Weight
8mm	4' x 8' (1250 x 2500mm)	3.05lb/ft ²
	4' x 10' (1250 x 3100mm)	

*Naturally occurring white flecks may be visible which adds to the aesthetics of the material







PRODUCT INFORMATION



ACRE Shiplap Siding is a sustainable, durable alternative with the genuine look and feel of real wood. ACRE is lightweight, strong, water-resistant and guaranteed not to rot or

ACRE is easy to cut, fasten without predrilling, rout, thermoform and accepts paint or stain without primer.

Best of all, ACRE is made without harming a single tree, in a zero-waste environment in the U.S.A. ACRE helps protect your home and our world.

SHIPLAP SIDING PROFILE DETAILS



Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)	Tongue (D)	Gap (E)	Lengths
1"x6"	3/4"	5-7/16"	4-1/2"	1-3/16"	1/4"	12', 16', 20'
1"x8"	3/4"	7-3/16"	6-1/4"	1-3/16"	1/4"	12', 16', 20'
1"x10"	3/4"	9-3/16"	8-1/4"	1-3/16"	1/4"	12', 16', 20'

- Locking tongue and groove application for a flat and straight install
 Allows for blind fastening with no need for filling holes or extra finishing steps
 Match the finish on your shiplap siding with complementary ACRE trim, decking and porch boards

WORKS LIKE WOOD - BUT BETTER!

Paintable and stainable. No primer necessary

Easy to route, cut and sand in the field with regular wood working tools

Easy on tools. Minimal melting or static-charged dust

No harmful dust or residue

Pre-drilling not required. Screws and nails will not mushroom.

Uniform texture throughout and finish-ready, no need to seal or treat ends

NATURAL BEAUTY

Genuine warm look and feel of wood

Natural-looking grain

Endless finish options with water-based paints or stains. See Coatings Guide for important information

Thermoform for folded corners, curves and creative shapes

Digitally print directly on ACRE's surface

UNMATCHED DURABILITY

100% resistant to water, weather, rot and pests - even termites!

Guaranteed not to splinter or crack

Smooth screw application close to edges, and into sides without splitting

Suitable for ground and water contact

Sturdy, resists breakage and job site damage

Debris from cutting will fall and brush off surfaces and clothing (less static cling than traditional PVC)

Easy on tools when routing, cutting and screwing

Strong screw and nail retention. Superior bond with a wide range of glues and construction adhesives

No special maintenance or cleaning methods needed

Virtually no moisture absorption so paint lasts longer than on wood $% \left\{ \left(1\right) \right\} =\left\{ \left(1\right) \right\} =$

Less expansion and contraction than competitive PVC products

Lightweight, yet strong and straight

SUSTAINABLE INNOVATION

Made in the U.S.A.

100% tree-free

Upcycled natural fibers from discarded rice hulls, a rapidly renewable resource

Free of phenol, formaldehyde and adhesives

Zero-waste manufacturing

100% recyclable

FIRST TIME USING ACRE PRODUCTS?

Resources including our Coatings Guide.

ACRE contains PVC and requires coatings with a light reflective value (LRV) greater than 55% to avoid heat build up or changes to physical separations.



⚠ Be aware of excess heat on ACRE surfaces such as but not limited to fire, direct

or reflective sunlight, reflective sunlight from energy-efficient window products. Low-emissivity (Low-E) glass can harm ACRE products because Low-E glass products are designed to prevent passive heat gain within a structure and can cause unusual heat build up on exterior surfaces from sunlight reflection. The

extreme rise of surface temperatures can create an environment which exceeds

melt, sag, warp, discolor, expand and contract beyond acceptable tolerances or

MODERN-MILL

www.modern-mill.com 601-869-5050

PRODUCT INFORMATION



Pioneer Millworks Shou Sugi Ban Fir, Brushed

CUT AND PASTE SPECIFICATION INTO APPROPRIATE CSI DIVISION

07 46 23—Wood Siding

MANUFACTURER

Pioneer Millworks East Pioneer Millworks West 1180 Commercial Drive 2655 NE Orchard Ave. McMinnville, OR 97128 Farmington, NY 14425 Phone: 800-951-9663 Phone: 503-437-9017

MATERIALS

- 1. Product Name: Shou Sugi Ban Fir, Brushed
- 2. Species/Description: Douglas fir/Deeply burned, wire-brushed twice for a textured surface highlighting color contrast and grain.
- 3. **Source:** Sustainably Harvested Forests.
- 4. Color: Available 9 standard colors. Latewood growth rings will range from dark brown to black.
- 5. Grade: D Select Vertical Grain.
- 6 Dimensions

Solid TH-3/4"

WD—5" face

- LG—6' to 16' random, called lengths available.
- 7. Milling: Shiplap (no reveal)—other profiles available upon request.
- 8. Finish: Burned, brushed, and coated with an exterior sealer. Back burned to promote stability.

(Janka Ball Test ASTM D1037-96A, natural wood products have no minimum hardness since hardness is a characteristic of species and cannot be controlled. Charred layer is softer than wood substrate).

10. FSC Claim: FSC Mix 100%

ADDITIONAL INFORMATION

Heartwood: No restriction

Grain: Vertical.

Knots: No limitations on sound knots, surface defects from chipped or open knots may be present.

Texture: Surface will have a deeply wire-brushed texture.

Voids: Occasional blown out knots up to 1" diameter may be present. Checks: Checks allowed so long as material integrity is not adversely affected. **Moisture Content:** Kiln dried 12–15% prior to milling.

LEED INFORMATION

MRc4: N/A

MRc5: Regional Materials (call for details).
MRc7: Certified Wood

RECOMMENDED OVERAGE

Recommend 10-15% additional material for on-site grading, trimming and installation factors.



Shown in Tiger's Eye















Information is deemed reliable but subject to change. All photos for representation only. Additional information available at our website or call our wood design experts

2655 NE Orchard Ave, McMinnville, OR 97128 | 1180 Commercial Drive, Farmington, NY 14425 | 800.951.WOOD | pioneermillworks.com

PRODUCT INFORMATION