



Government of the District of Columbia

# APPLICATION AND REFERRAL TO THE US COMMISSION OF FINE ARTS FOR OLD GEORGETOWN REVIEW

OG
HPA

In accordance with the Old Georgetown Act of 1950 (Public Law 808, 81<sup>st</sup> Congress) this application/transmittal is being transmitted to the US Commission of Fine Arts (CFA) for review and recommendation before a building permit can be issued. Work in Georgetown is also subject to a coordinated historic preservation review under the DC Historic Landmark and Historic District Protection Act of 1978. These reviews are initiated with the completion and submission of this form.

**THIS IS A REQUEST FOR THE FOLLOWING REVIEW BY THE COMMISSION OF FINE ARTS:**

- CONCEPTUAL REVIEW** to receive guidance at the early stages of design
- PERMIT REVIEW** to receive a recommendation on building permit application No. \_\_\_\_\_  
*I have submitted a permit application with the DC Department of Buildings*

### 1. OWNER, APPLICANT, AND PROPERTY INFORMATION

Project Address: 2915/2917 Dumbarton St. NW  
 Square: 1241 Lot: 0139 (To find your square and lot, see [www.propertyquest.dc.gov](http://www.propertyquest.dc.gov))  
 Property Owner's Name: 2915 Dumbarton St NW LLC  
 Owner Address (if different from project address): 1716 14th St, NW Suite 300 Washington DC  
 Owner Phone: \_\_\_\_\_ Owner Email: \_\_\_\_\_  
 Applicant's Name (if different from owner): Matthew McDonald  
 Agent's Capacity:  Tenant  Architect  Contractor  Contract Purchaser  Expediter  Other  
 Agent Address (if different from owner): 4948 St. Elmo Ave, Suite 304 Bethesda, MD 20814  
 Agent Phone: 301.215.7277 Agent Email: matt@mcdstudio.com

- I am currently the owner of the property
- I am a homeowner currently receiving the DC homestead deduction for this property
- I am an authorized representative of the property owner
- I am or represent a potential purchaser of the property

### 2. SUBMISSION MATERIALS FOR THE COMMISSION OF FINE ARTS AND HISTORIC PRESERVATION REVIEW

All materials must be submitted electronically via email to [historic.preservation@dc.gov](mailto:historic.preservation@dc.gov).

The following digital materials are included with this application:

- Scaled drawings, including, as applicable, floor plans, elevations, details, and a site plan sufficient to illustrate the footprint, location, height, massing, design, and materials of the proposed work and its surrounding context; site plans should show the existing footprint of the property and adjacent buildings.
- Comprehensive exterior photographs of the property, showing area of proposed work, views from the street and the public alley (if applicable) and context photos (e.g., adjacent buildings, immediate surroundings, and the areas of proposed work)

For more information on submission requirements, see [www.cfa.gov/project-review/old-georgetown](http://www.cfa.gov/project-review/old-georgetown) or contact CFA staff at 202-504-2200

### 3. PROJECT DESCRIPTION (CHECK ALL THAT APPLY)

- Addition  Exterior Alteration or Repair  New Construction  Subdivision  Other

Briefly describe the nature of the project: Repair and restoration work to the front facade as needed. Full interior renovation. Addition to the rear.  
Re-combine lots pending zoning approval.

(over)

	YES	NO	UNSURE
Is the proposed work visible from a public street or alley?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Will there be work on the front of the building or in the front yard?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Does the project include work in public space?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Does the project include removal of roof or floor framing or bearing walls?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Is this a Fair Housing Act request for "reasonable accommodation"?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**4. ADDITIONAL INFORMATION FOR LARGER PROJECTS**

For renovation or new construction projects exceeding 20,000 square feet, attach a full narrative description indicating the general nature of the project, program of uses, estimated gross floor area by use, number of residential units, scope of preservation work, and any other pertinent features or benefits, including aspects of sustainability. *Homeowners proposing work on their own house do not need to provide this information.*

**5. EASEMENTS**

	YES	NO	UNSURE
Is there a conservation easement on the property?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the easement holder?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**6. COMMUNITY CONSULTATION**

	YES	NO	UNSURE
Have you shared project information with abutting neighbors?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Have you contacted the affected Advisory Neighborhood Commission (ANC 2E)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Have you contacted any neighborhood community organizations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

*For more information about project review by ANC 2E, see [www.anc2E.com](http://www.anc2E.com) or call the ANC at 202-338-7427*

**7. ZONING REGULATIONS AND CONSTRUCTION CODE**

	YES	NO	UNSURE
Will the project cause a change in building footprint or lot occupancy?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Are any zoning variances or special exceptions required for the project?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, have you discussed the project with the Zoning Administrator?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, have you discussed the project with the Office of Planning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is any building code relief required for the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Briefly describe the nature of any zoning variances or code relief being sought: \_\_\_\_\_  
 The Owners have requested to sub-divide the lot back to the original  
 2-lot configuration of 2915 and 2917, the BZA hearing is 12/4/2024

**8. CERTIFICATION**

I hereby certify that the information given in this application is true and accurate. If applying as an agent of the owner, I certify that I have the owner's permission to make this application.

Signature: Matthew McDonald Date: 10/17/2024

When completed, submit this form with all plans, photographs, and other attachments to the Historic Preservation Office (HPO) via email to [historic.preservation@dc.gov](mailto:historic.preservation@dc.gov). Upon review of this submission, CFA or HPO staff may contact the owner or agent for consultation, and may request additional information if determined necessary to review the project.

Referral to CFA or the Historic Preservation Review Board, if required, may be deferred if information is not received within sufficient time to allow staff evaluation and preparation for review. All application materials are part of the public record and are made available to the public for inspection. For more information, see [www.cfa.gov](http://www.cfa.gov) or [www.preservation.dc.gov](http://www.preservation.dc.gov).



**Historic Preservation Office**  
 DC Office of Planning  
 (202) 442-8800  
[historic.preservation@dc.gov](mailto:historic.preservation@dc.gov)





2915 & 2917 Dumbarton St, NW

### Project Narrative

The proposed project contemplates two renovation and addition options to the property located at what is currently 2915 Dumbarton St, NW. Originally, the property consisted of two separate lots, 2915 and 2917 Dumbarton St, NW. At some point prior, the previous owner(s) of the property combined both lots into one property, 2915 Dumbarton. No further work to join the houses architecturally was ever completed. This effectively left two separate houses on one lot.

The current owners intend to subdivide the current lot and revert back to the original (historical) configuration and have separate row houses at 2915 and 2917. There is currently a BZA hearing scheduled for December 4<sup>th</sup> to address this request.

In the interest of time should the BZA request not be granted, we have created two conceptual sets of plans for the property.

The first, and preferred option, is to create two separate row house dwellings, with an addition to the rear at each house. Each row house would be configured as a three bedroom, three-and-a-half bath house. The rear additions would match the approximate depth of the previously constructed basement addition at what was 2917 Dumbarton Street (prior to combining the lots) and would not require any BZA relief that we are aware of to construct.

The second option, should the BZA request not be approved, is to combine the two rowhouses into one, larger rowhouse. The larger rowhouse would have four bedroom, four bathrooms, and two powder rooms.

Both options propose the same size addition with regards to the scale and massing of the property or properties and a full interior renovation. The proposed work to the Dumbarton facing front facades of the property or properties is only repair and maintenance related work.

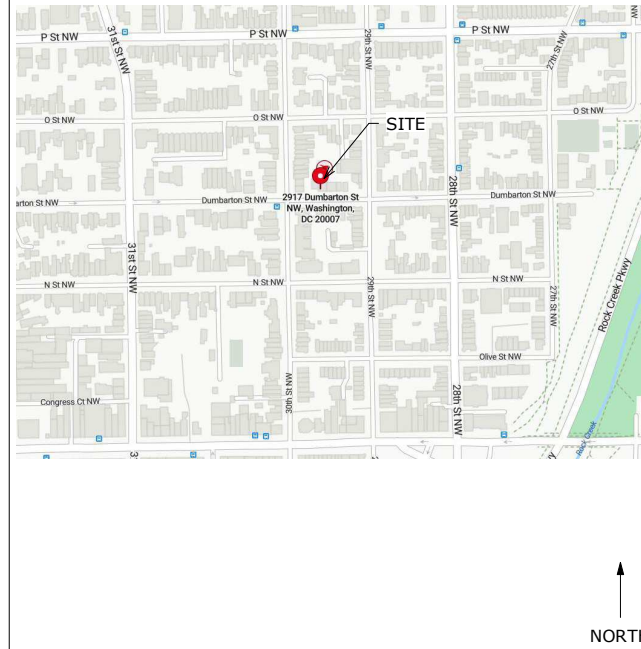
Due to the submission and review timelines of both the BZA and OGB/CFA, we are presenting these two options for Conceptual Review with the OGB/CFA. Once a verdict from the BZA is issued, we will proceed with a Permit Review Application for a single option based on what was approved.

The goal in submitting two options is to engage with OGB/CFA and the community productively while waiting for the BZA process to be completed. This will allow us to respond to any OGB/CFA requests or comments and work through any conceptual revisions for both options while awaiting the BZA hearing in December.





## LOCATION MAP



## SCOPE OF WORK

### TWO INDIVIDUAL DWELLINGS:

- RENOVATE EXISTING TWO ROWHOMES AS INDIVIDUAL UNITS
- ADDITION AT REAR FACADE. TWO STORY OVER EXISTING FOOTPRINT AT 2917. TWO-STORY ADDITION W/BASEMENT AT 2915
- RESTORATION OF FRONT FACADE WINDOWS AND EXTERIOR DOORS
- RESTORE/REPAIR FRONT STOOP, BASEMENT STEPS AS NEEDED
- NEW CEDAR/WOOD FENCE

### ONE DWELLING UNIT:

- RENOVATE EXISTING TWO ROWHOMES AS ONE DWELLING UNIT
- ADDITION AT REAR FACADE. TWO STORY OVER EXISTING FOOTPRINT AT 2917. TWO-STORY ADDITION W/BASEMENT AT 2915
- RESTORATION OF FRONT FACADE WINDOWS AND EXTERIOR DOORS
- RESTORE/REPAIR FRONT STOOP, BASEMENT STEPS AS NEEDED
- NEW CEDAR/WOOD FENCE

**NOTE:** 2915 & 2917 WERE PREVIOUSLY CONVERTED INTO A SINGLE LOT, BUT NO CONSTRUCTION WORK HAD TAKEN PLACE.

## DRAWING LIST

SHEET TITLE	SHEET NUM.
Cover Sheet	A1.0
Existing Floor Plans	A1.1
Existing Elevations	A1.2
Existing Elevations	A1.3
Two Individual Dwellings - Proposed Plans	A2.1
Two Individual Dwellings - Proposed Elevations	A2.2
Two Individual Dwellings - Proposed Elevations	A2.3
Two Individual Dwellings - Site Plans	A2.4
One Dwelling Unit - Proposed Plans	A3.1
One Dwelling Unit - Proposed Elevations	A3.2
One Dwelling Unit - Proposed Elevations	A3.3
One Dwelling Unit - Site Plans	A3.4
Existing Photos - Front	P.1
Existing Photos - Rear	P.2
Existing Conditions Site Plan	CIV100

## CONTACT INFORMATION

### OWNER:

**2915 DUMBARTON ST NW LLC**  
1716 14TH ST NW STE 300  
WASHINGTON DC, 20009-7831

### ARCHITECT:

**MCD STUDIO, LLC**  
4948 ST. ELMO AVENUE, SUITE 304  
BETHESDA, MD 20814  
CONTACT: MATT MCDONALD  
PHONE: 301-215-7277

**mcdstudio**

4948 St. Elmo Ave, Suite 304  
Bethesda, MD 20814  
P: (301) 215-7277  
www.mcdstudio.com

**Rowhome  
Renovation/Addition**

2915 & 2917 Dumbarton Street NW  
Washington, DC 20007

Project Number: 24-048

Client Name:  
Owner

Project Status:

- As Built Conditions
- Preliminary Design
- Design Development
- Permit Submission
- Construction Documents
- Construction Administration
- Historic Concept Review

Drawing Issue Date: 10/17/2024

### Revision Schedule

No.	Description	Date

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Checked by: MCD

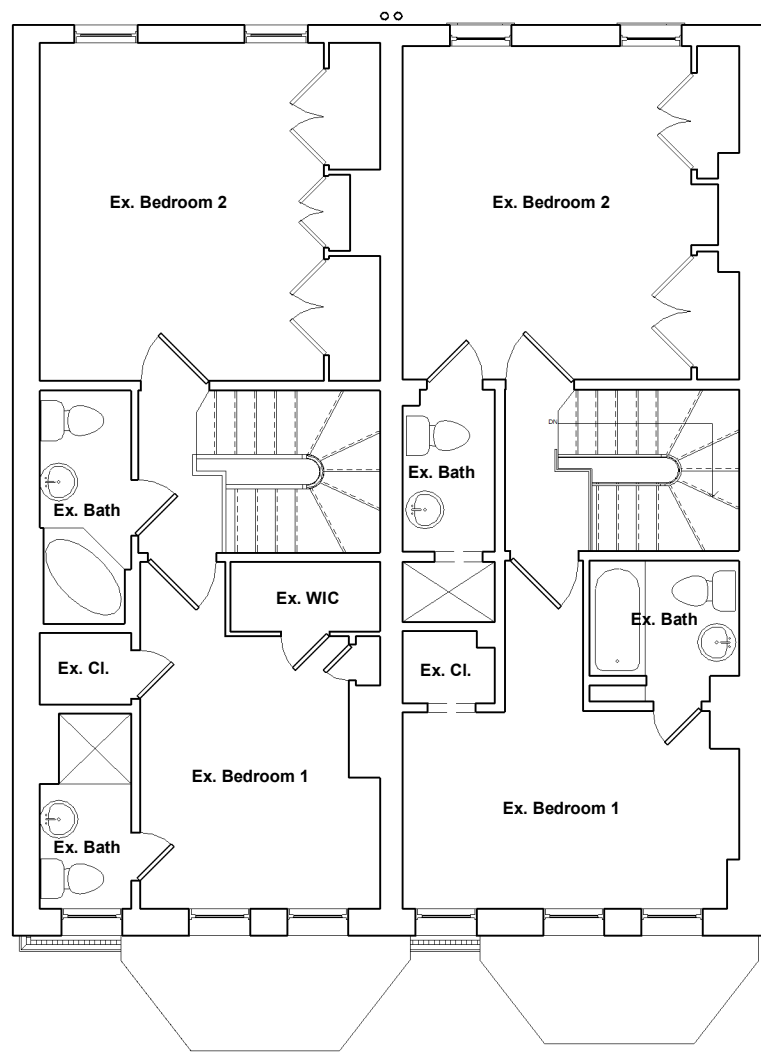
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Cover Sheet

Sheet  
Number:

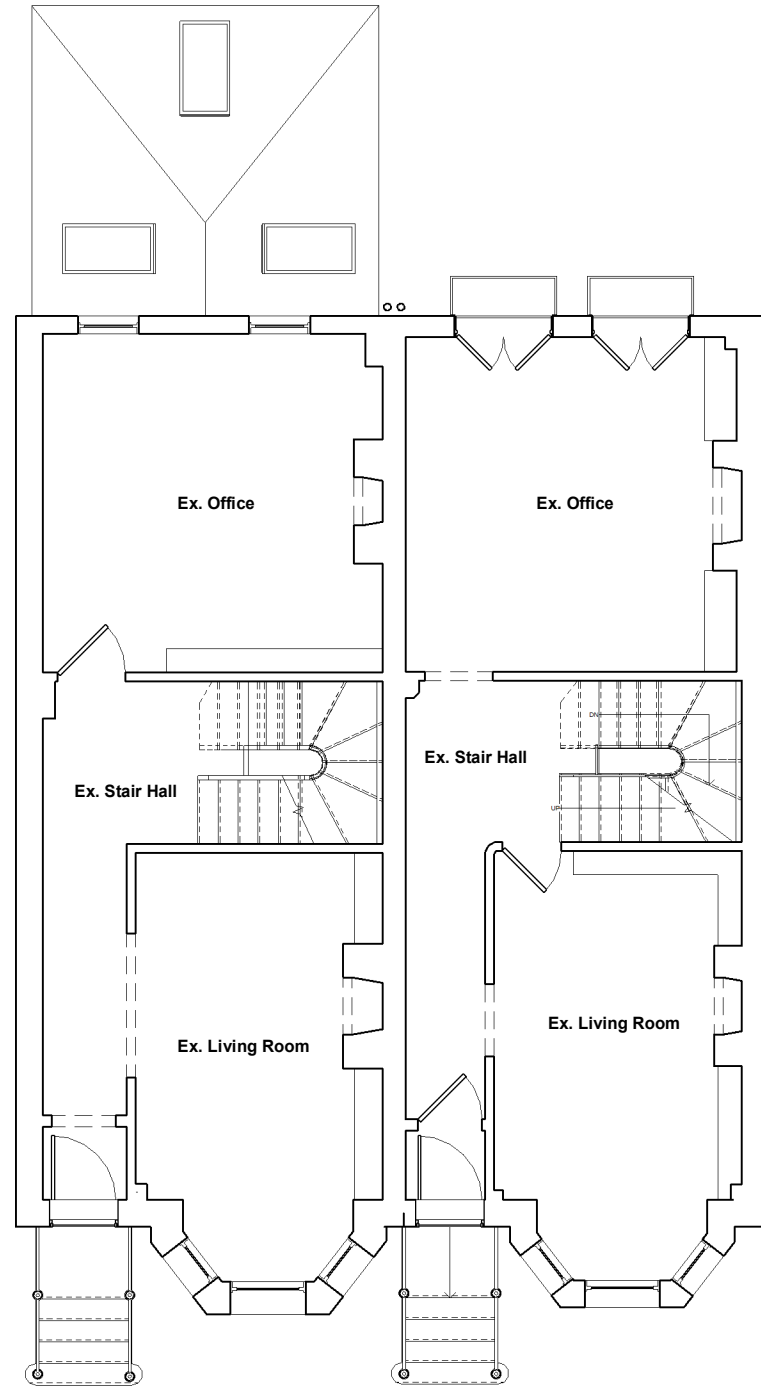
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2917

2915

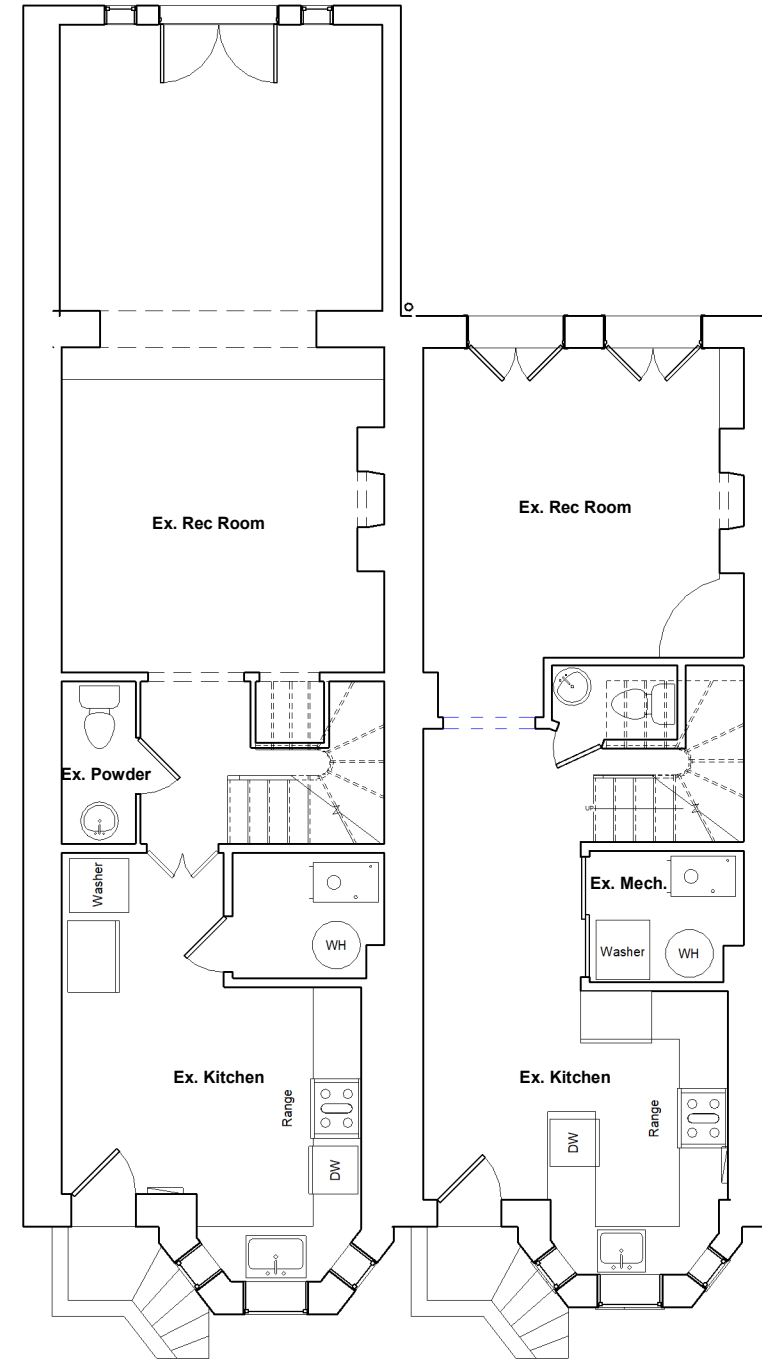
③ Existing Second Floor Plan  
1/8" = 1'-0"



2917

2915

② Existing First Floor Plan  
1/8" = 1'-0"



2917

2915

① Existing Basement Plan  
1/8" = 1'-0"

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# Rowhome Renovation/Addition

2915 & 2917 Dumbarton Street NW  
Washington, DC 20007

Project Number: 24-048

Client Name:  
Owner

Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Historic Concept Review

Drawing Issue Date: 10/17/2024

### Revision Schedule

No.	Description	Date

Drawn by: AP  
 Checked by: MCD  
 Scale: 1/4" = 1'-0"  
 Sheet Name:

Existing Floor Plans

Sheet  
Number:

**A1.1**

**Rowhome  
Renovation/Addition**

2915 & 2917 Dumbarton Street NW  
Washington, DC 20007



② Existing Rear Elevation  
1/8" = 1'-0"



① Existing Front Elevation  
1/8" = 1'-0"

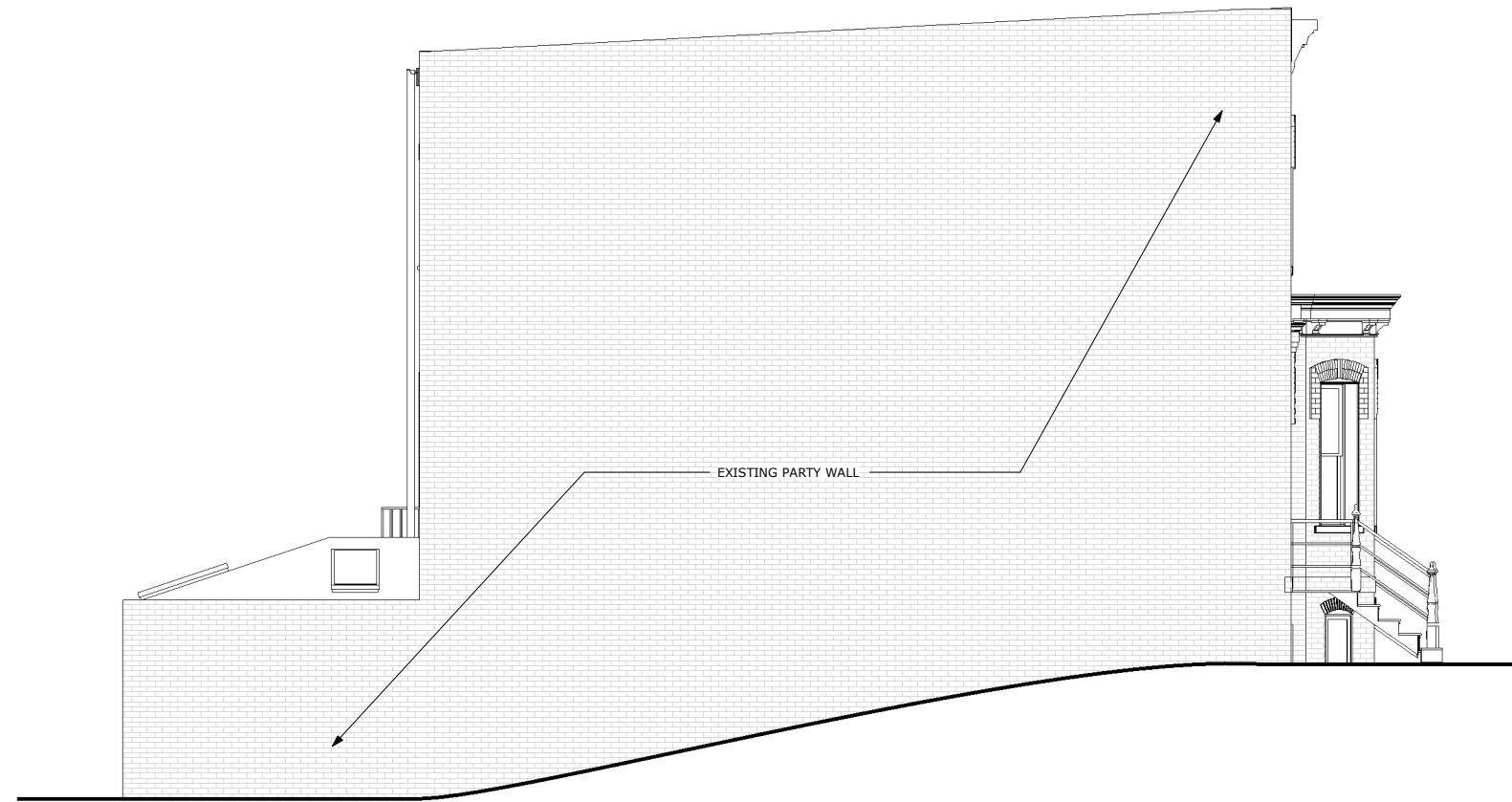
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Client Name: Owner  
Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Historic Concept Review  
 Drawing Issue Date: 10/17/2024

Revision Schedule		
No.	Description	Date

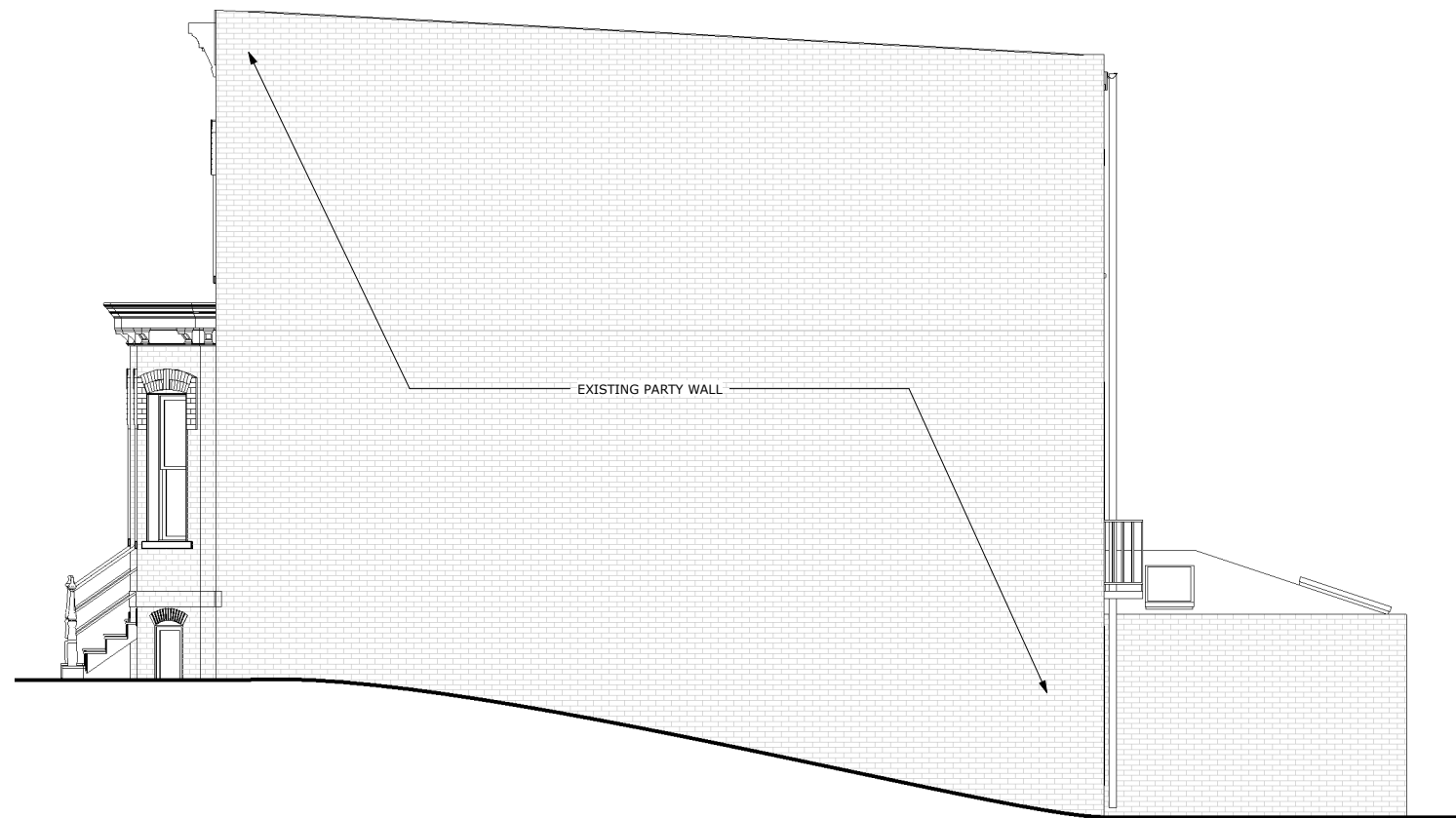
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Sheet Name:

Existing Elevations

Sheet Number:  
**A1.2**



② Existing Left Elevation  
1/8" = 1'-0"



① Existing Right Elevation  
1/8" = 1'-0"

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Client Name:  
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- Project Status:
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Drawing Issue Date: 10/17/2024

Revision Schedule

No.	Description	Date

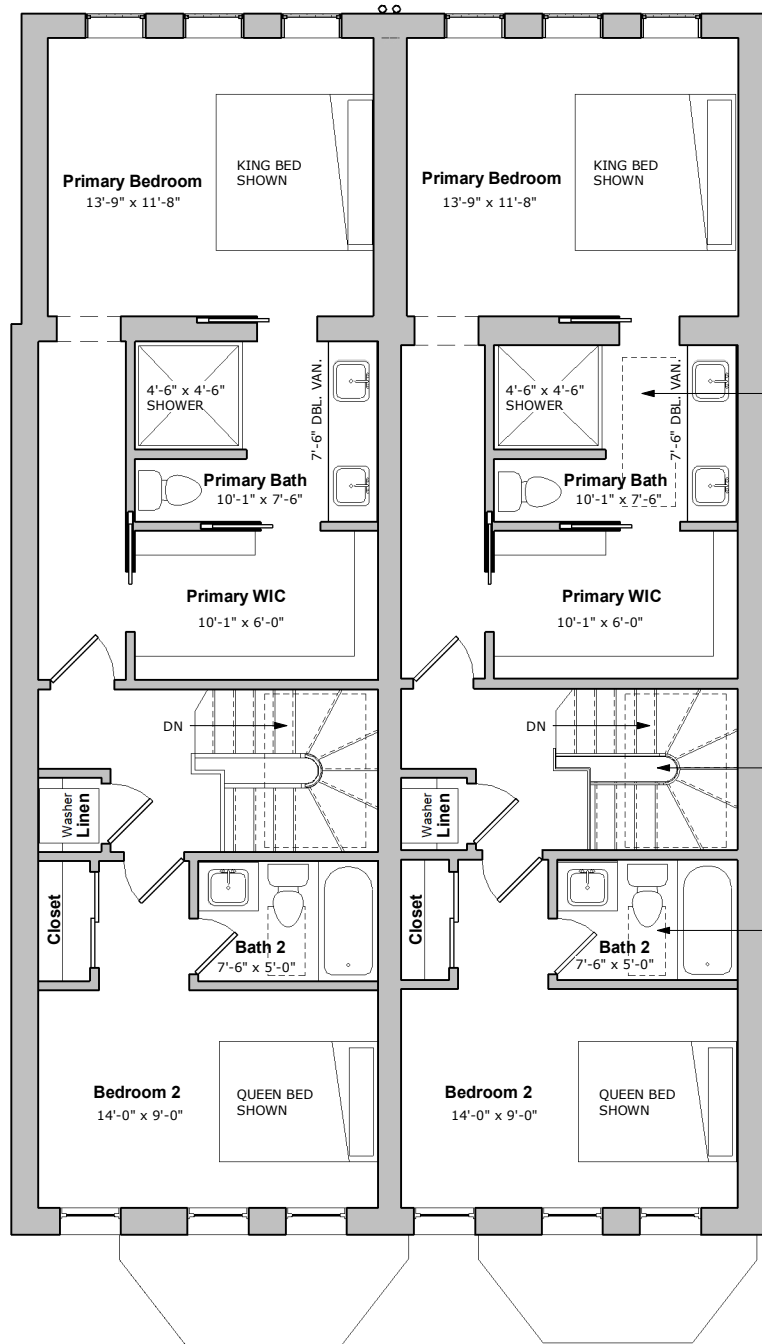
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Existing Elevations

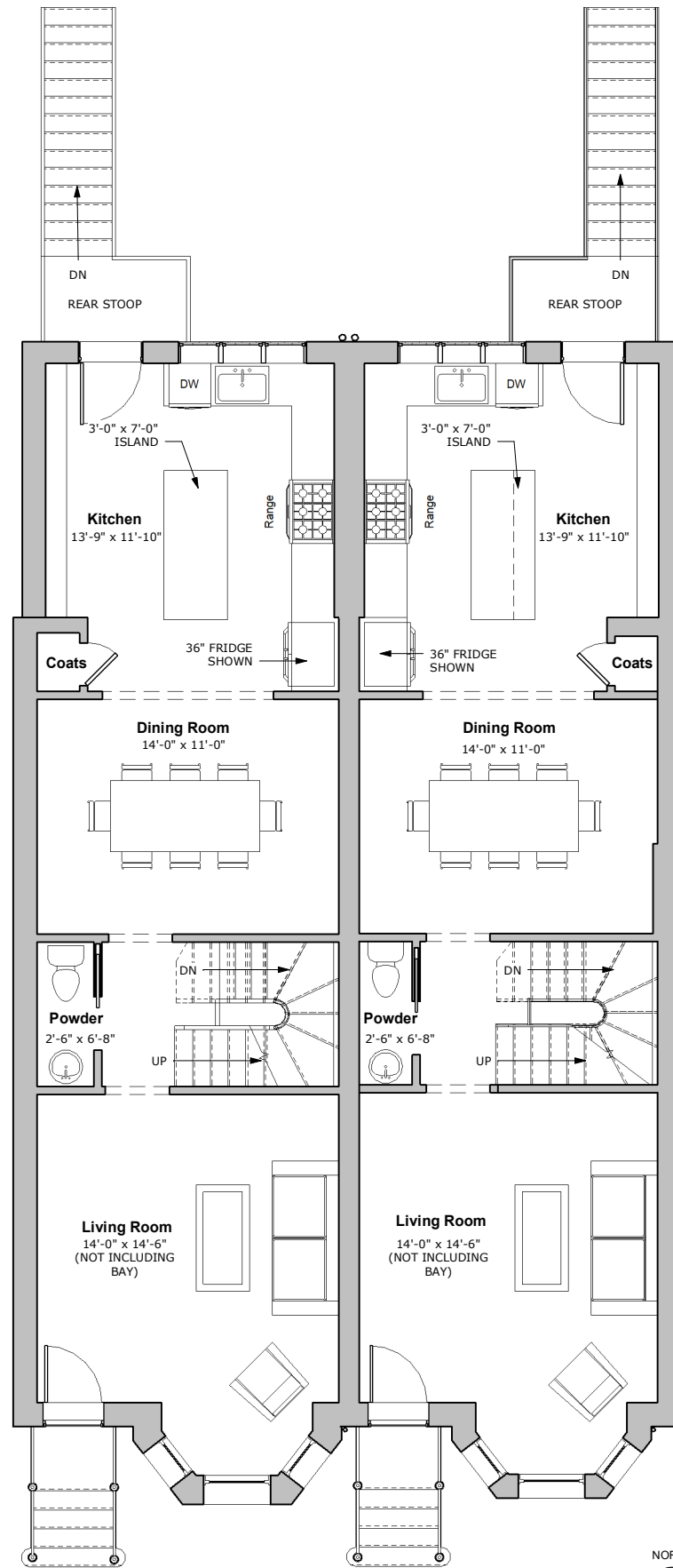
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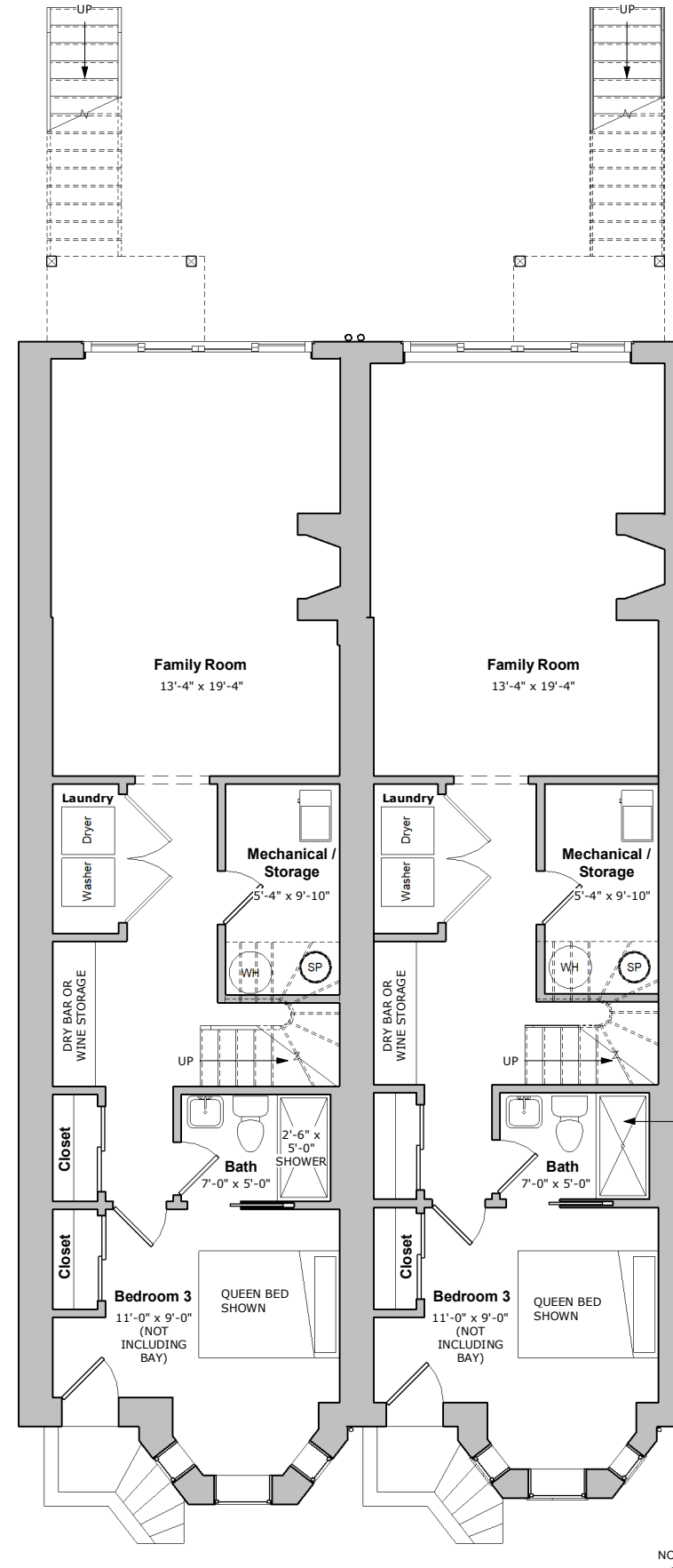




③ Proposed Second Floor Plan  
1/8" = 1'-0"



② Proposed First Floor Plan  
1/8" = 1'-0"



① Proposed Basement Plan  
1/8" = 1'-0"

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# Two Individual Dwellings Renovation

2915 & 2917 Dumbarton Street NW  
Washington, DC 20007

Project Number: 24-048  
Client Name: Owner  
Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
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 Drawing Issue Date: 10/17/2024

Revision Schedule		
No.	Description	Date

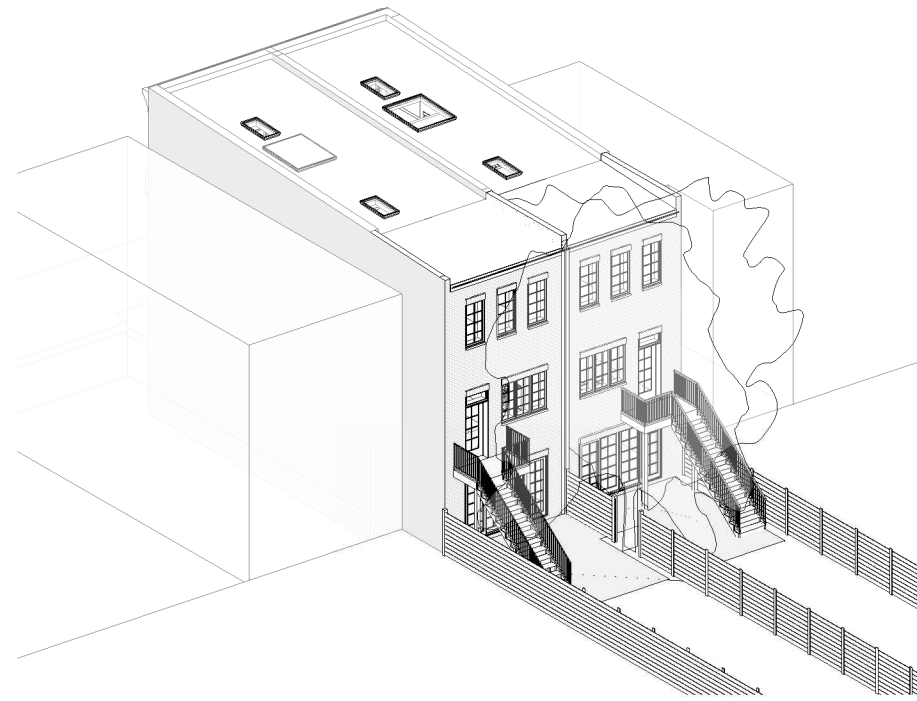
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## Two Individual Dwellings - Proposed Plans

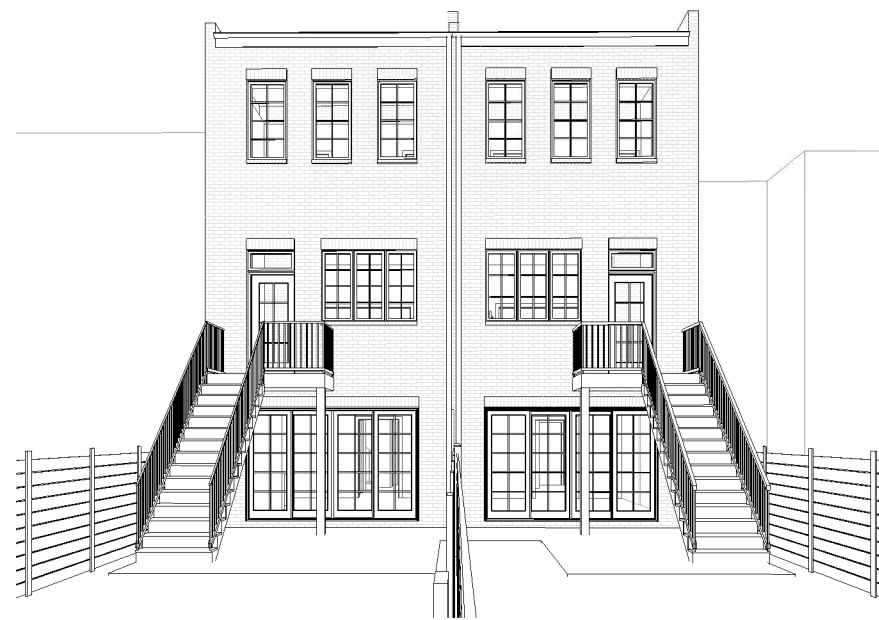
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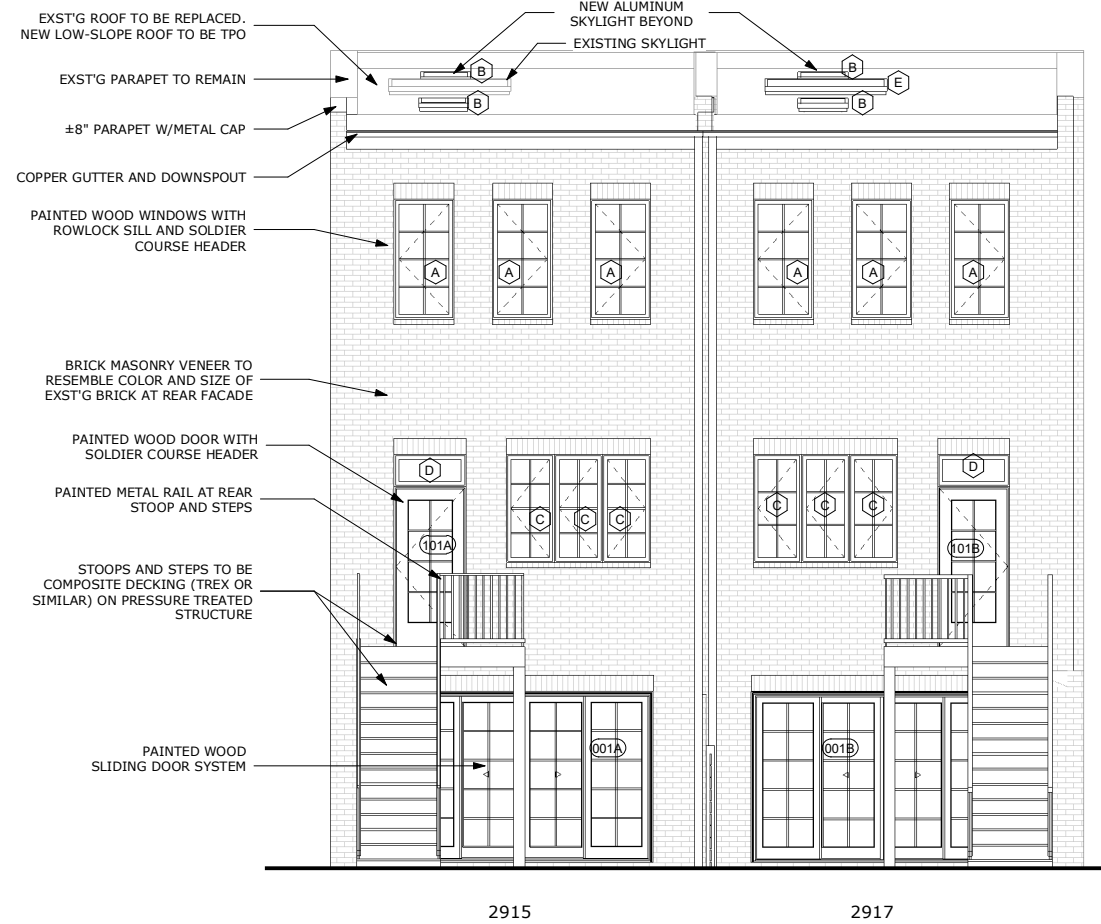
③ 3D Rear Left Birdseye



④ Proposed Rear View

Window Schedule					
Type Mark	Count	Rough Opening		Description	Comments
		Width	Height		
A	6	2' - 6"	5' - 0"	CASEMENT	
B	4	2' - 0"	4' - 0"	SKYLIGHT	
C	6	2' - 0"	4' - 6"	CASEMENT	
D	2	3' - 0"	1' - 4"	TRANSOM	
E	1	6' - 0"	5' - 0"	SKYLIGHT	
Total: 19					

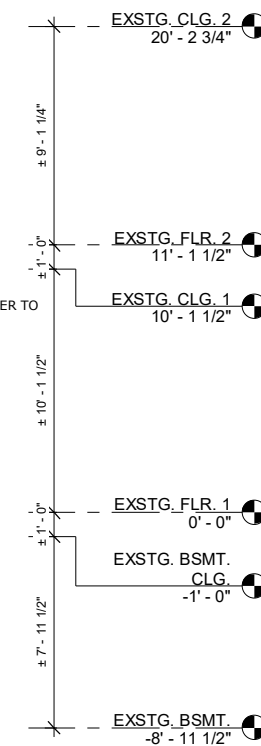
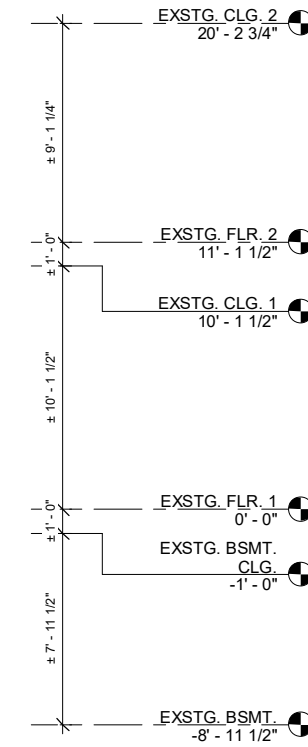
New Door Schedule				
Door Number	Width	Height	Description	Comments
001A	10' - 8"	7' - 0"	4 PANEL SLIDING DOOR SYSTEM	
001B	10' - 8"	7' - 0"	4 PANEL SLIDING DOOR SYSTEM	
101A	3' - 0"	6' - 8"	EXTERIOR SINGLE FRENCH DOOR	
101B	3' - 0"	6' - 8"	EXTERIOR SINGLE FRENCH DOOR	
Total: 4				



② Proposed Rear Elevation  
1/8" = 1'-0"



① Proposed Front Elevation  
1/8" = 1'-0"



# Two Individual Dwellings Renovation

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 www.mcdstudio.com

2915 & 2917 Dumbarton Street NW  
 Washington, DC 20007

Project Number: 24-048  
 Client Name: Owner  
 Project Status:  
 As Built Conditions  
 Preliminary Design  
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 Construction Administration  
 Historic Concept Review  
 Drawing Issue Date: 10/17/2024

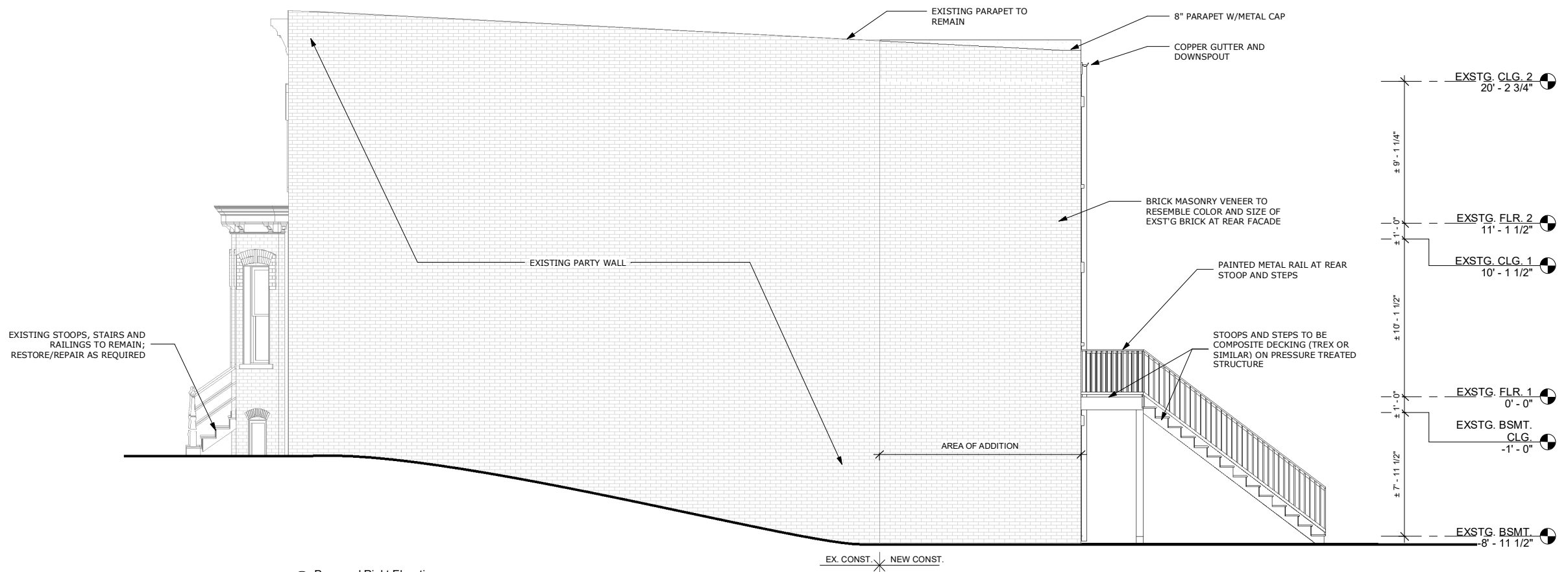
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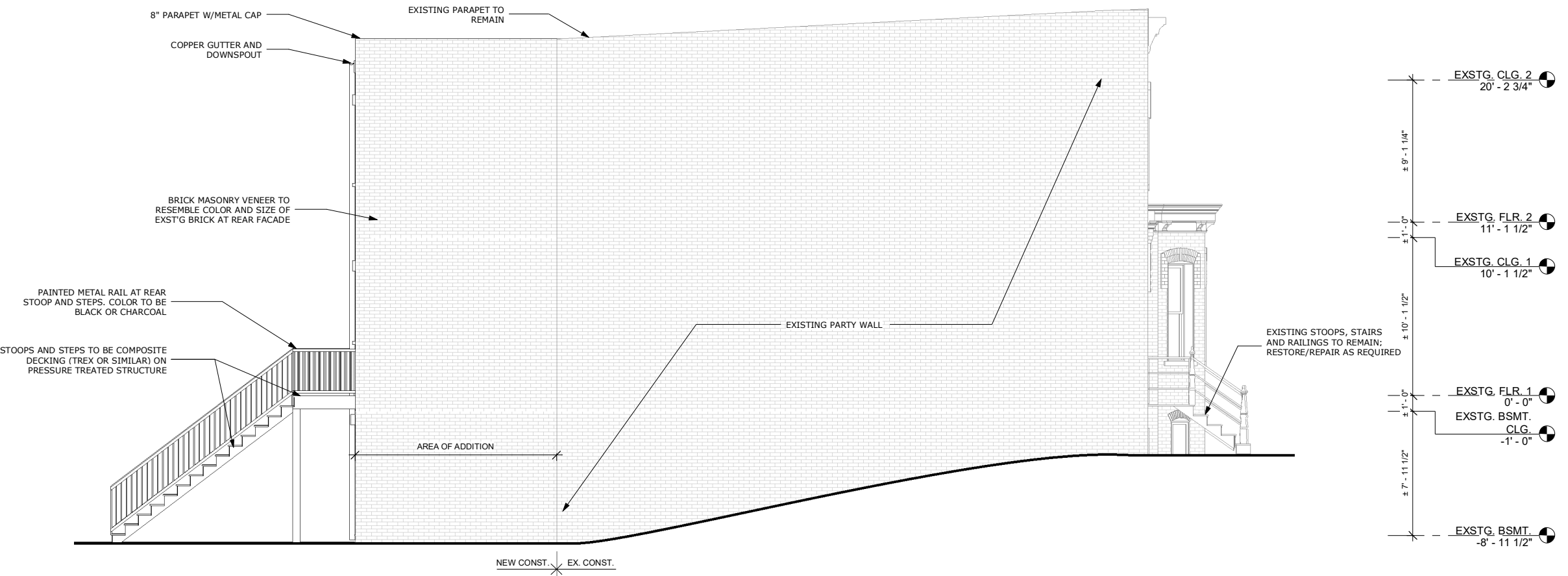
Two Individual Dwellings - Proposed Elevations

Sheet Number:

**A2.2**



② Proposed Right Elevation  
1/8" = 1'-0"



① Proposed Left Elevation  
1/8" = 1'-0"

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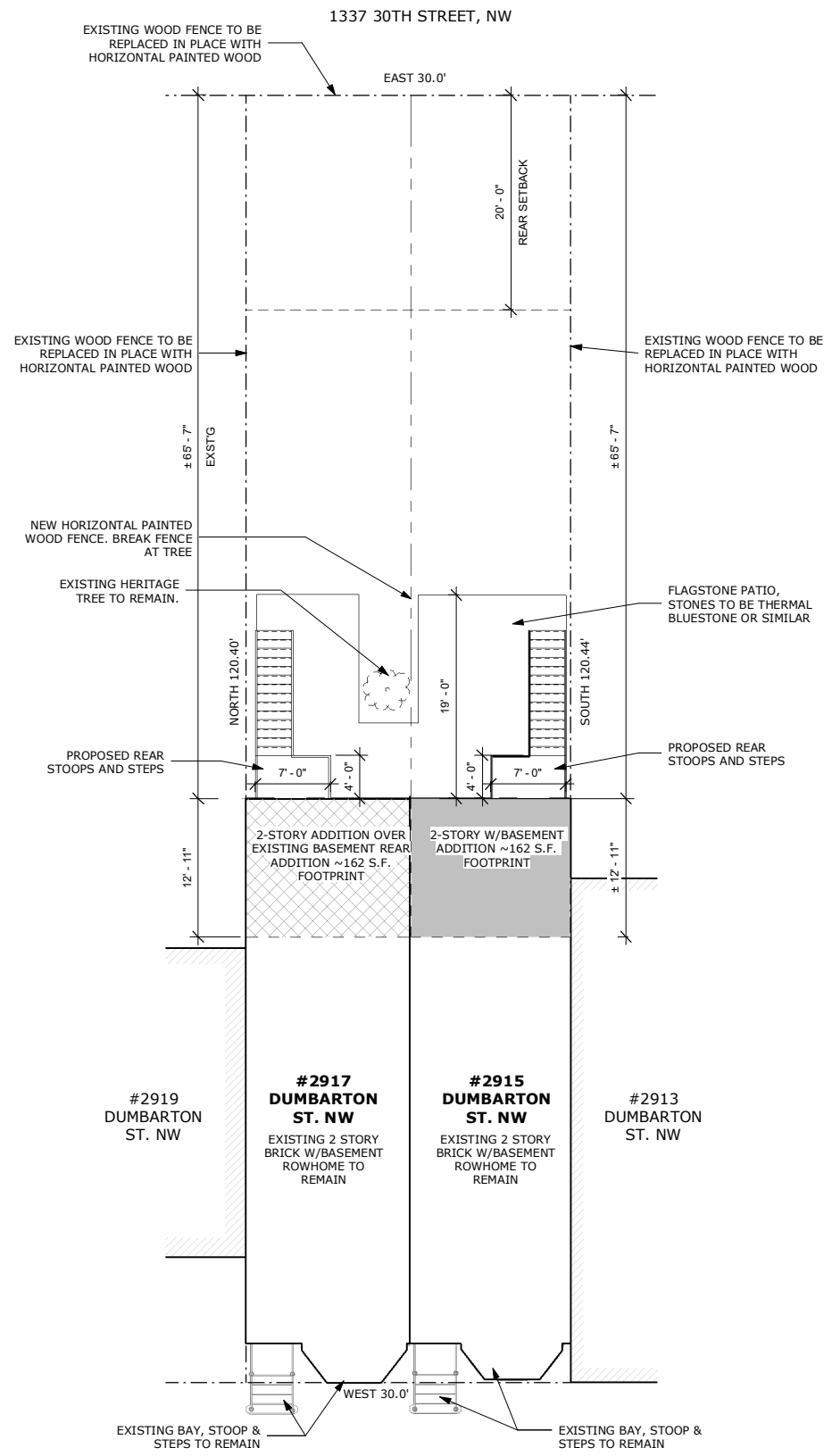
**Two Individual Dwellings Renovation**  
 2915 & 2917 Dumbarton Street NW  
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Project Number: 24-048  
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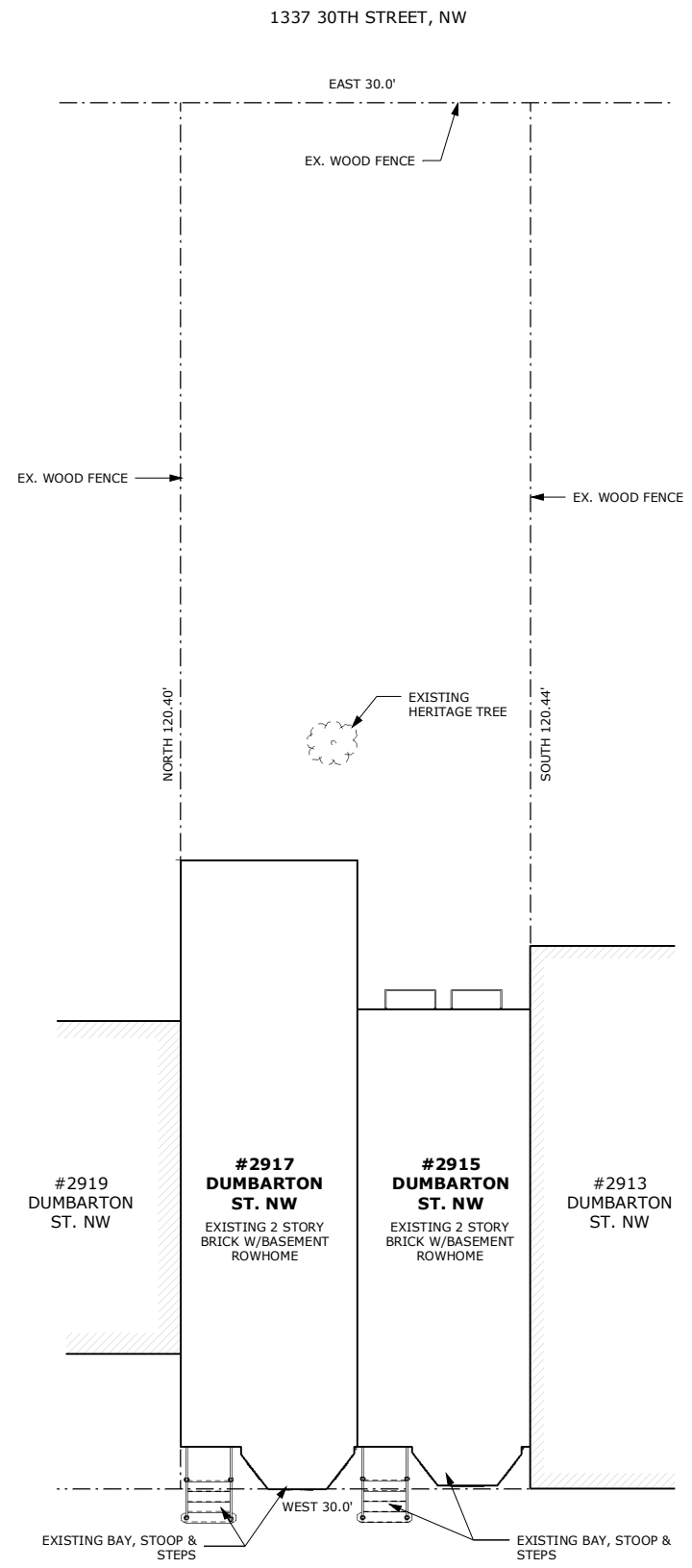
Revision Schedule		
No.	Description	Date

Drawn by: AP  
 Checked by: MCD  
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 Sheet Name:  
**Two Individual Dwellings - Proposed Elevations**

Sheet Number:  
**A2.3**



② Proposed Site Plan  
1/8" = 1'-0"



① Existing Site Plan  
1/8" = 1'-0"

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**Two Individual Dwellings Renovation**  
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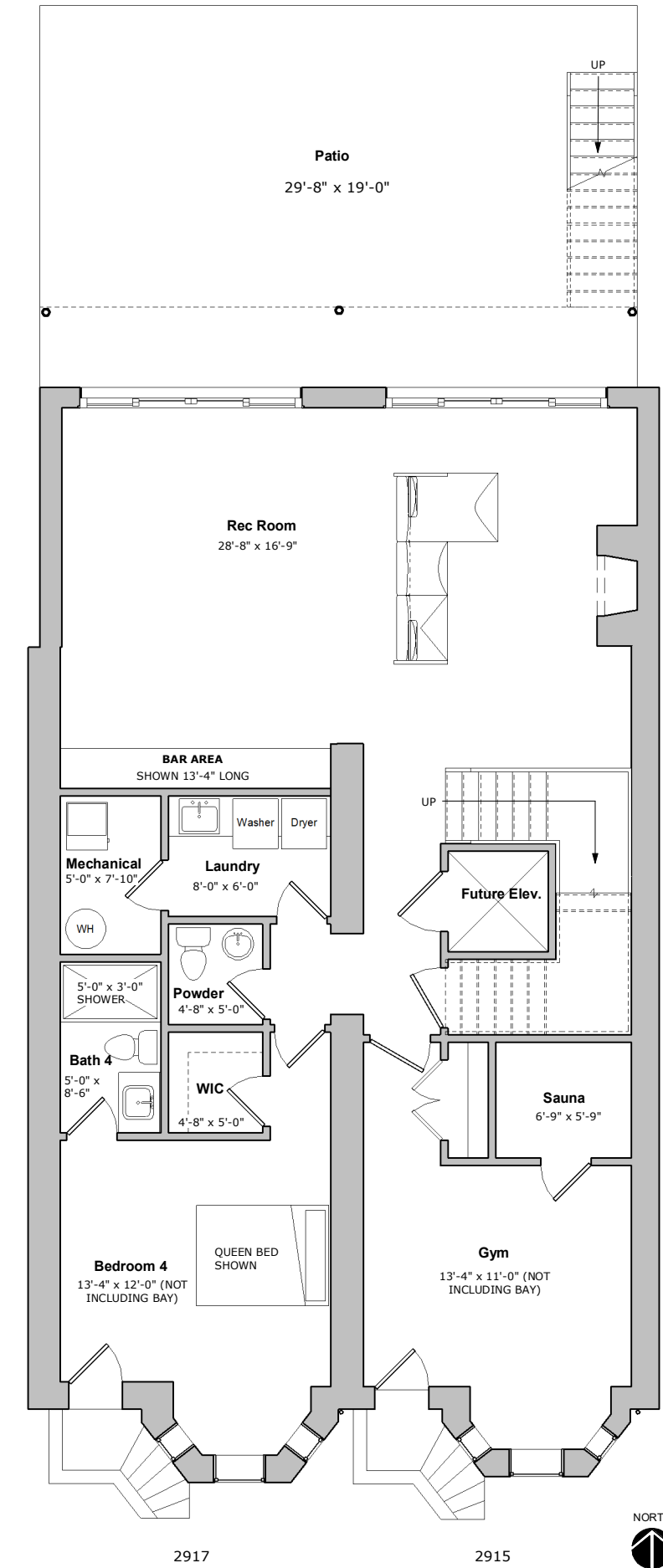
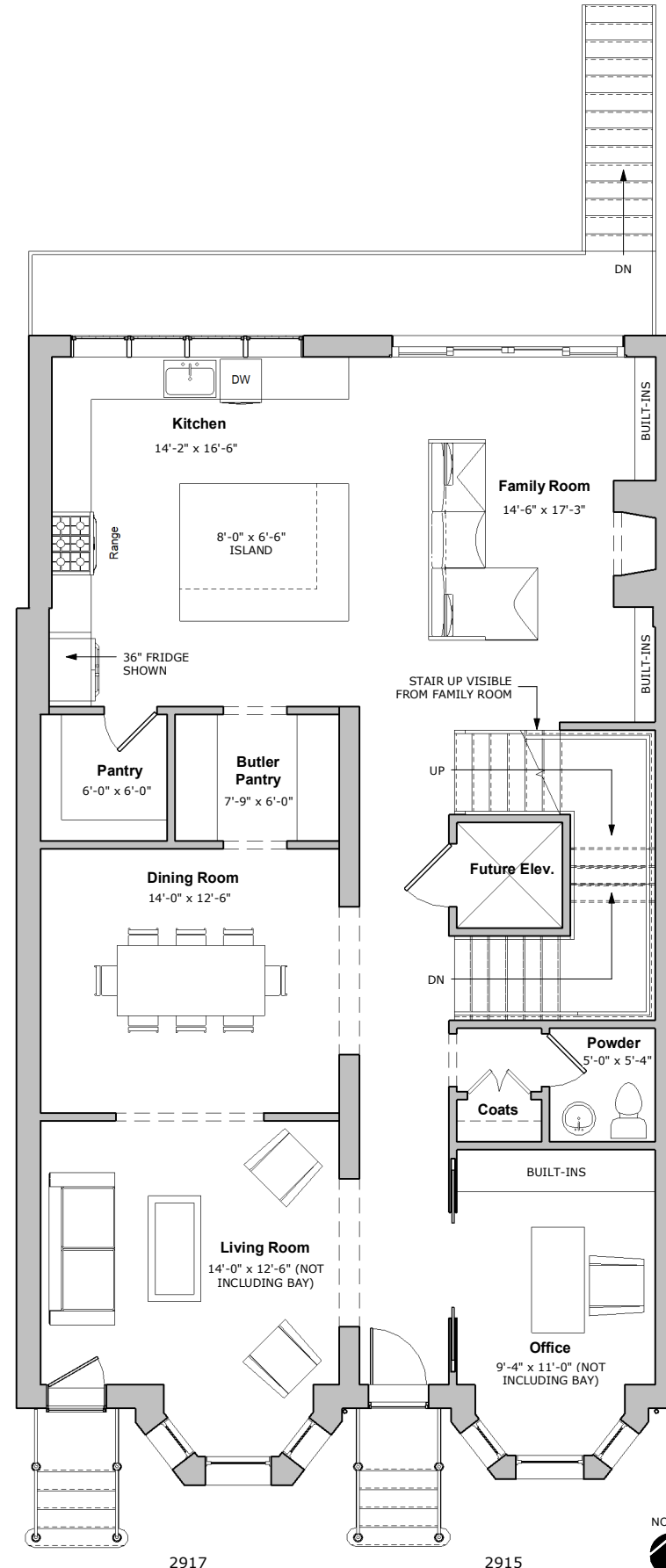
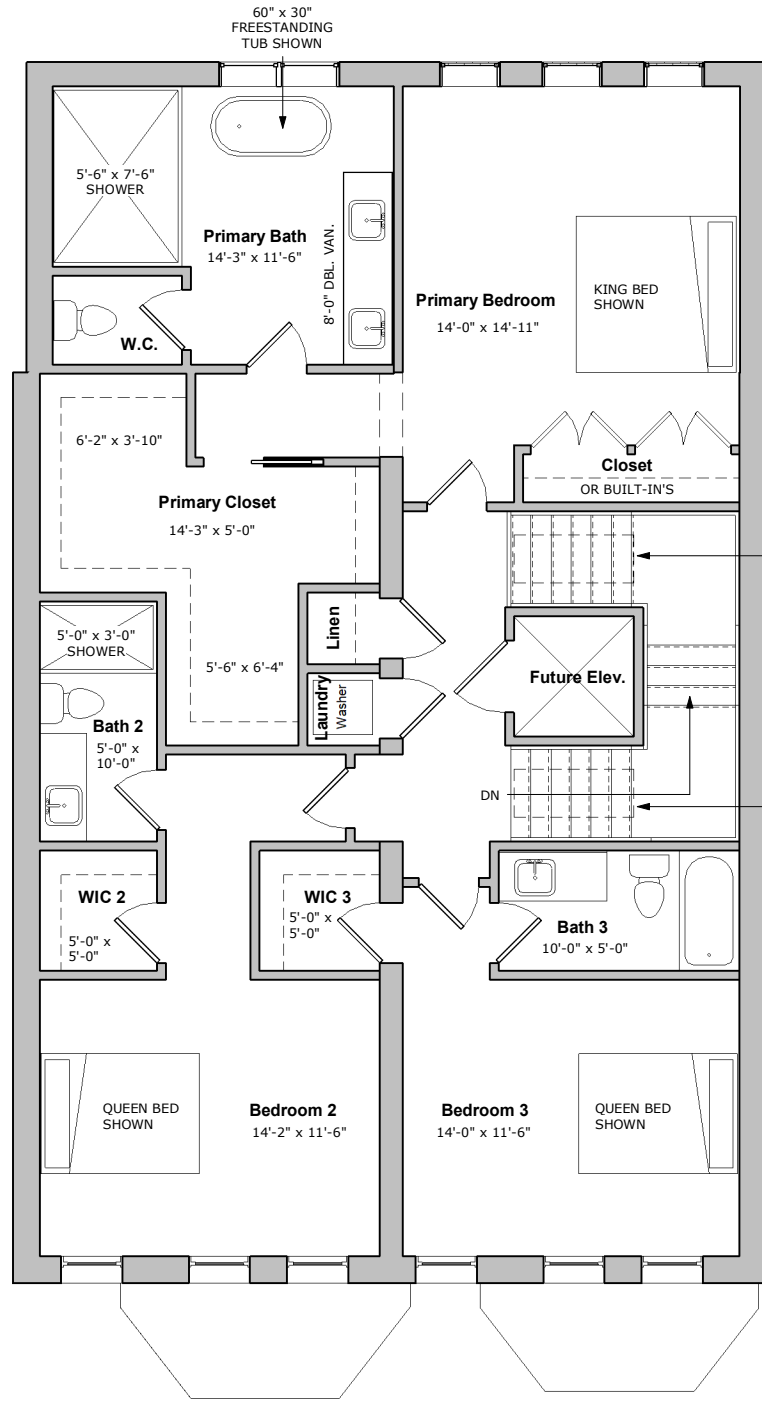
Project Number: 24-048  
Client Name: Owner  
Project Status:  
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 Construction Administration  
 Historic Concept Review  
Drawing Issue Date: 10/17/2024

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: MCD  
Scale: 1/8" = 1'-0"  
Sheet Name:

**Two Individual Dwellings - Site Plans**

Sheet Number:  
**A2.4**



③ Proposed Second Floor Plan  
1/8" = 1'-0"

② Proposed First Floor Plan  
1/8" = 1'-0"

① Proposed Basement Plan  
1/8" = 1'-0"

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# One Dwelling Unit

2915 & 2917 Dumbarton Street NW  
Washington, DC 20007

Project Number: 24-048  
Client Name: Owner

Project Status:

- As Built Conditions
- Preliminary Design
- Design Development
- Permit Submission
- Construction Documents
- Construction Administration
- Historic Concept Review

Drawing Issue Date: 10/17/2024

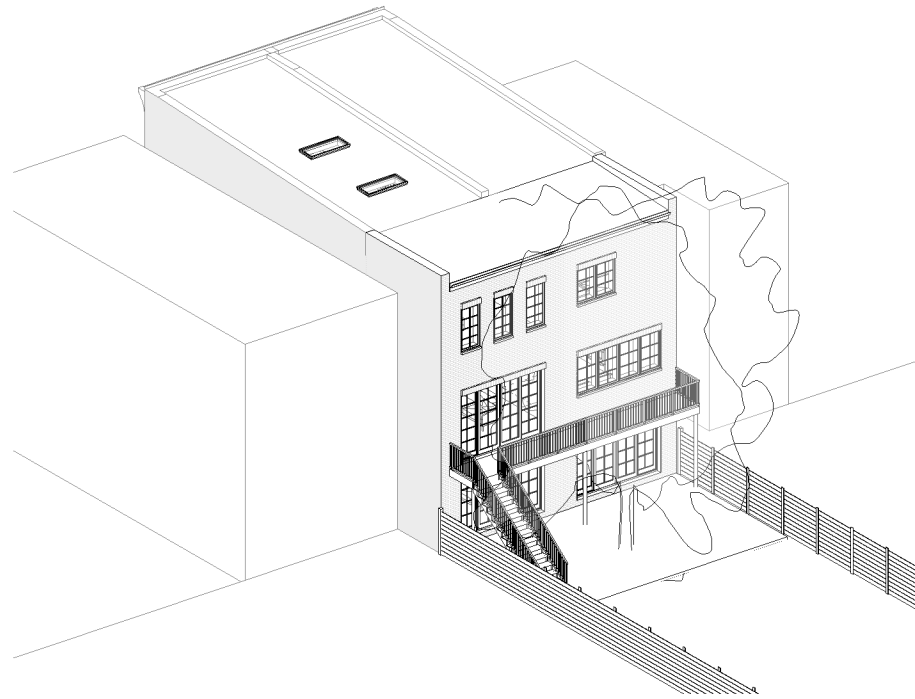
Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: MCD  
Scale: 1/4" = 1'-0"  
Sheet Name:

## One Dwelling Unit - Proposed Plans

Sheet Number:

# A3.1



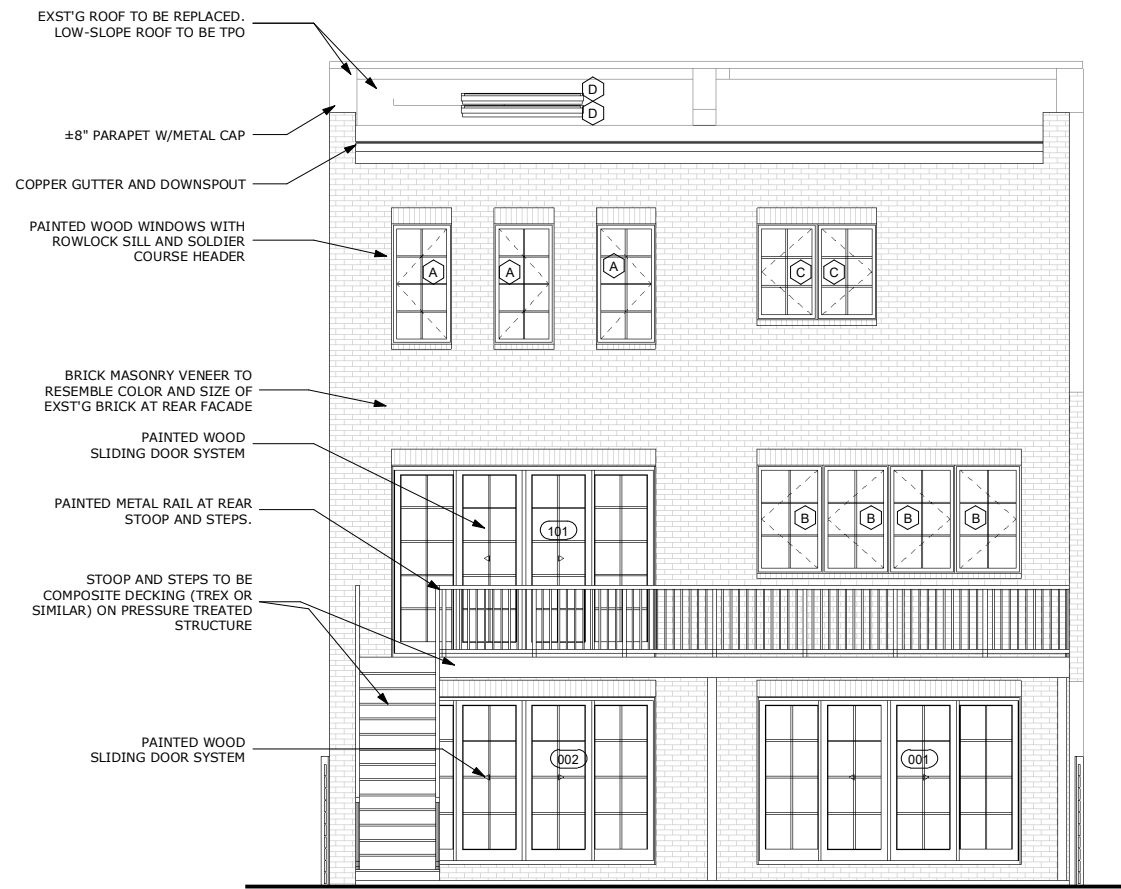
3 3D Rear Left Birdseye



4 Proposed Rear View

Window Schedule					
Type Mark	Count	Rough Opening		Description	Comments
		Width	Height		
A	3	2' - 6"	5' - 0"	CASEMENT	
B	4	2' - 9"	4' - 6"	CASEMENT	
C	2	2' - 6"	4' - 0"	CASEMENT	
D	2	2' - 0"	5' - 0"	SKYLIGHT	
Total: 11					

New Door Schedule					
Door Number	Width	Height	Description	Comments	
001	11' - 0"	7' - 0"	4 PANEL SLIDING DOOR SYSTEM	oor 4 Panel Clac	
002	11' - 0"	7' - 0"	4 PANEL SLIDING DOOR SYSTEM	oor 4 Panel Clac	
101	11' - 0"	8' - 0"	4 PANEL SLIDING DOOR SYSTEM	oor 4 Panel Clac	
Total: 3					

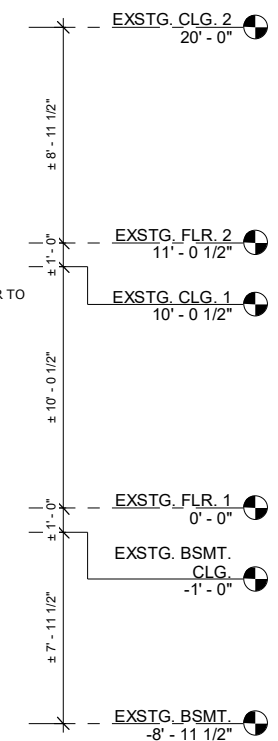
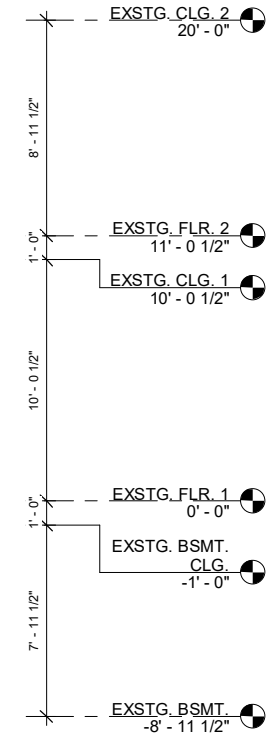


2 Proposed Rear Elevation  
1/4" = 1'-0"



1 Proposed Front Elevation  
1/4" = 1'-0"

NO CHANGE TO FRONT ELEVATION PROPOSED



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P: (301) 215-7277  
www.mcdstudio.com

# One Dwelling Unit

2915 & 2917 Dumbarton Street NW  
Washington, DC 20007

Project Number: 24-048  
Client Name: Owner  
Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Historic Concept Review  
 Drawing Issue Date: 10/17/2024

Revision Schedule		
No.	Description	Date

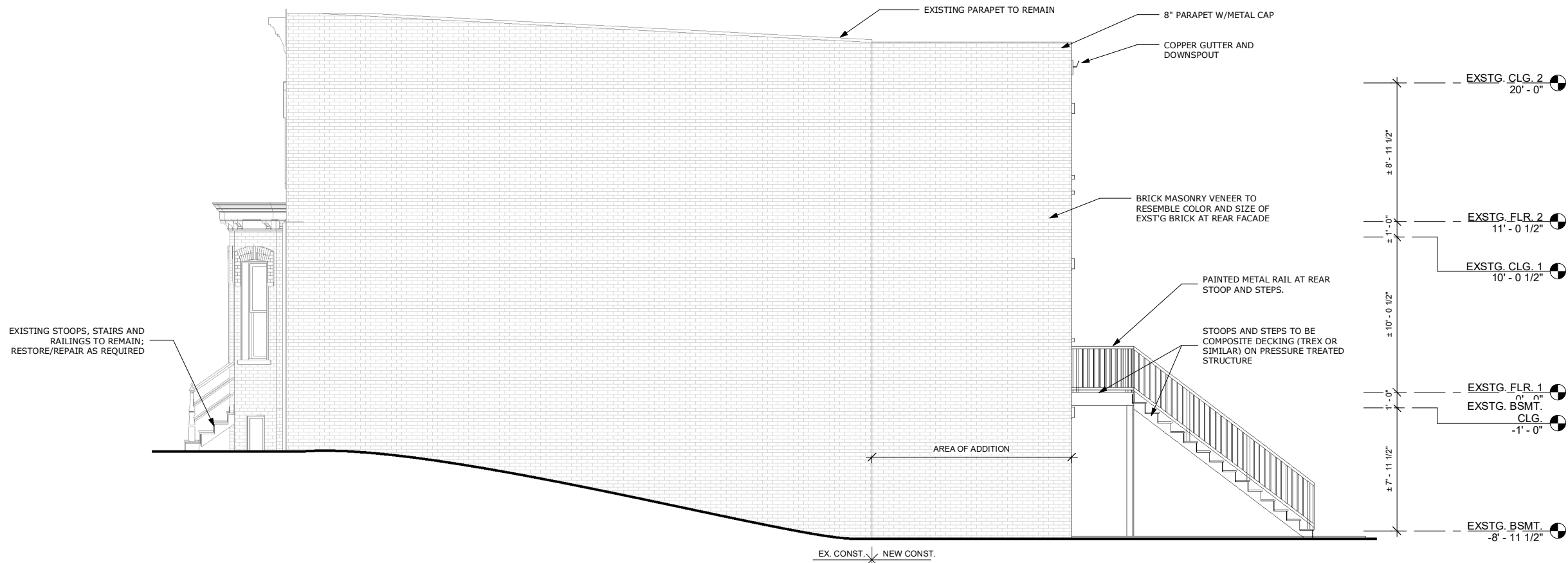
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Scale:  
Sheet Name:

## One Dwelling Unit - Proposed Elevations

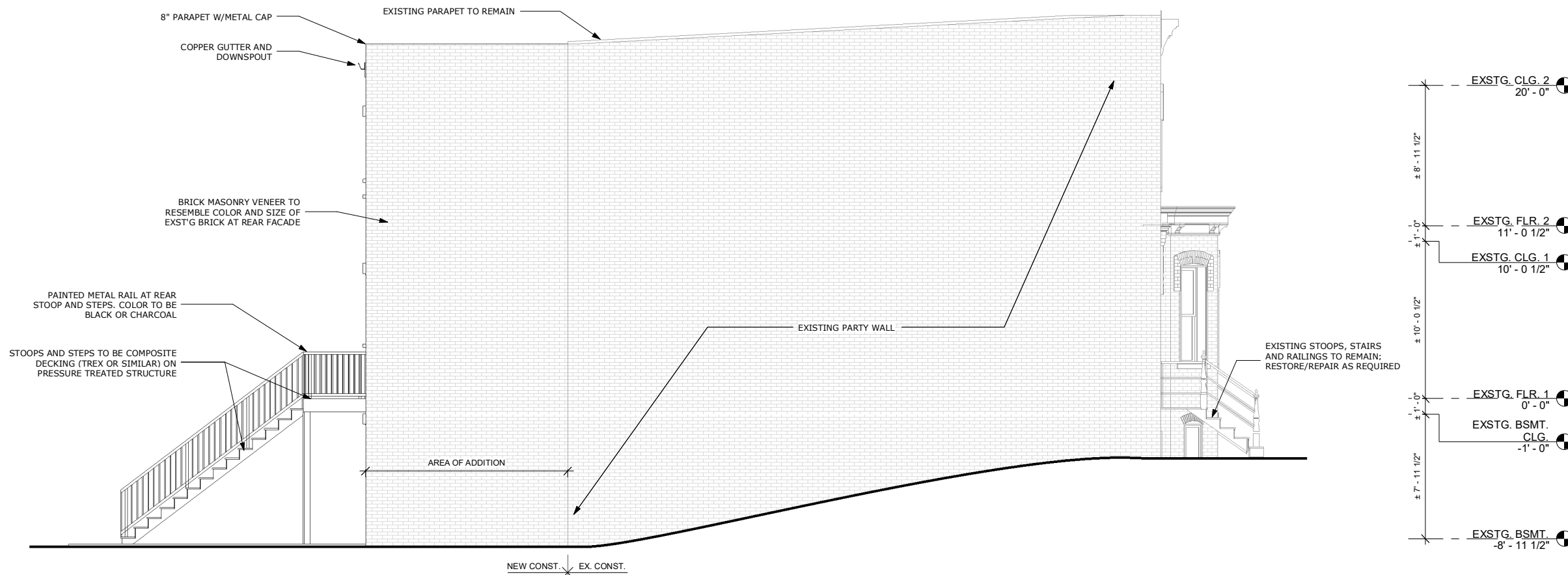
Sheet Number:

# A3.2





② Proposed Right Elevation  
1/8" = 1'-0"



① Proposed Left Elevation  
1/8" = 1'-0"

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# One Dwelling Unit

2915 & 2917 Dumbarton Street NW  
Washington, DC 20007

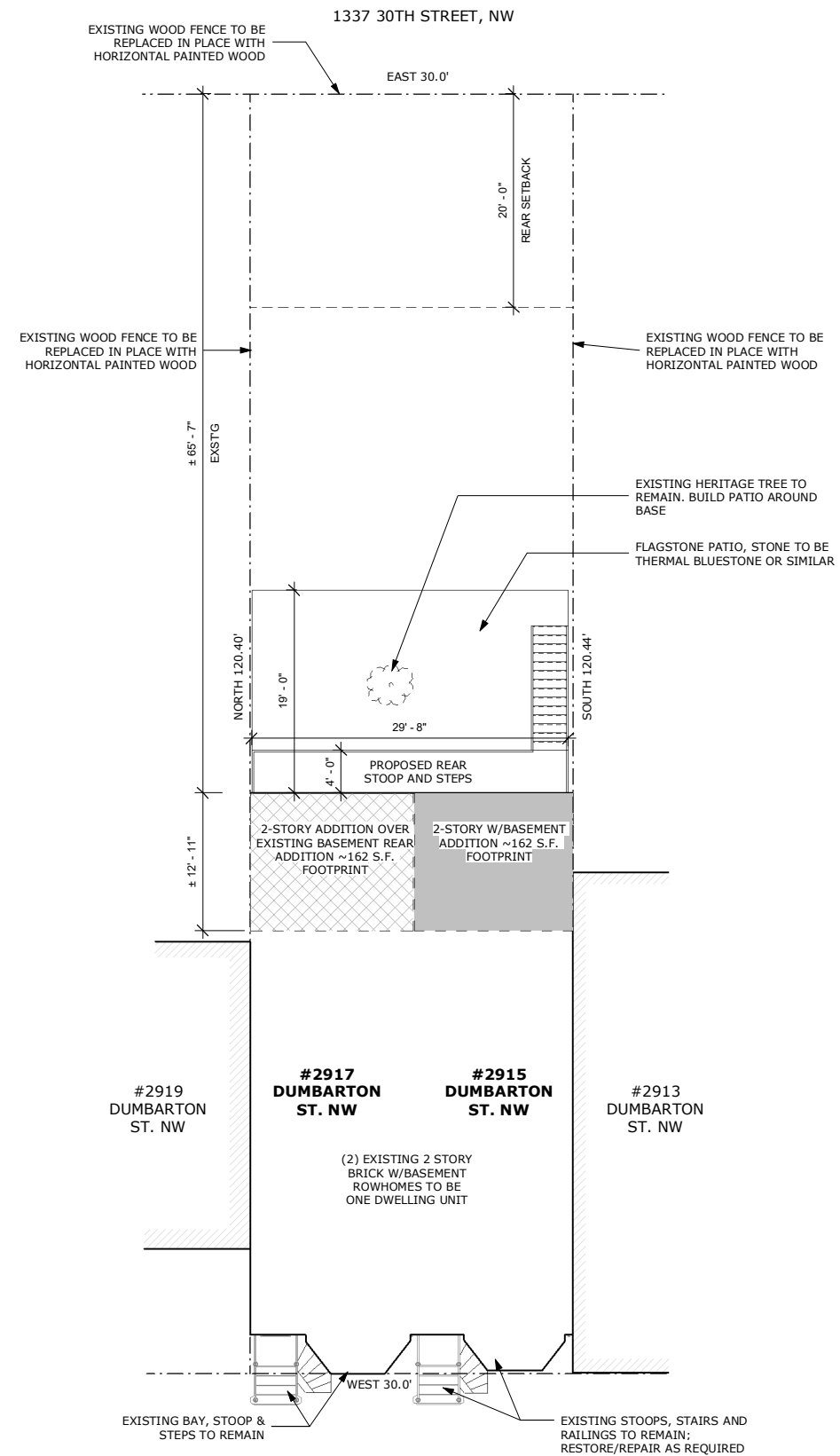
Project Number: 24-048  
Client Name: Owner  
Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Historic Concept Review  
 Drawing Issue Date: 10/17/2024

Revision Schedule		
No.	Description	Date

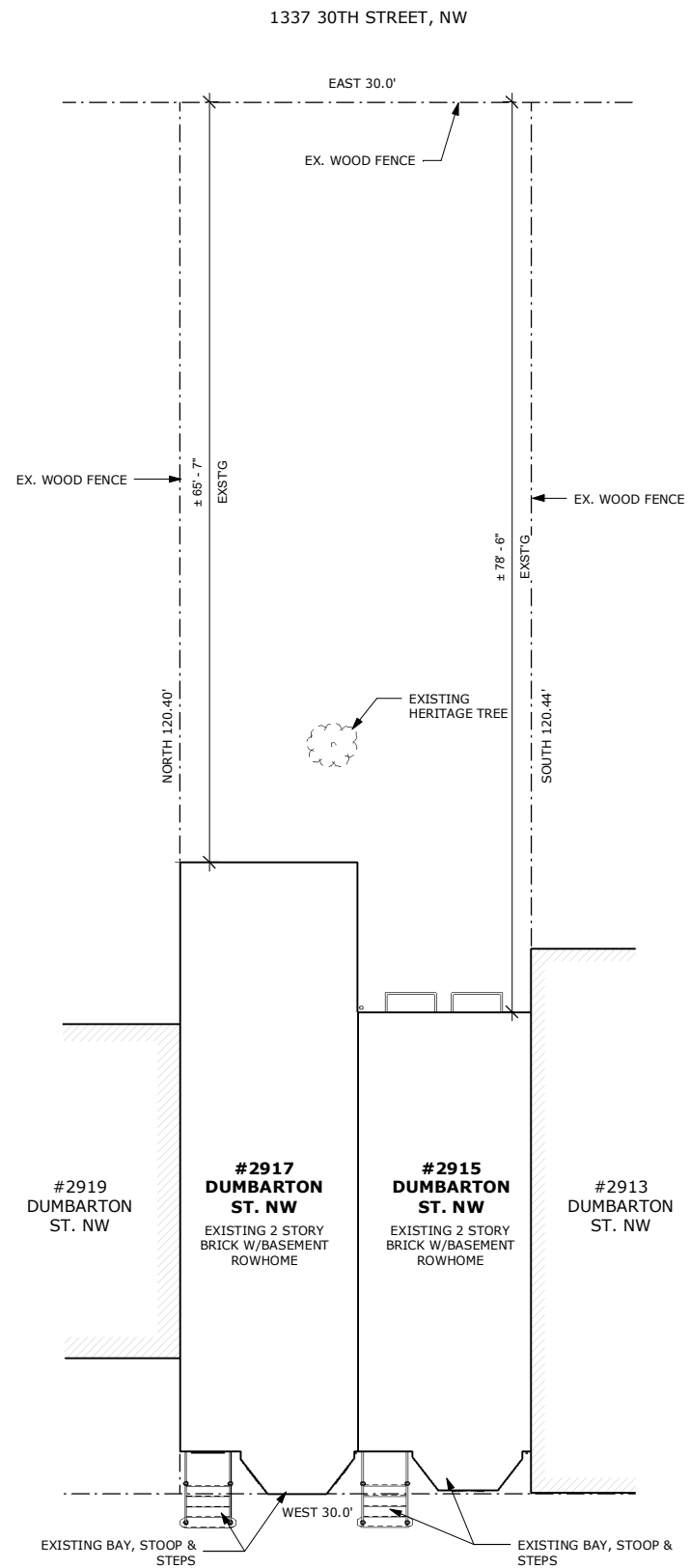
Drawn by: AP  
Checked by: MCD  
Scale:  
Sheet Name:

One Dwelling Unit - Proposed Elevations

Sheet Number:  
**A3.3**



① Proposed Site Plan  
1/8" = 1'-0"



② Existing Site Plan  
1/8" = 1'-0"

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2915 & 2917 Dumbarton Street NW  
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 Historic Concept Review  
 Drawing Issue Date: 10/17/2024

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: MCD  
Scale: 1/8" = 1'-0"  
Sheet Name:

One Dwelling Unit - Site Plans

Sheet Number:

# A3.4





**2917**



**2915**



NO WORK IS PROPOSED FOR THE FRONT OF 2915 AND 2917 DUMBARTON STREET NW,  
IMAGE HAS BEEN PROVIDED FOR CONTEXT

① Front View from Dumbarton Street NW  
3/4" = 1'-0"

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**Rowhome  
Renovation / Addition**

2915 & 2917 Dumbarton Street NW  
Washington, DC 20007

Project Number: 24-048

Client Name:  
Owner

- Project Status:
- As Built Conditions
  - Preliminary Design
  - Design Development
  - Permit Submission
  - Construction Documents
  - Construction Administration
  - Historic Concept Review

Drawing Issue Date: 10/17/2024

Revision Schedule

No.	Description	Date

Drawn by: AP  
Checked by: MCD  
Scale: 3/4" = 1'-0"  
Sheet Name:

Existing Photos - Front

Sheet  
Number:

**P.1**





① Rear View from Rear Yard  
3/4" = 1'-0"

2915

2913

2915

2913

2915

2917

2915

2917

2917

2919

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**Rowhome  
Renovation / Addition**

2915 & 2917 Dumbarton Street NW  
Washington, DC 20007

Project Number: 24-048  
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 Drawing Issue Date: 10/17/2024

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: MCD  
Scale: 3/4" = 1'-0"  
Sheet Name:

Existing Photos - Rear

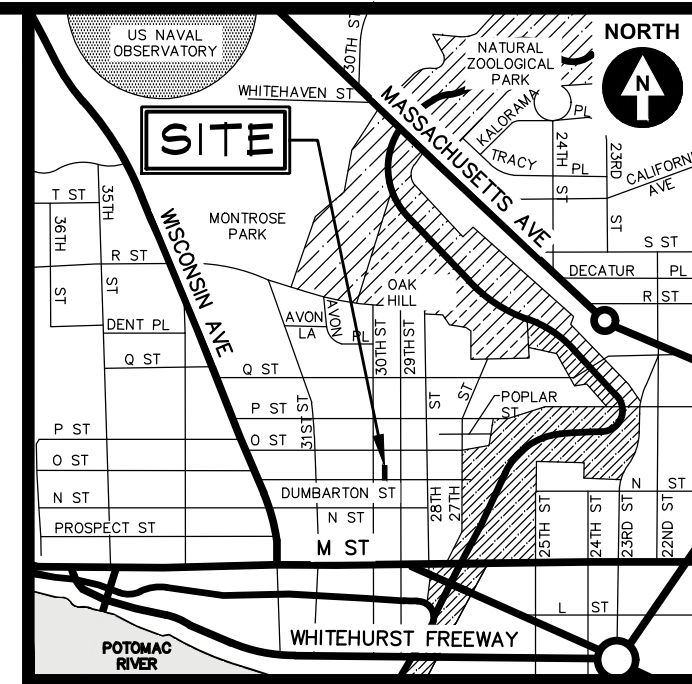
Sheet Number:

**P.2**



**GENERAL NOTES**

- ONE-FOOT CONTOUR DATA BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED SEPTEMBER, 2024.
- BOUNDARY INFORMATION BASED ON A SURVEY PERFORMED BY CAS ENGINEERING, DATED SEPTEMBER, 2024, AND A SURVEY-TO-MARK PERFORMED BY CAS ENGINEERING, DATED SEPTEMBER, 2024 (RECORDATION PENDING). MEASUREMENTS: "(R)" DENOTES RECORD DIMENSIONS, "(S)" DENOTES SURVEY DIMENSIONS, SHOWN HEREON.
- ZONING: R-3/GT  
 MINIMUM LOT WIDTH = 20 FEET (ROW)  
 MINIMUM LOT AREA = 2,000 SQUARE FEET (ROW)  
 MAXIMUM BUILDING HEIGHT = 35 FEET / 5 STORIES  
 FRONT B.F.L. = NONE PER DC SURVEYORS OFFICE  
 FRONT SETBACK PER 110 DCMR 1102.1  
 MINIMUM REAR YARD = 20 FEET  
 MAXIMUM LOT OCCUPANCY = 60%  
 MINIMUM PERVIOUS SURFACE COVERAGE = 20%  
 NOTE: SITE IS LOCATED WITHIN THE GEORGETOWN HISTORIC DISTRICT AND THE COMMISSION OF FINE ARTS JURISDICTION AREA AND MAY BE SUBJECT TO ADDITIONAL REVIEWS/REQUIREMENTS.
- TOTAL LOT AREA: LOT 139 = 3,600 SQUARE FEET (0.083 ACRES)
- PROJECT IS WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS PER FEMA FLOOD INSURANCE RATE MAP PANEL No. 1100010016C.
- THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.



**VICINITY MAP**  
 ADC MAP 5526, GRID A-5  
 SCALE: 1" = 2000'



**CAS ENGINEERING-DC, LLC**  
 Experience you can build on.

CAS ENGINEERING-DC, LLC  
 4836 MacArthur Boulevard, NW  
 2nd Floor  
 Washington, DC 20007  
 (202) 393-7200 Phone  
 www.cas-dc.com  
 info@cas-dc.com  
 CIVIL • SURVEYING • LAND PLANNING

**OWNER/CLIENT**  
 2915 DUMBARTON ST NW LLC  
 ATTN: ANDO ROFFE  
 1716 14TH STREET, NW, SUITE 300  
 WASHINGTON, DC 20009  
 (202) 681-8126 (PHONE)  
 ando@cobadco.com

**ARCHITECT**  
 TBD

LOT 0139, SQUARE 1241  
 GEORGETOWN

**2915-2917  
 DUMBARTON  
 STREET, NW**

N.W. WASHINGTON,  
 DISTRICT OF COLUMBIA

**LEGEND**

**EXISTING FEATURES**

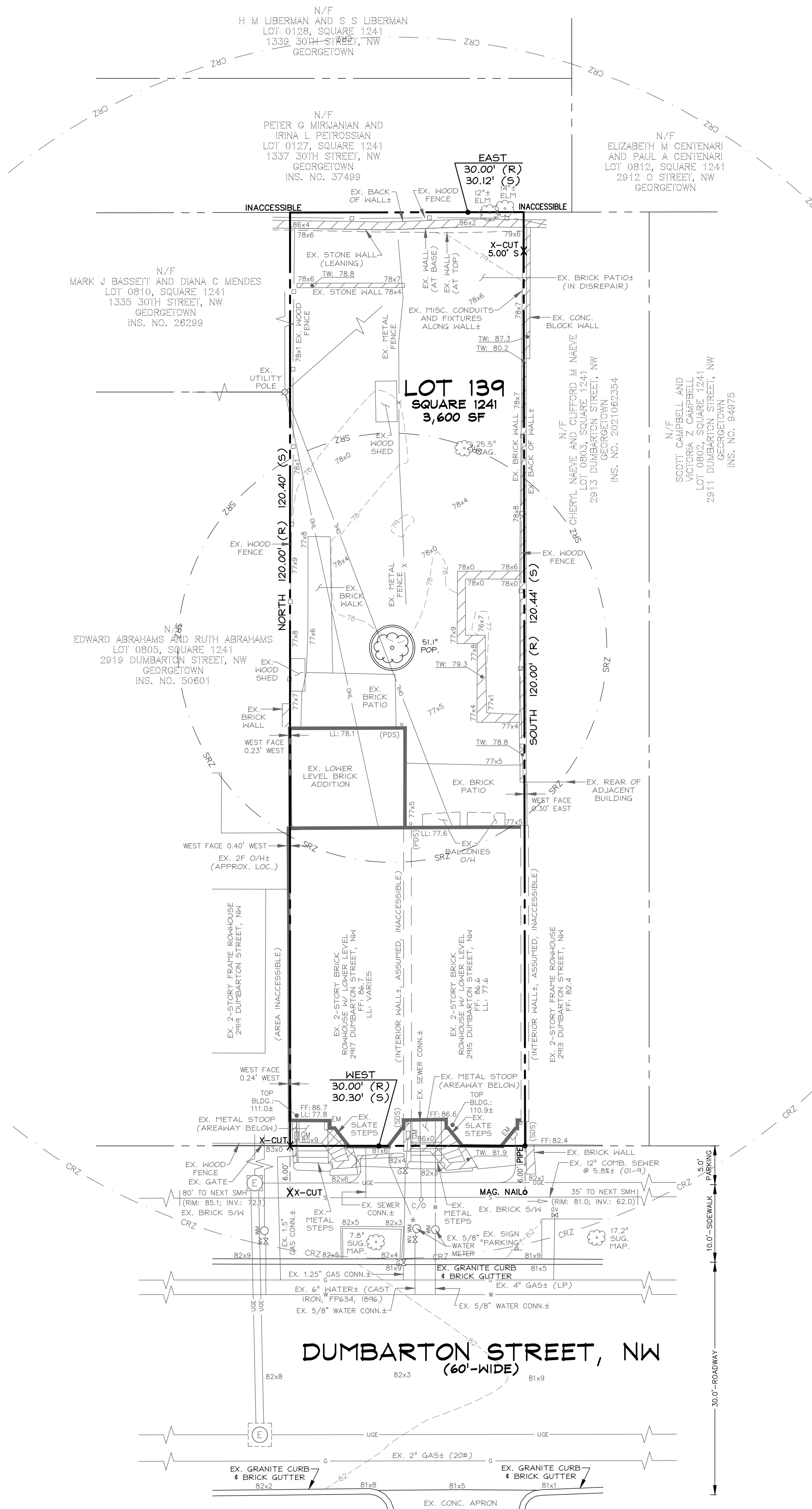
- PROPERTY LINE
- EX. SANITARY CLEANOUT AND INVERT
- EX. WATER LINE WITH VALVE
- EX. GAS LINE WITH VALVE
- EX. UNDERGROUND ELECTRIC LINE
- EX. OVERHEAD UTILITY WITH POLE
- EX. ONE- AND FIVE-FOOT CONTOURS
- EX. SPOT ELEVATION
- EX. WOOD FENCE
- EX. METAL FENCE
- EX. SIGN
- EX. PIPED DOWNSPOUT
- EX. SPILLED DOWNSPOUT
- EX. TREE
- EX. HERITAGE TREE (>=100' CBH), MAY NOT BE REMOVED UNLESS HAZARDOUS (EVALUATED BY ISA CERTIFIED ARBORIST AND DDOT UFA/PSD) OR PERMIT IS ISSUED BY MAYOR PER THE TREE CANOPY PROTECTION AMENDMENT ACT OF 2016 (REF. DC ACT 21-386)
- EX. WALL

**UTILITY INFORMATION**

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

UTILITY	REQUEST DATE	BY	INFO RECEIVED	PLAN REVISED BY
AT&T	08/10/2024	MSL	08/19/2024	NO FACILITIES --
COMCAST	08/10/2024	MSL	08/23/2024	09/11/2024 MSL
MC/WORLDCOM	08/10/2024	MSL	08/13/2024	NO FACILITIES --
PEPCO	08/10/2024	MSL	08/12/2024	09/11/2024 MSL
VERIZON	08/10/2024	MSL	PENDING	--
WASH. GAS	08/10/2024	MSL	08/20/2024	09/11/2024 MSL
DC SEWER	08/10/2024	MSL	ON FILE	09/11/2024 MSL
DC WATER	08/10/2024	MSL	ON FILE	09/11/2024 MSL

**MISS UTILITY**  
 FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/TIC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL JURISDICTIONAL REQUIREMENTS.



BASE SHEET ISSUED 09.14.2024

REVISION DATE

CAS PROJECT 24-529-DC

DATE 09/2024

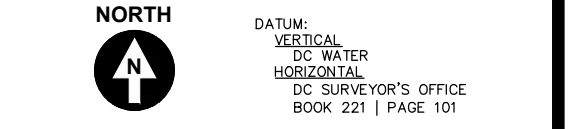
DRAWN BY MSL

CHECKED BY DCL

APPROVAL DCL

SCALE 1"=10'

SCALE: 1"=10 FEET



SHEET TITLE

**EXISTING  
 CONDITIONS PLAN**

CIV100