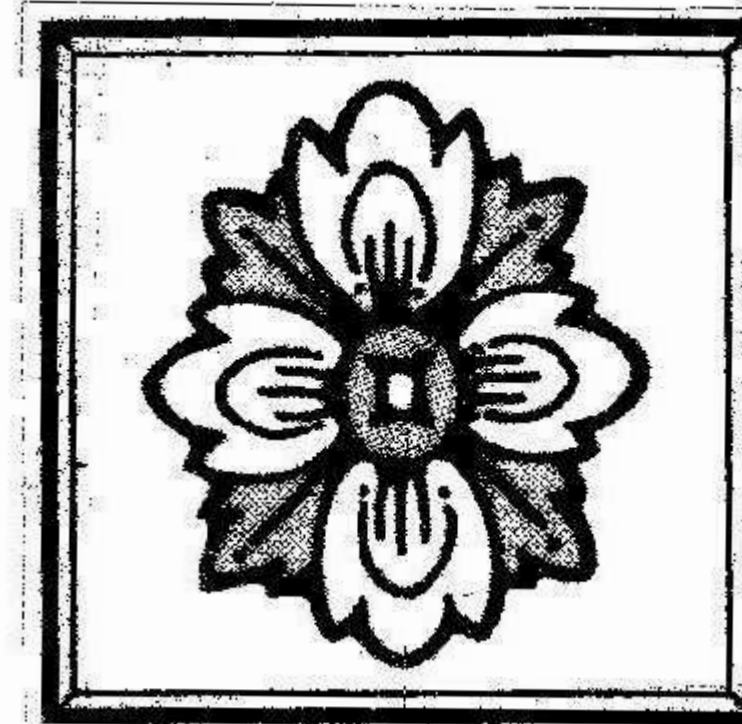


RESIDENCE at

3114 R St. NW, Washington DC 20007



GARDEN DESIGN OGB CONCEPT REVIEW SUBMISSION

OCTOBER 17, 2024

PROJECT DESCRIPTION

This is a garden renovation project to include the following:

1. Along the Alley, remove fence and replace with brick wall and wood gate.
2. At garage, repair-replace concrete pad with permeable pavers
3. New stone retaining wall and steps for various levels of the garden
4. Repair and replace patio in lower garden between house and garage
5. Repair-replace pathways in garden
6. New fountains w/ decorative wall and water spouts
7. Realign staircase from rear covered porch to garden
8. Wood screen around existing HVAC units
9. Repair-replace existing iron fencing/gate at front of property and off front porch.
10. Repair/replace/relocate iron fence at front porch
11. New iron trellises
12. Repair-replace wood fencing + gates

PROPERTY INFORMATION

OWNER: MARGARET AND CHRISTIAN CLERC
 ADDRESS: 3114 R ST. NW, WASHINGTON DC 20007
 SQUARE: 1281
 LOT: 0036

PLANS PREPARED BASED ON THE FOLLOWING BUILDING CODES

2013 DISTRICT OF COLUMBIA BUILDING CODE
 2013 DISTRICT OF COLUMBIA GREEN CONSTRUCTION CODE
 2013 DISTRICT OF COLUMBIA MAINTENANCE CODE
 THE DCM12B
 TITLE 12 DCMR DC CONSTRUCTION CODES SUPPLEMENT (2013)
 2012 ICC RESIDENTIAL CODE FOR ONE-AND TWO FAMILY DWELLINGS
 2012 ICC FUEL GAS CODE
 2012 NATIONAL ELECTRICAL CODE
 2012 ICC PLUMBING CODE
 2012 ICC ENERGY CONSERVATION CODE

SHEET

SHEET TITLE

L000	Cover Sheet
L001	Existing Site Survey
L002	Existing Site Photos
L003	Demolition Plan
L004	Illustrative Plan
L005	Materials and Layout Plan
L006	Grading Plan
L007	Wood Staircase Covered Porch to Garden
L008	Masonry Wall and Step Details
L009	Perimeter Wall and Fence Elevations
L010	Wood Details
L011	Paving Details
L012	Fountain Elevations and Sections - Upper Garden
L013	Fountain Elevations and Sections - Lower Garden
L014	Iron Fence and Gate Elevations
L015	Garden Gate Elevations and Details
L016	Iron Trellis Elevations

CONSULTANTS

LANDSCAPE ARCHITECT

DCA LANDSCAPE ARCHITECTS, INC.
 1315 WISCONSIN AVE NW
 WASHINGTON, DC 20007
 CONTACT: KATHY LANDIS
 OFFICE PHONE: 202-337-1160
 EMAIL: Kathy.Landis@dcalandarch.com

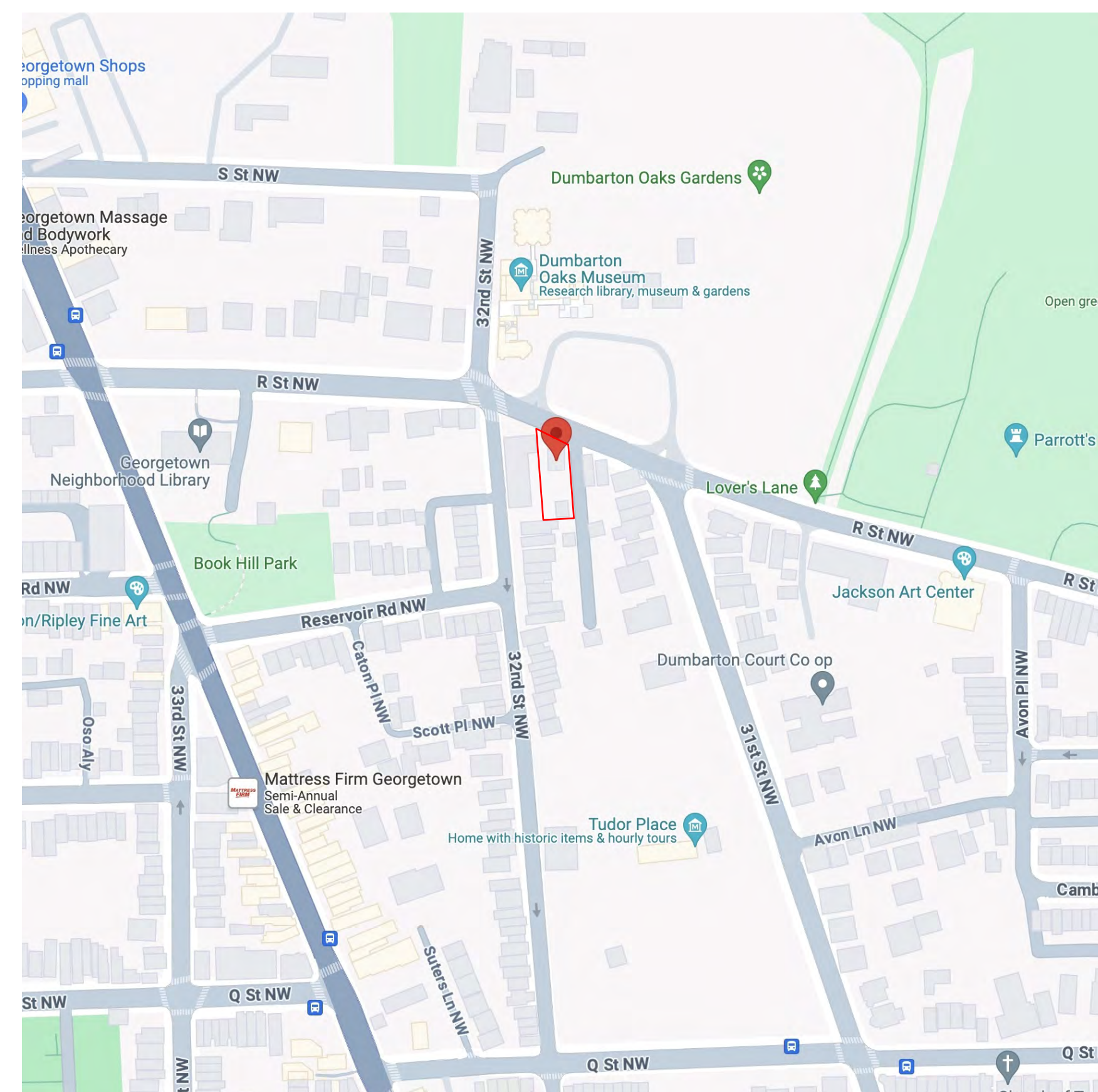
CIVIL ENGINEER

CAS ENGINEERING-DC, LLC
 4836 MACARTHUR BLVD NW
 2ND FLOOR
 WASHINGTON DC 20007
 CONTACT: DAVID LANDSMAN
 OFFICE PHONE: 202-393-7200

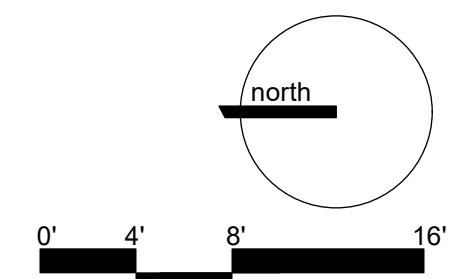
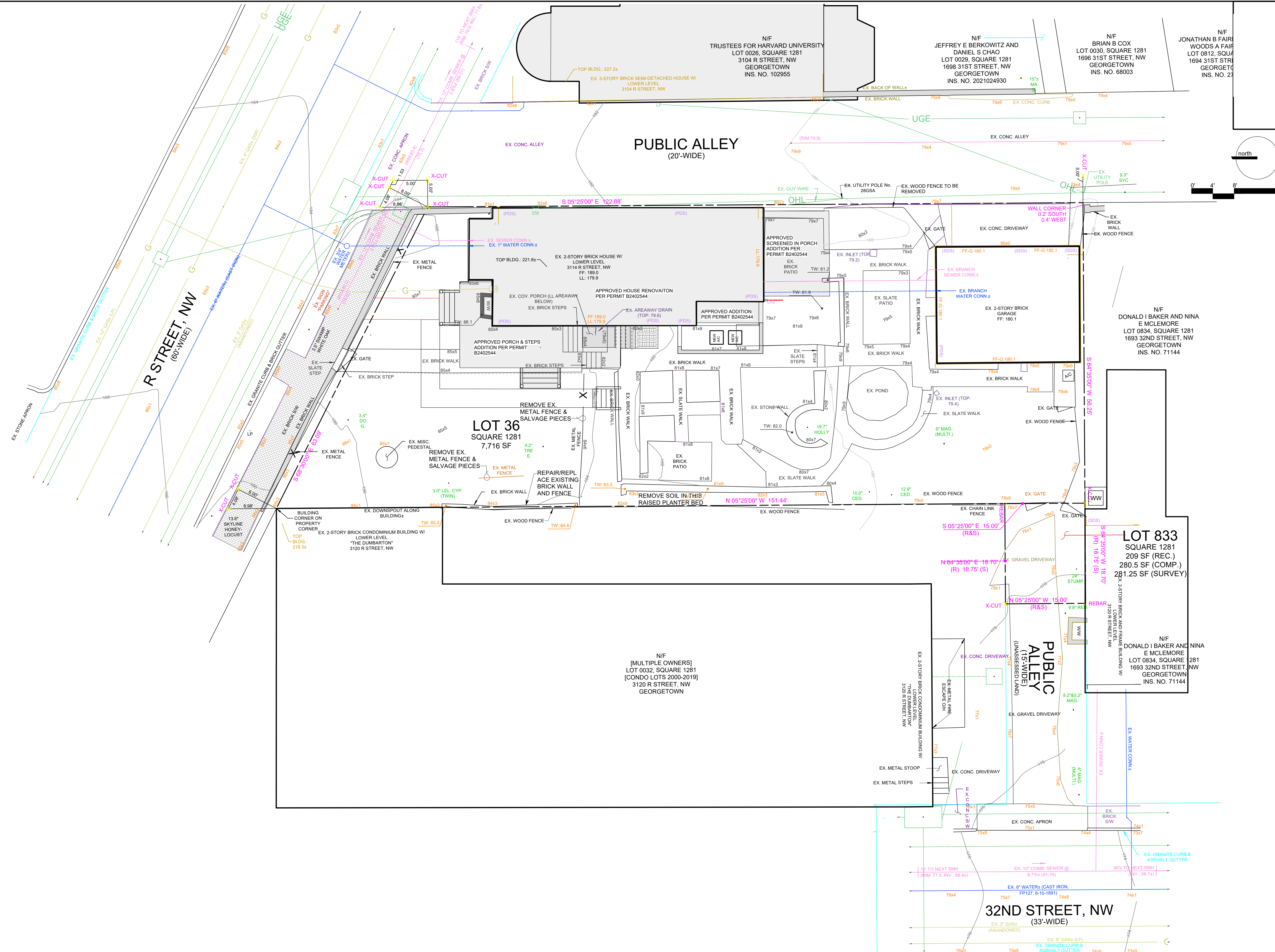
STRUCTURAL ENGINEER

COB ARCHITECTURAL ENGINEERS, LLC
 210 NORTH LEE STREET
 SUITE 210
 ALEXANDRIA, VA 22314
 CONTACT: DEAN TILLS
 OFFICE PHONE: 703-350-4151

VICINITY MAP



	Residence at 3114 R ST. NW Washington, DC, 20007	SCALE: DATE: 10/17/2024 REVISED:	L000	COVER SHEET DRAWN BY: DCA
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DCA Landscape Architects, Inc. 1315 Wisconsin Avenue, NW Washington, D.C. 20007 202/337-1160 (tel.) 202/337-4630 (fax)				

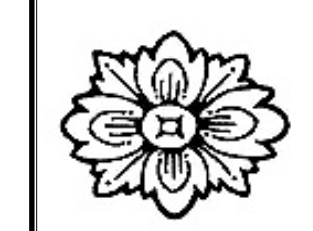


L001
 SCALE: 1/8" = 1' 0"
 DATE: 10/17/2024
 REVISED:

Residence at
 3114 R ST. NW
 Washington, DC, 20007
 Existing Site Survey

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View Looking Towards the House From Across the Street
(Prior to Start of House Renovation - Per permit number B2402544)



View Looking Towards The House From The Sidewalk
(Prior to Start of House Renovation)



View Looking From The House Towards R Street
(Prior to Start of House Renovation)



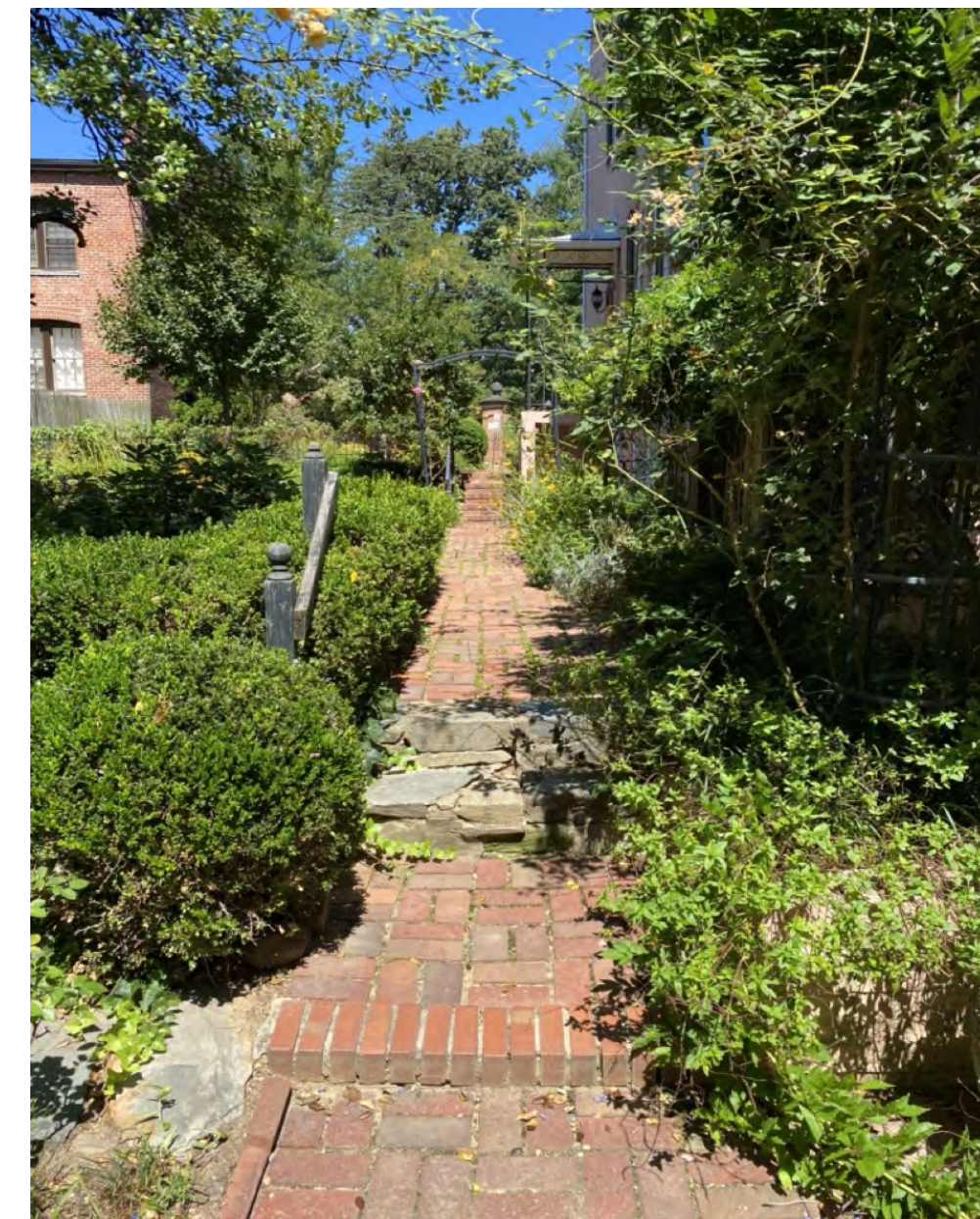
Existing Garden + View of Garage
(Prior to start of House Renovation)



Existing Garden With View of Condo Building on West Side of the Property
(Prior to Start of House Renovation)



Existing Steps (Prior to Start of House Renovation)



Existing Walkway and Steps
(Prior to Start of House Renovation)



Backyard - Lower Area



Existing Paved Terrace at Back of House
(Prior to Start of House Renovation)



Existing Paved Terrace Garage on Left
(Prior to Start of House Renovation)



Existing Fence and Backyard Gate, Garage on the Right Side of the Photo
(Prior to Start of House Renovation)



View of Garage and Concrete Pad and Gate From The Alley
(Prior to Start of House Renovation)



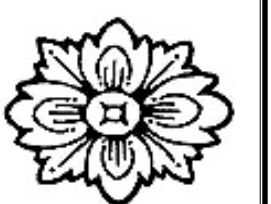
View of Existing Fence and Gate from the Alley on the Southeast Side
(Prior to Start of House Renovation)



Garden Extension Area on the Southeast Side,
View From Public Alley

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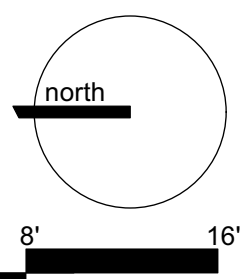
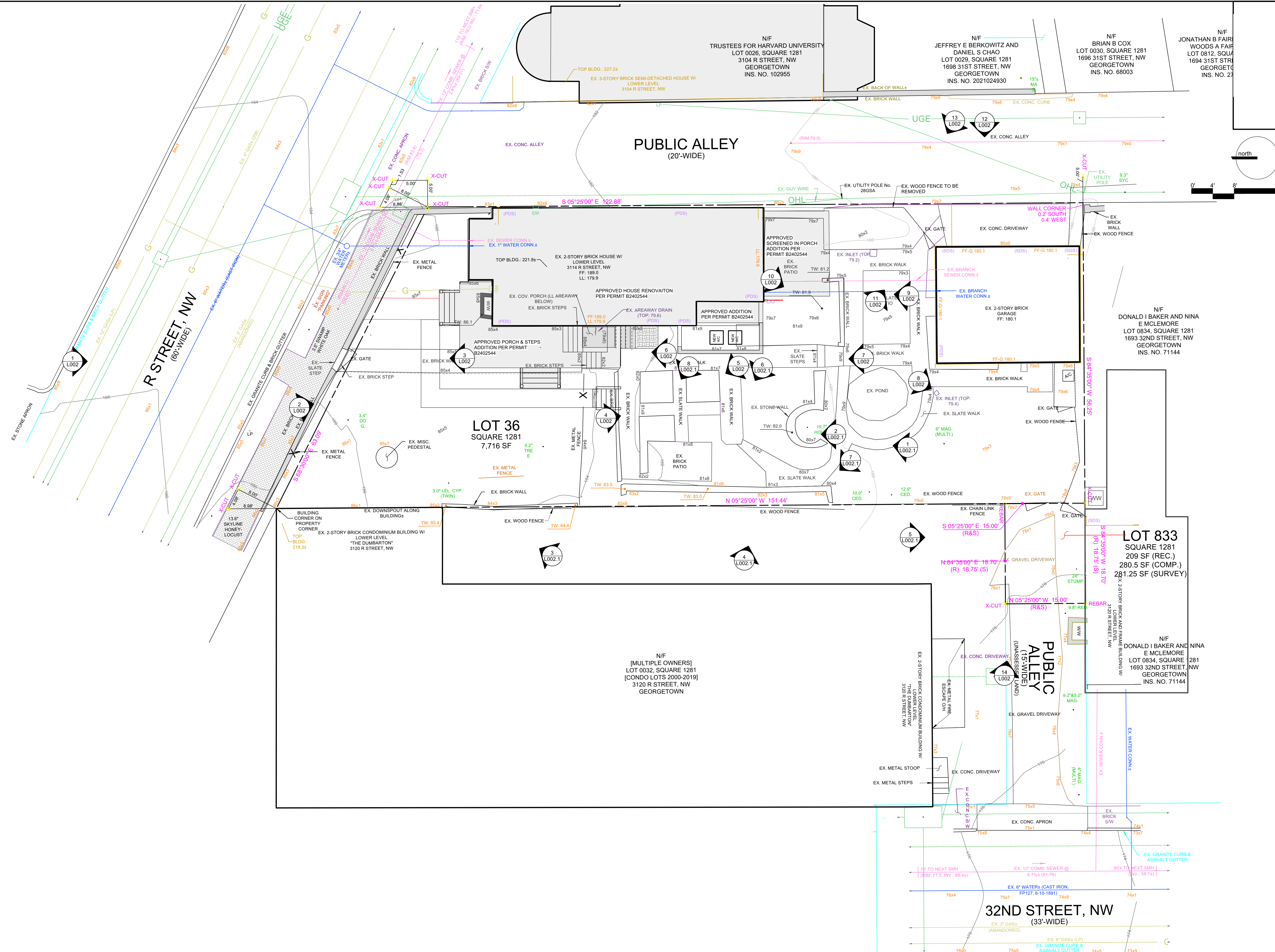
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Residence at
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Washington, DC, 20007
Existing Site Photos

SCALE:
DATE: 10/17/2024
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DCA

L002

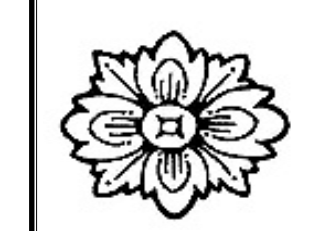


L001.1
 SCALE: 1/8" = 1'0"
 DATE: 10/17/2024
 REVISED: 10/29/2024
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Residence at
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 Existing Site Survey - Photo Plan

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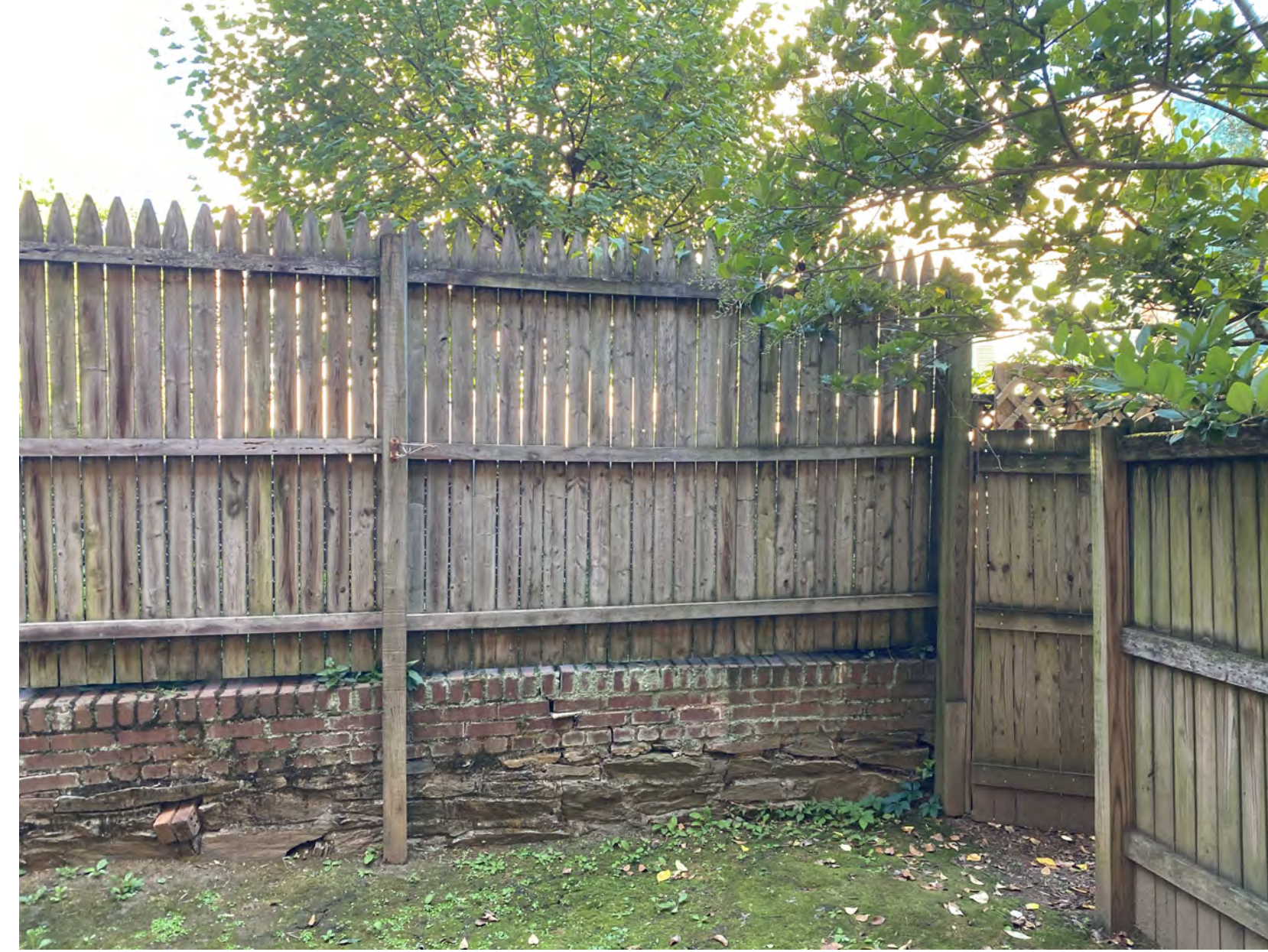
1. Existing stepping stones between pond and Holly



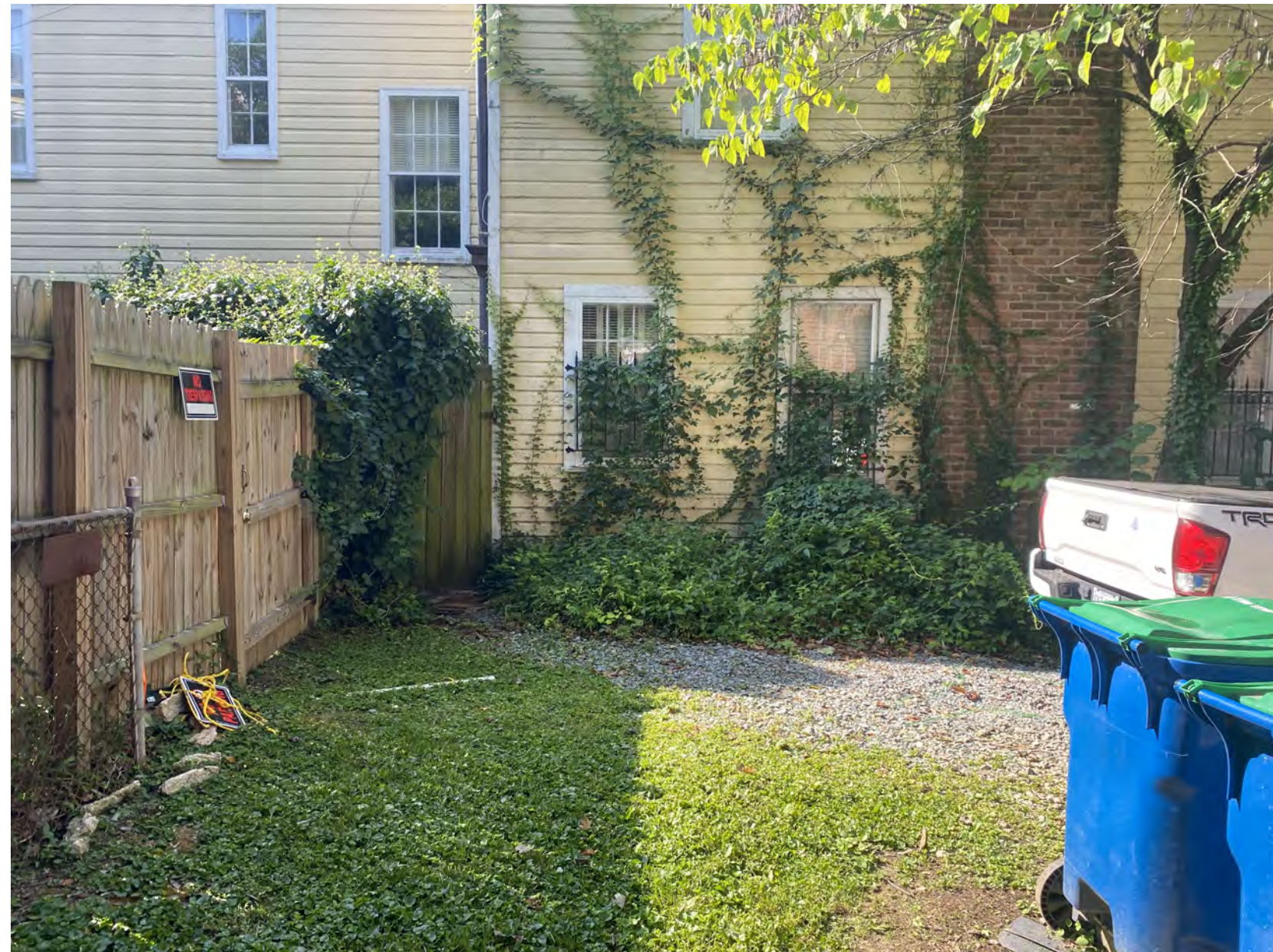
2. Existing low wall around Holly



3. Existing failing retaining wall at Condo building



4. Existing failing wall at Condo building



5. View of garden extension area



6. Low (+/-18") planting bed wall covered in Ivy



7. Low (+/-18") planting bed wall covered in Ivy



8. Photo of existing brick walk and wall



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Residence at
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Existing Site Photos Continued

SCALE: L002.1
DATE: 10/17/2024
REVISED: 10/29/2024
DRAWN BY: DCA



View Looking Towards the House From Across the Street
(Prior to Start of House Renovation - Per permit number B2402544)



View Looking Towards The House From The Sidewalk
(Prior to Start of House Renovation)



View Looking From The House Towards R Street
(Prior to Start of House Renovation)



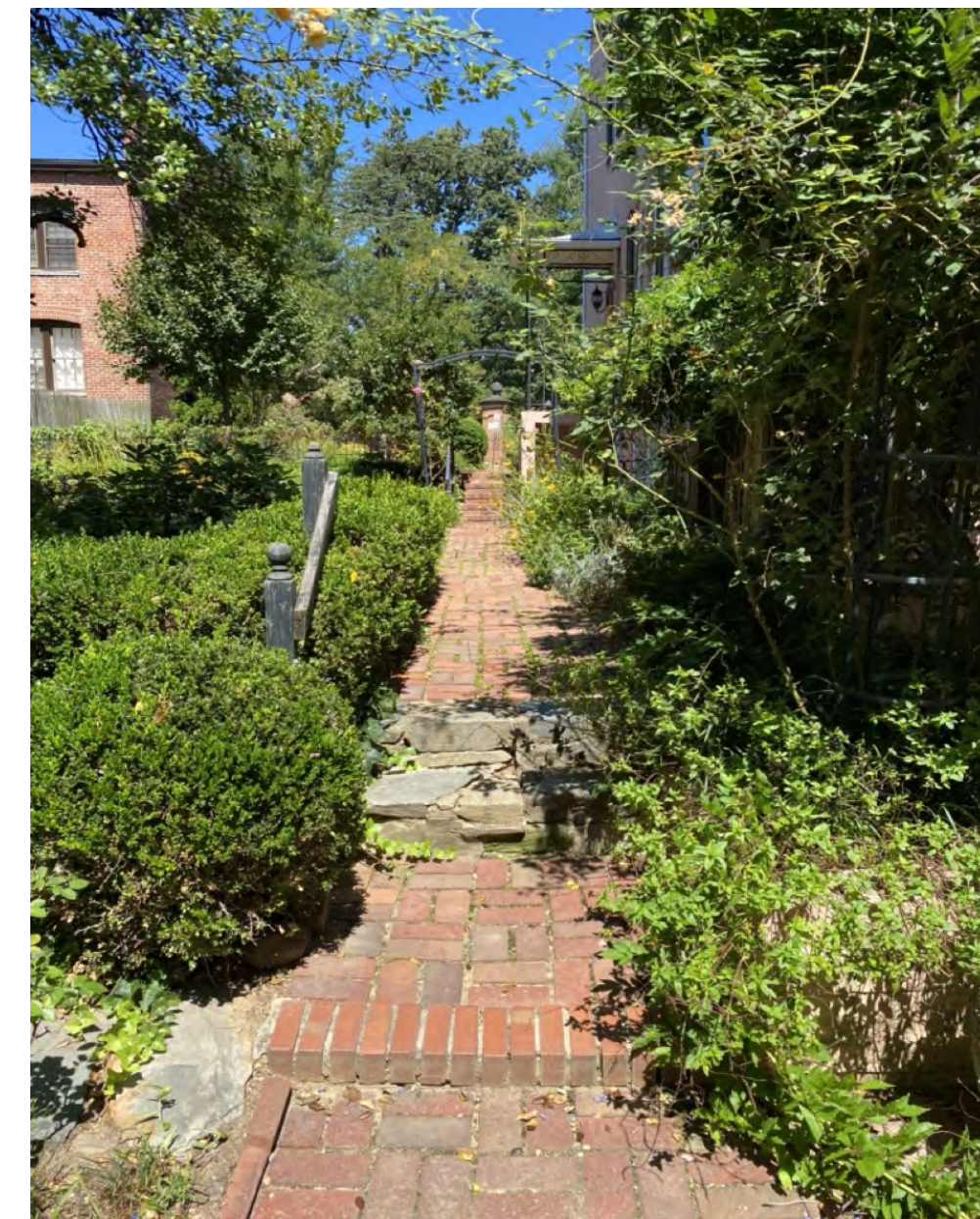
Existing Garden + View of Garage
(Prior to start of House Renovation)



Existing Garden With View of Condo Building on West Side of the Property
(Prior to Start of House Renovation)



Existing Steps (Prior to Start of House Renovation)



Existing Walkway and Steps
(Prior to Start of House Renovation)



Backyard - Lower Area



Existing Paved Terrace at Back of House
(Prior to Start of House Renovation)



Existing Paved Terrace Garage on Left
(Prior to Start of House Renovation)



Existing Fence and Backyard Gate, Garage on the Right Side of the Photo
(Prior to Start of House Renovation)



View of Garage and Concrete Pad and Gate From The Alley
(Prior to Start of House Renovation)



View of Existing Fence and Gate from the Alley on the Southeast Side
(Prior to Start of House Renovation)



Garden Extension Area on the Southeast Side,
View From Public Alley

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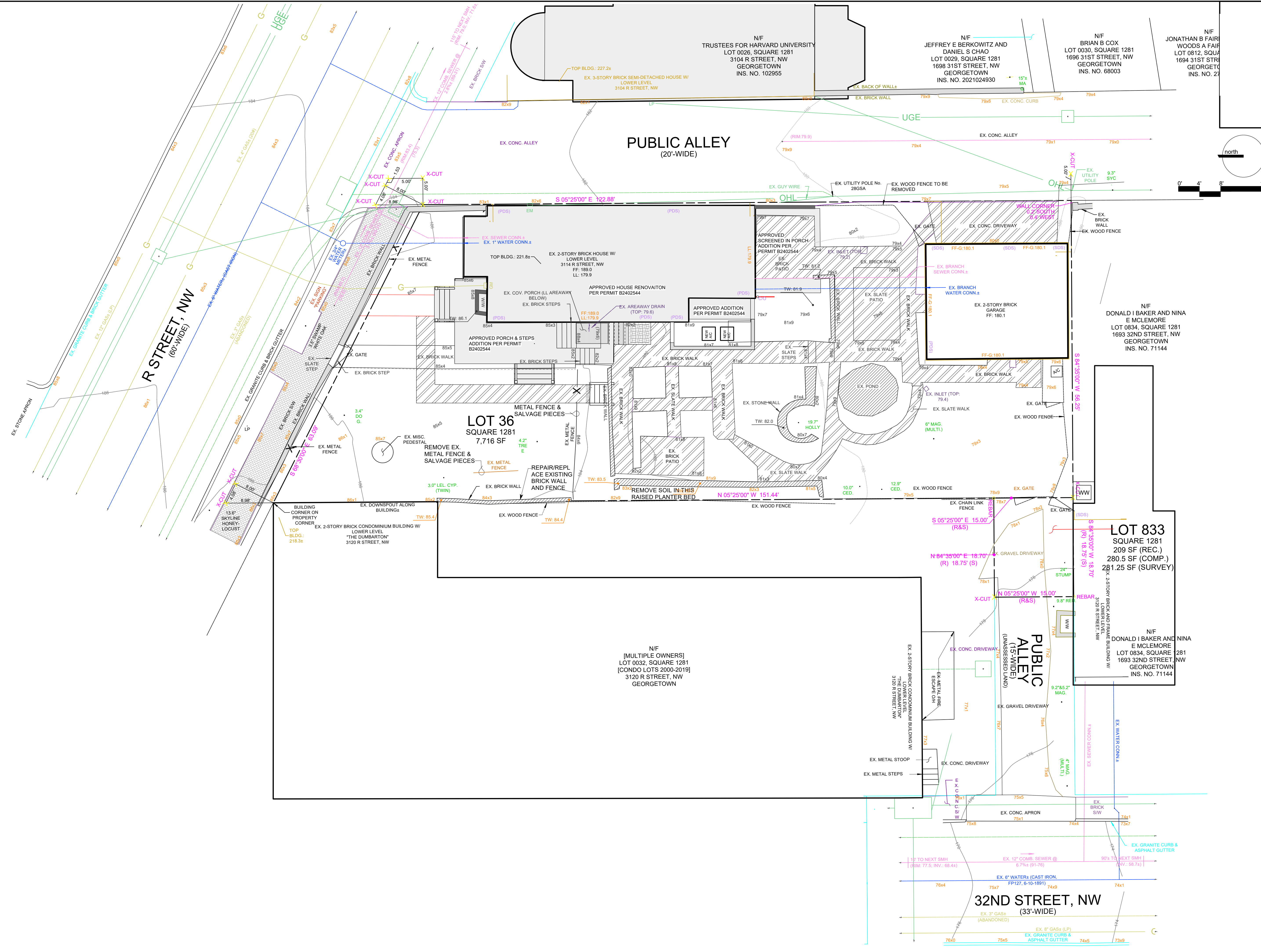


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Existing Site Photos

SCALE:
DATE: 10/17/2024
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DCA

L002

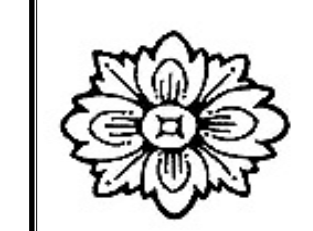


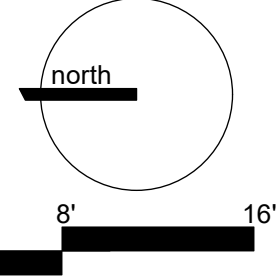
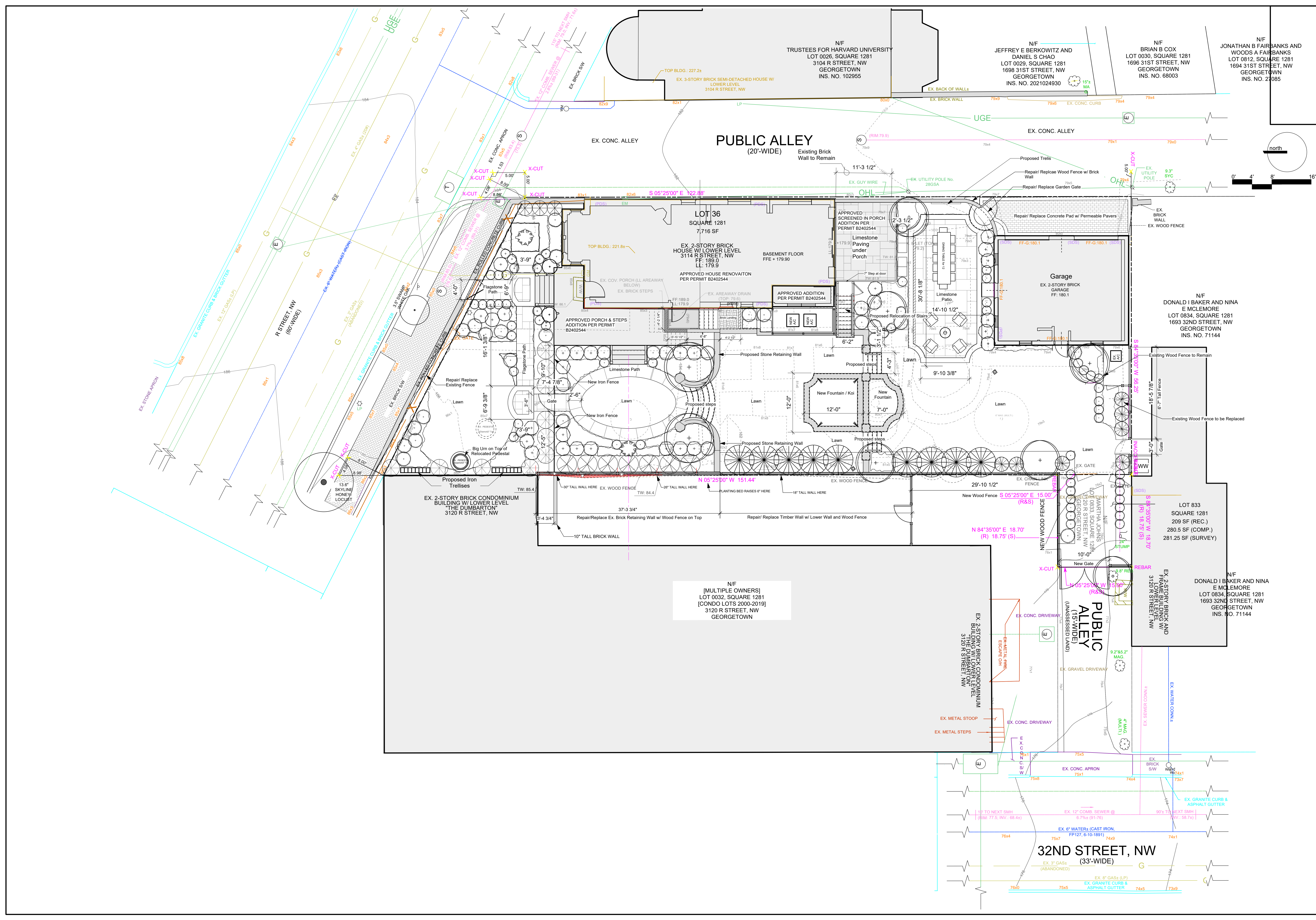
L003
 SCALE: 1/8" = 1' 0"
 DATE: 10/17/2024
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Residence at
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 Demolition Plan

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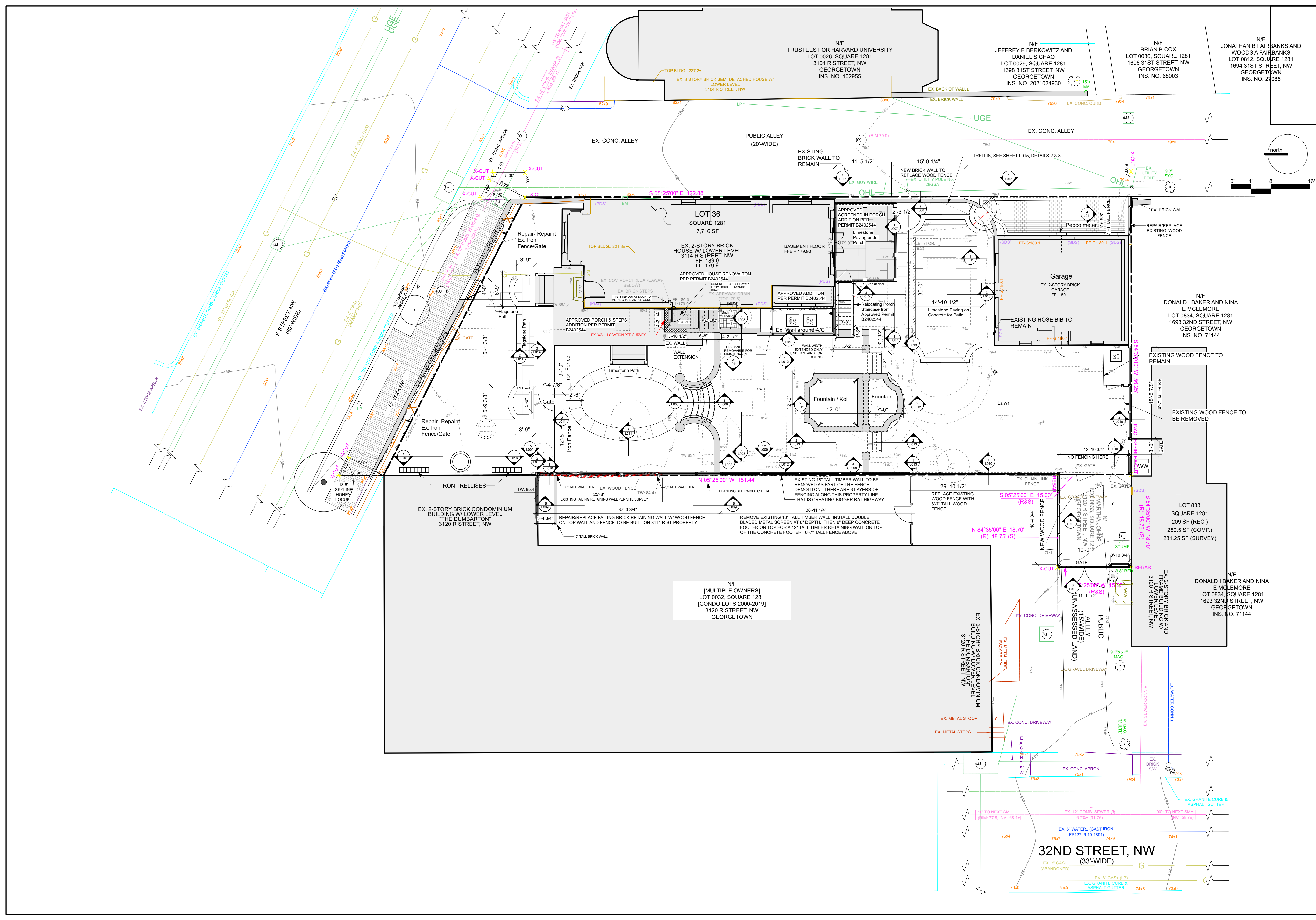
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 SCALE: 1/8" = 10'
 DATE: 10/17/2024
 REVISED:

Residence at
 3114 R ST. NW
 Washington, D.C. 20007
 Illustrative Plan

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Residence at
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Materials and Layout Plan

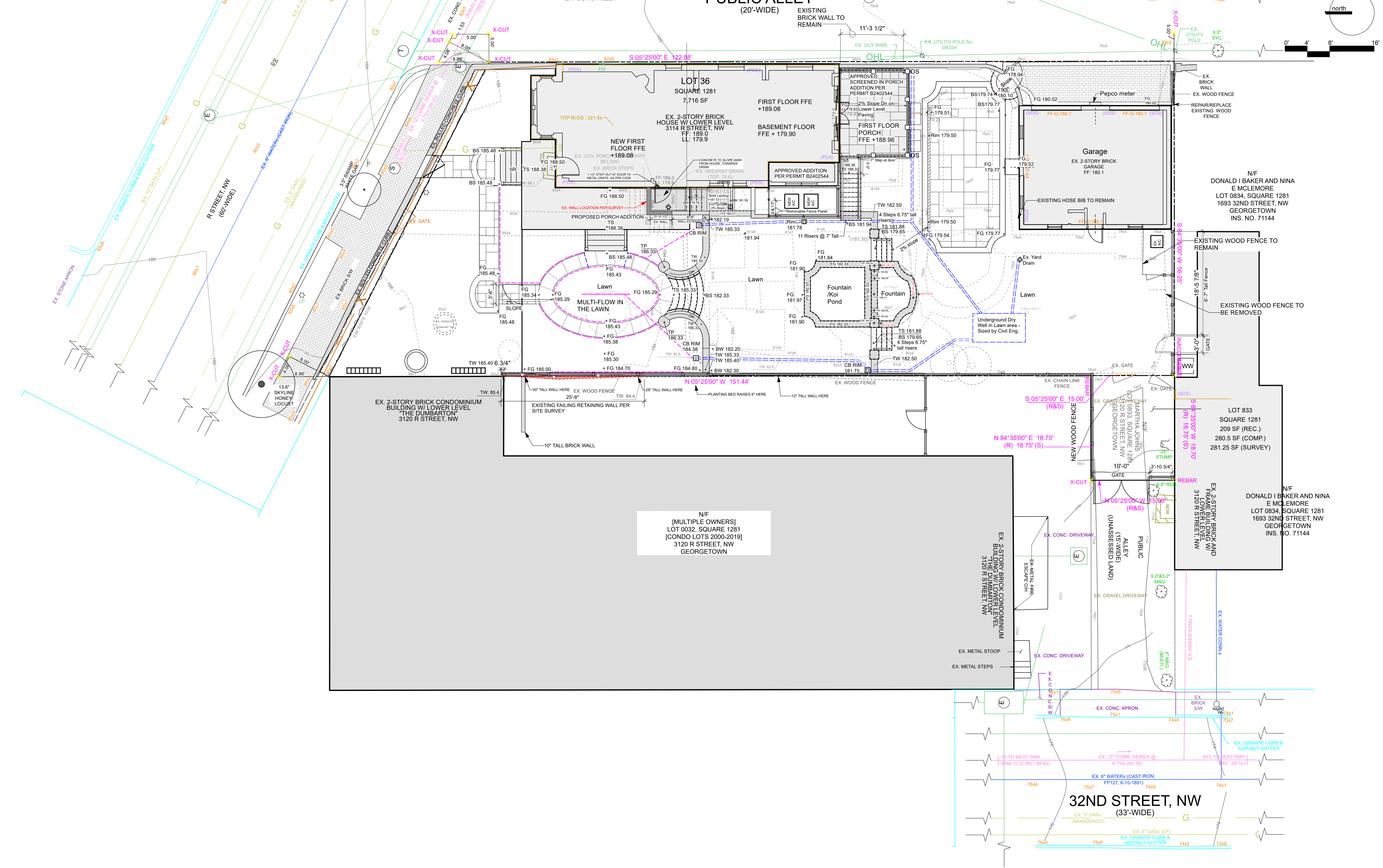
SCALE: 1/8" = 10'
DATE: 10/17/2024
REVISED:

L005
 DRAWN BY: DCA



GRADING LEGEND

- (235) EXISTING GRADE
- FFE FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- TW TOP OF WALL ELEVATION
- BW BOTTOM OF WALL ELEVATION
- TS TOP OF STEP
- BS BOTTOM OF STEP
- LP LOW POINT
- TP TOP OF PIER/COLUMN
- RIM TOP ELEVATION OF TRENCH DRAIN GRATE
- PROPOSED TRENCH DRAIN
- PROPOSED CATCH BASIN DRAIN
- PROPOSED UNDERGROUND PVC DRAIN LINE
- PROPOSED UNDERGROUND MULTI-FLOW DRAIN LINE



N/F
[MULTIPLE OWNERS]
LOT 0032, SQUARE 1281
[CONDO LOTS 2000-2019]
3120 R STREET, NW
GEORGETOWN

DCA Landscape Architects, Inc.
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L006
SCALE: 1/8" = 10'
DATE: 10/17/2024
REVISID:

Residence at
3114 R ST. NW
Washington, DC, 20007
Grading Plan

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DCA

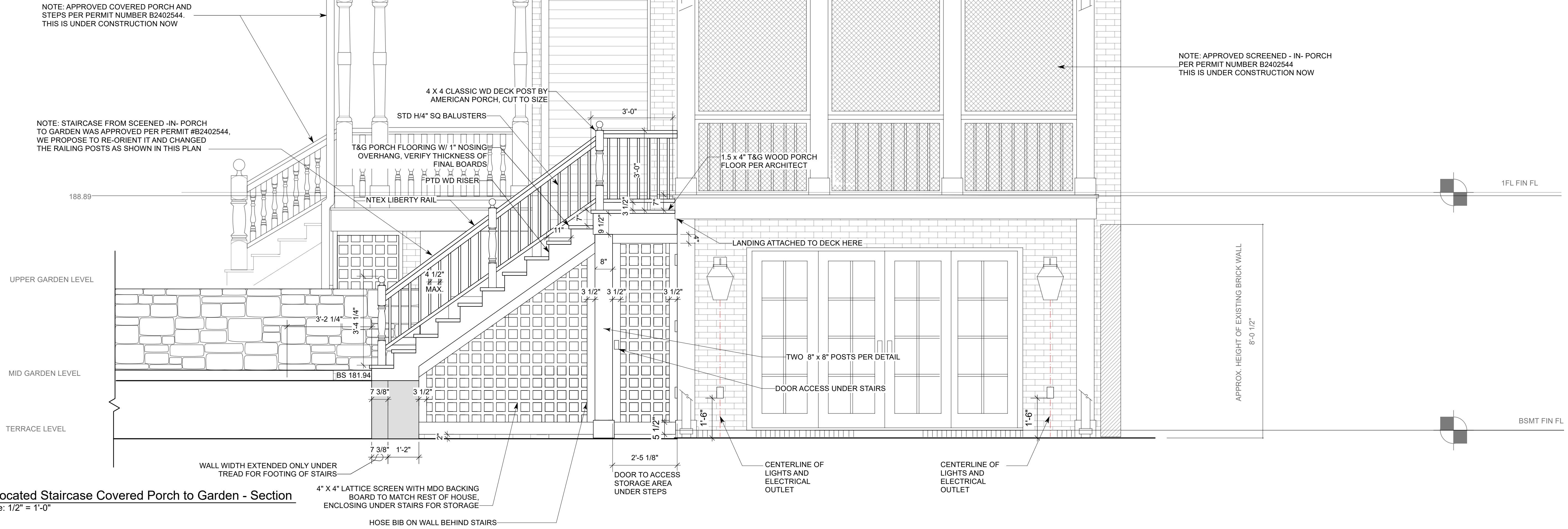
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NOTE: APPROVED COVERED PORCH AND STEPS PER PERMIT NUMBER B2402544. THIS IS UNDER CONSTRUCTION NOW

NOTE: STAIRCASE FROM SCREENED -IN- PORCH TO GARDEN WAS APPROVED PER PERMIT #B2402544. WE PROPOSE TO RE-ORIENT IT AND CHANGED THE RAILING POSTS AS SHOWN IN THIS PLAN

NOTE: APPROVED SCREENED - IN- PORCH PER PERMIT NUMBER B2402544 THIS IS UNDER CONSTRUCTION NOW



1 Relocated Staircase Covered Porch to Garden - Section
Scale: 1/2" = 1'-0"

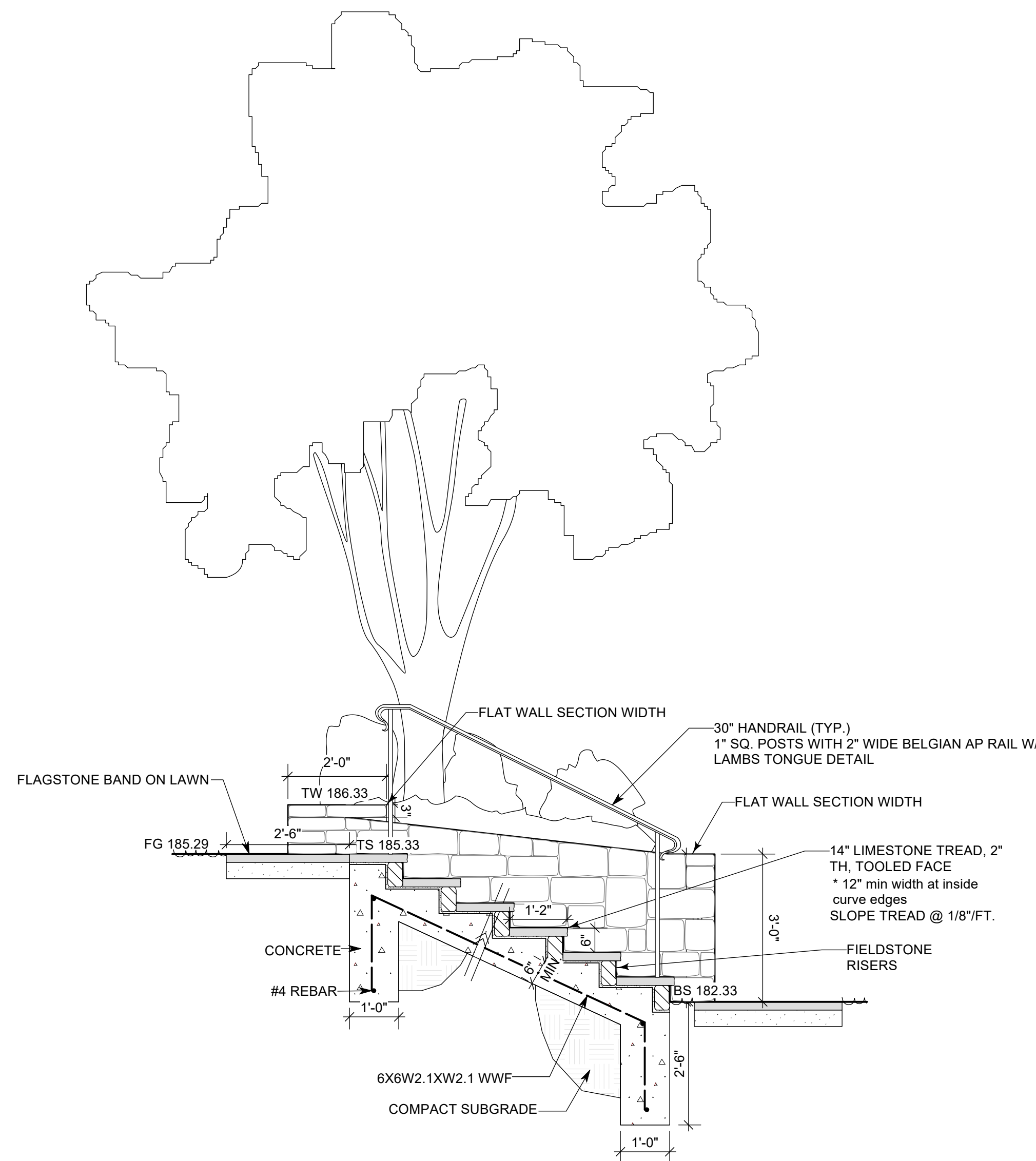
L007
SCALE: 1/2" = 1'-0"
DATE: 10/17/2024
REVISED:
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Residence at
3114 R ST. NW
Washington, DC, 20007
Wood Staircase Covered Porch to Garden

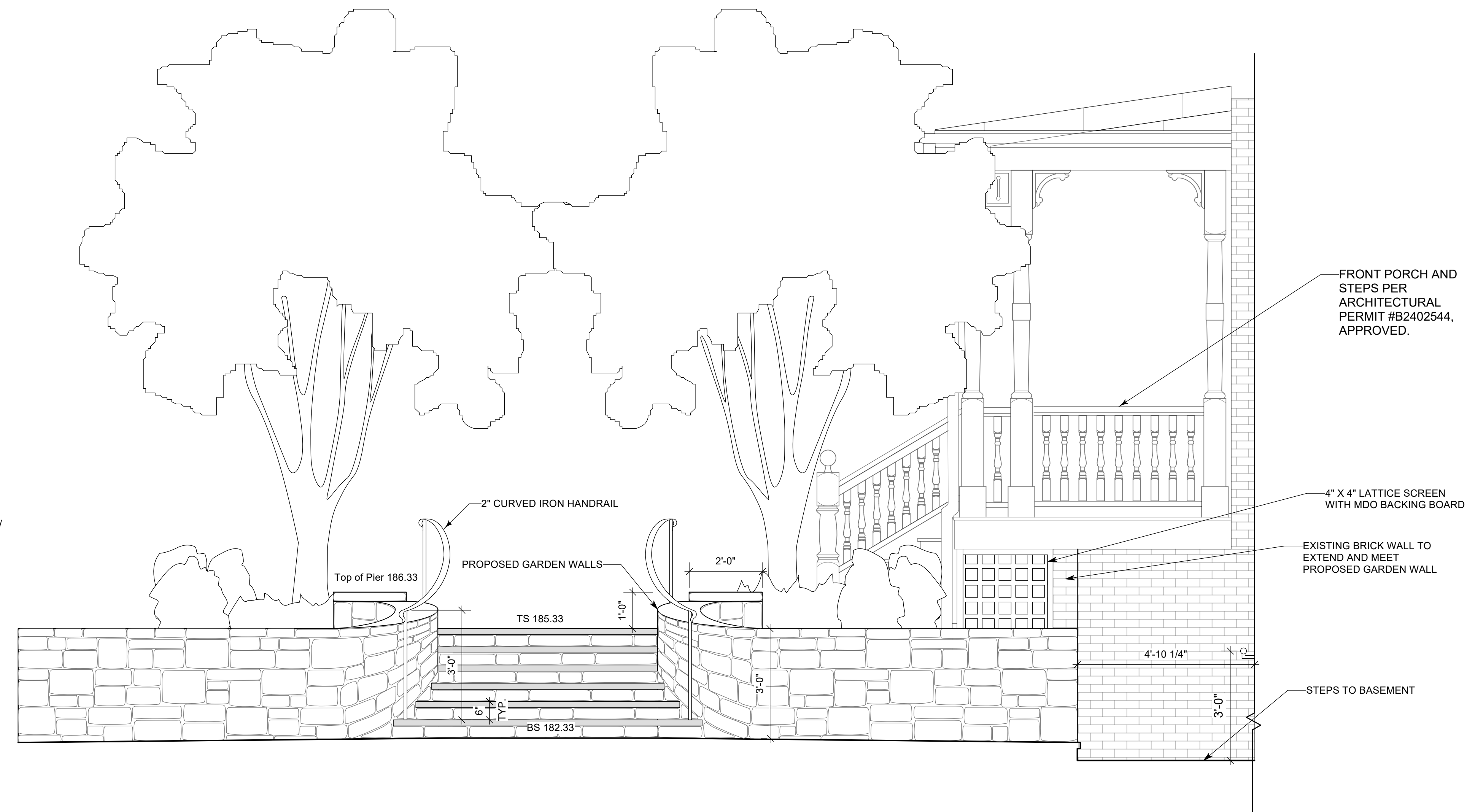
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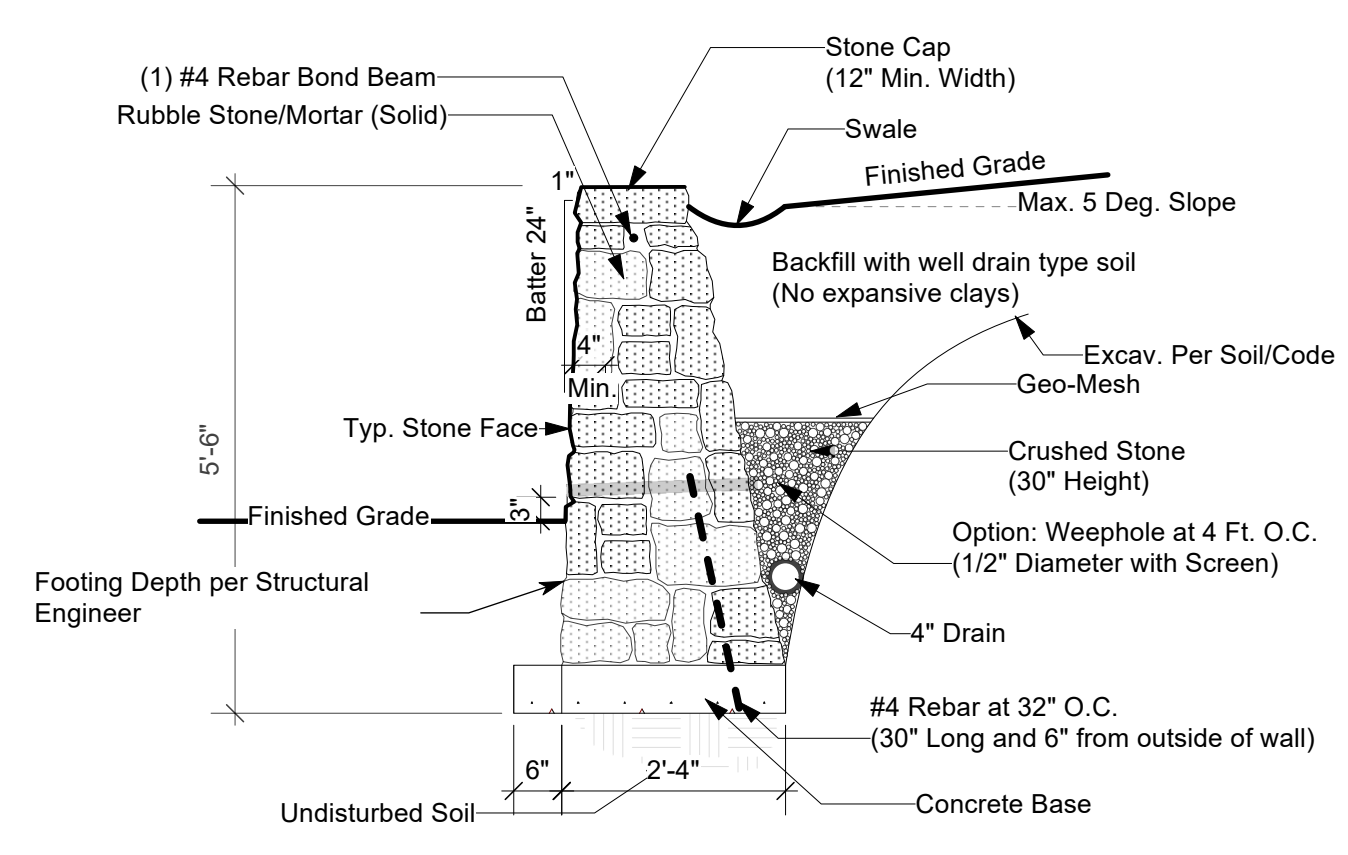




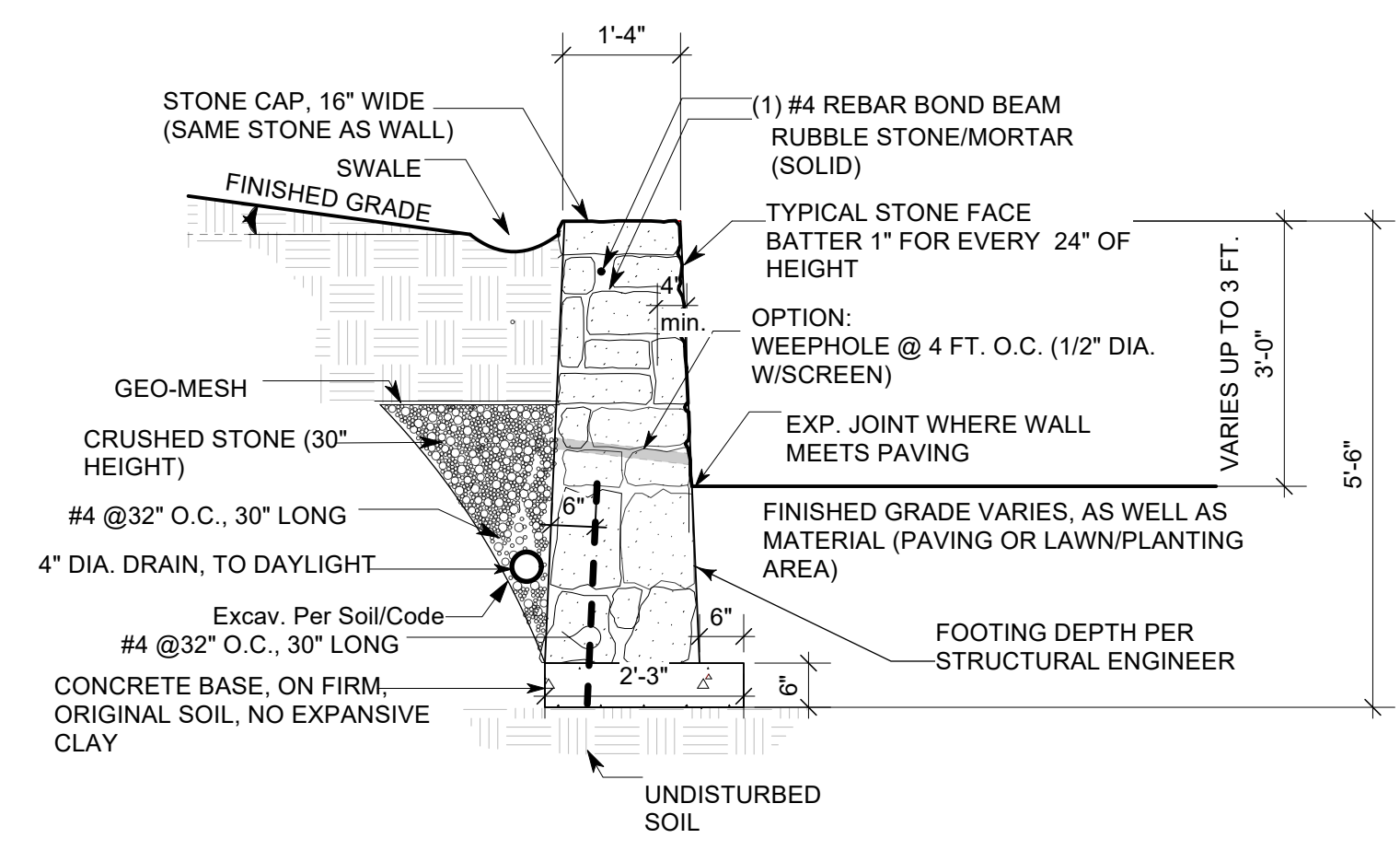
1 STEPS AT CURVED WALL - SECTION
Scale: 1/2" = 1'-0"



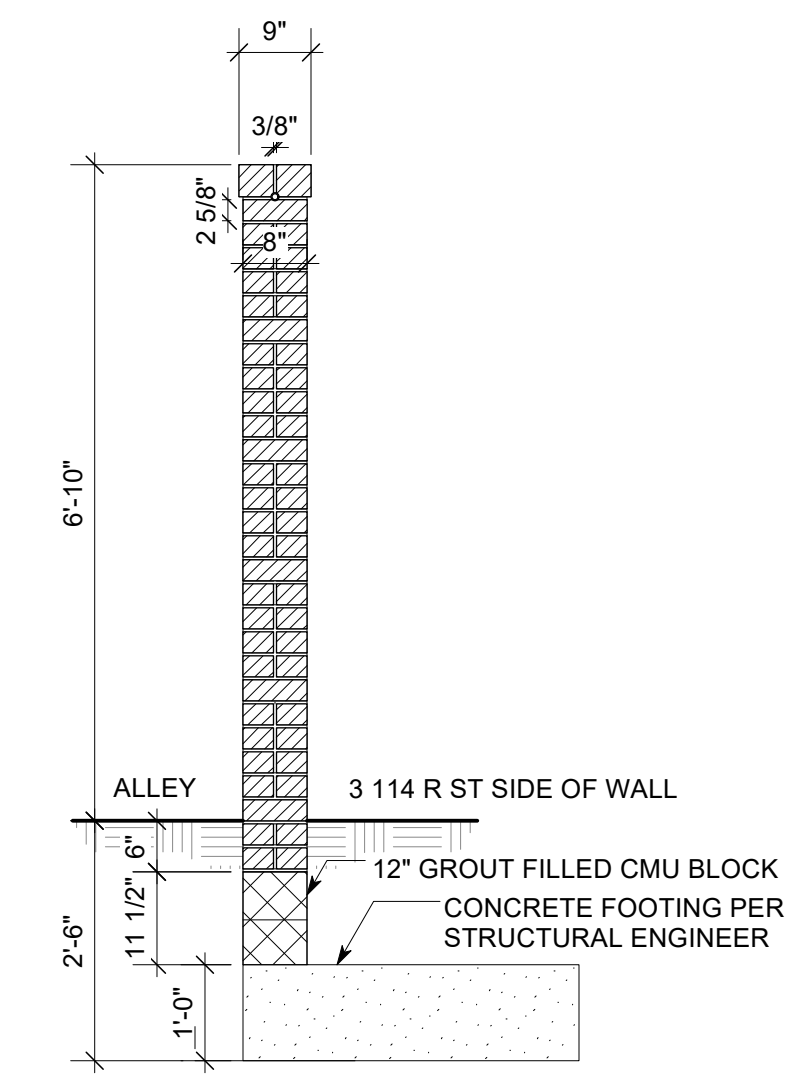
2 STEPS AT CURVED WALL ELEVATION
Scale: 1/2" = 1'-0"



3 3-5' STONE DRYSTACKED RETAINING WALL
Scale: 1/2" = 1'-0"



4 30" MAX. STONE DRYSTACKED RETAINING WALL
Scale: 1/2" = 1'-0"



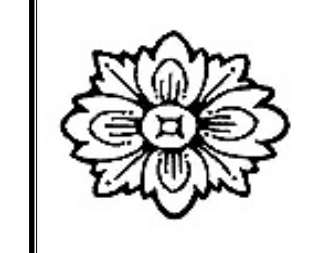
5 FREESTANDING BRICK WALL AT GARDEN GATE - SECTION
Scale: 1/2" = 1'-0"

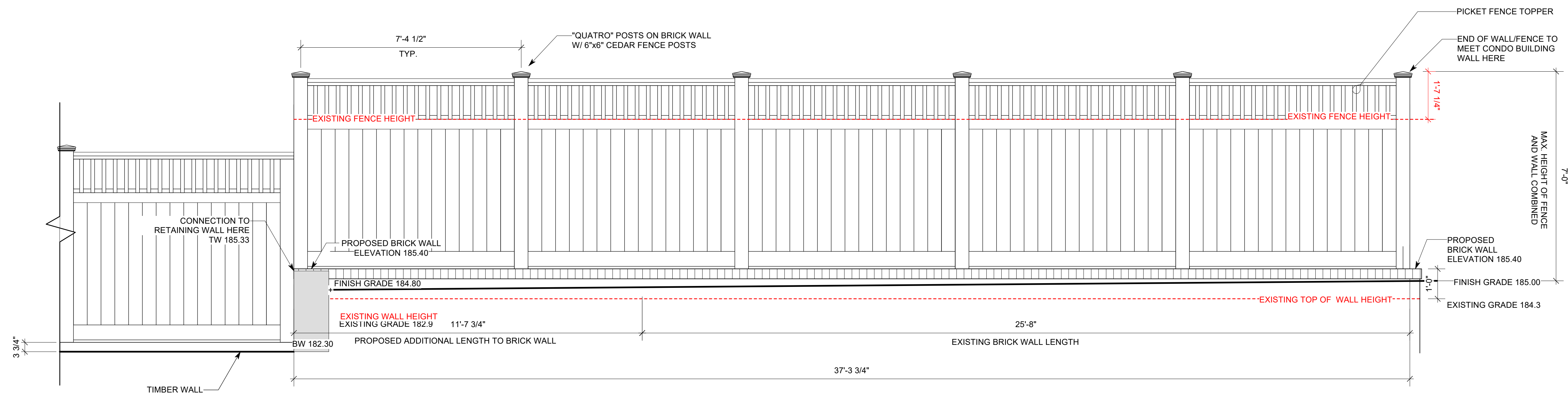
L008
SCALE: As Noted
DATE: 10/17/2024
REVISED:
DRAWN BY: DCA

Residence at
3114 R ST. NW
Washington, DC, 20007
Masonry Wall and Step Details

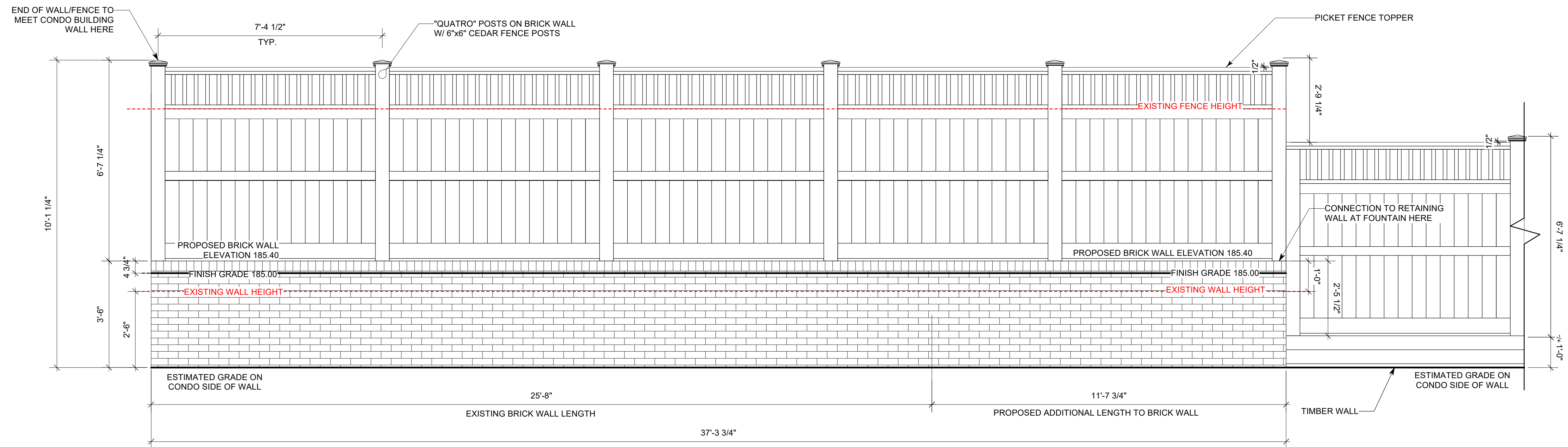
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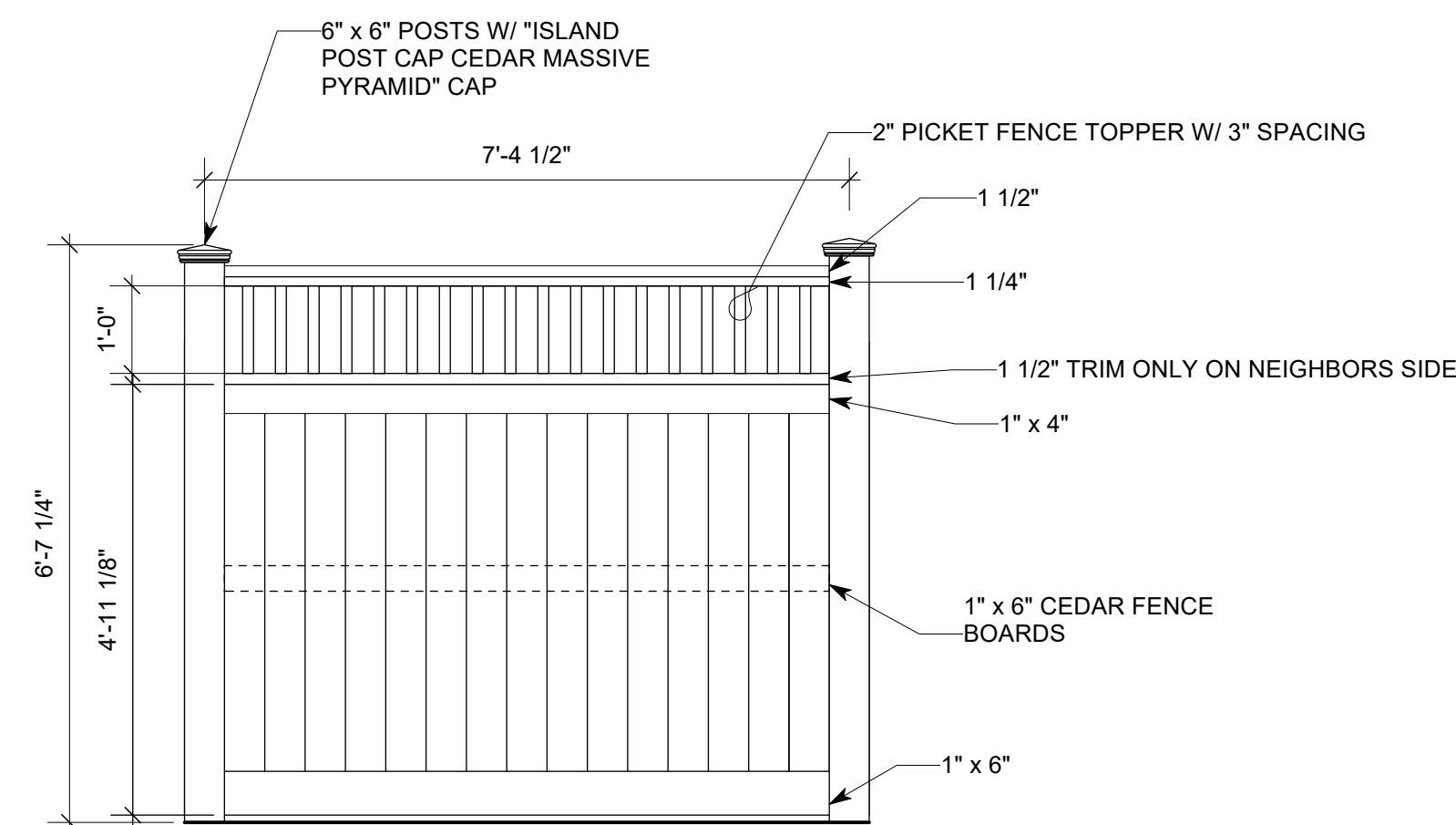




1A PROPOSED BRICK WALL AND WOOD FENCE AT CONDO BUILDING- VIEW FROM 3114 R ST. SIDE
Scale: 1/2" = 1'-0"



1B PROPOSED BRICK WALL AND WOOD FENCE AT CONDO BUILDING - VIEW FROM CONDO SIDE
Scale: 1/2" = 1'-0"



2 TYPICAL FENCE PANEL WITH PICKET TOPPER DETAIL
Scale: 1/2" = 1'-0"

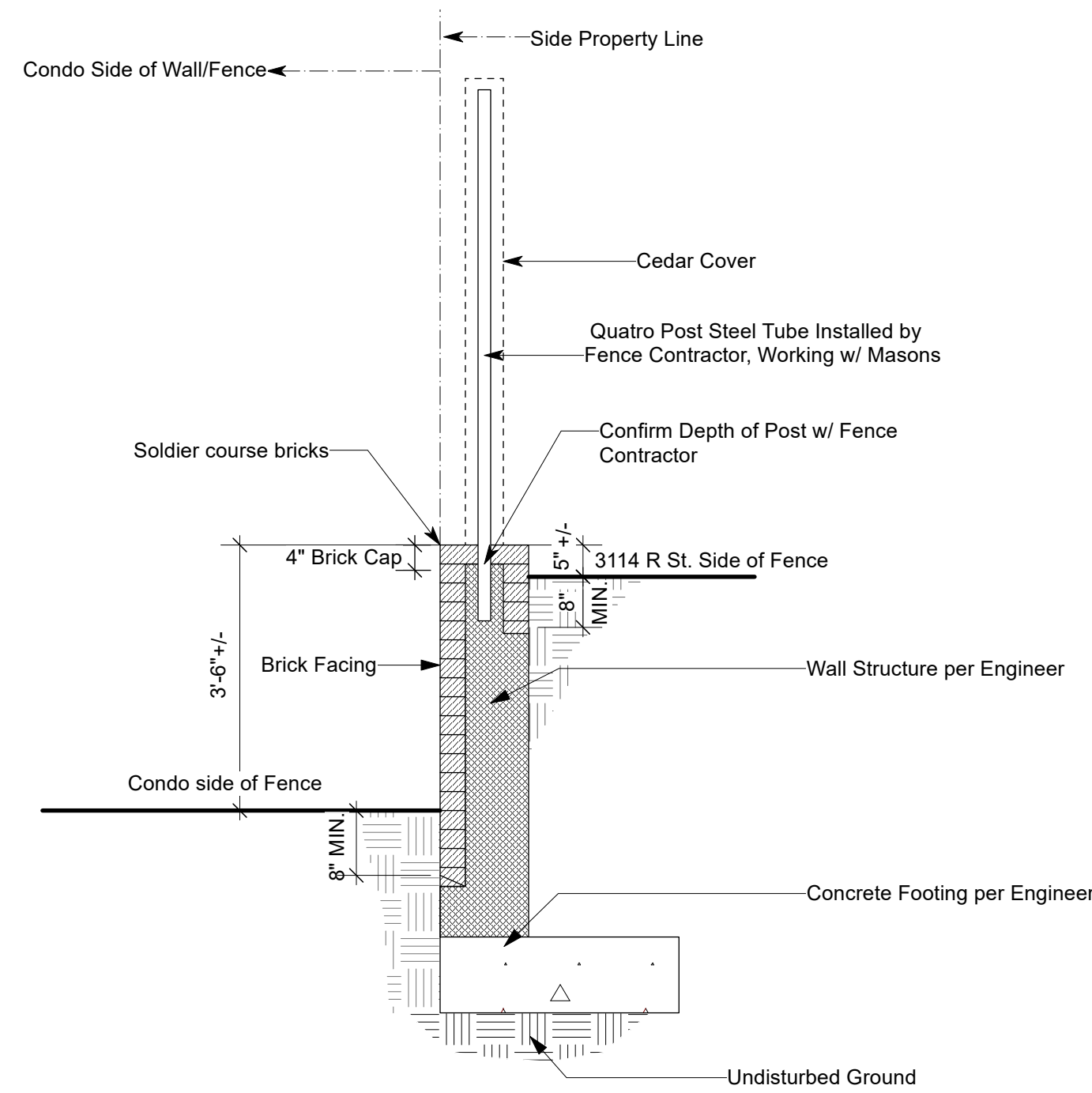
SCALE: As Noted
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REVISED:
DRAWN BY: DCA

Clerc Residence
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Washington, DC, 20007
Perimeter Wall and Fence Elevations and Details

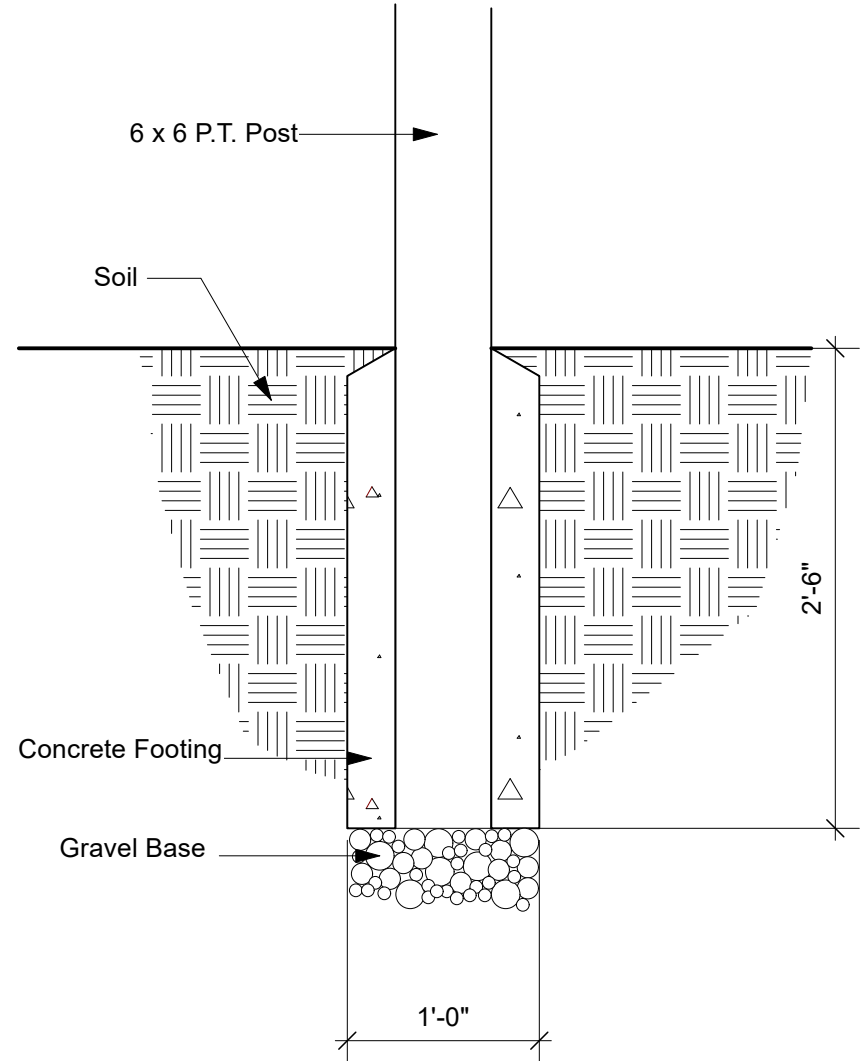
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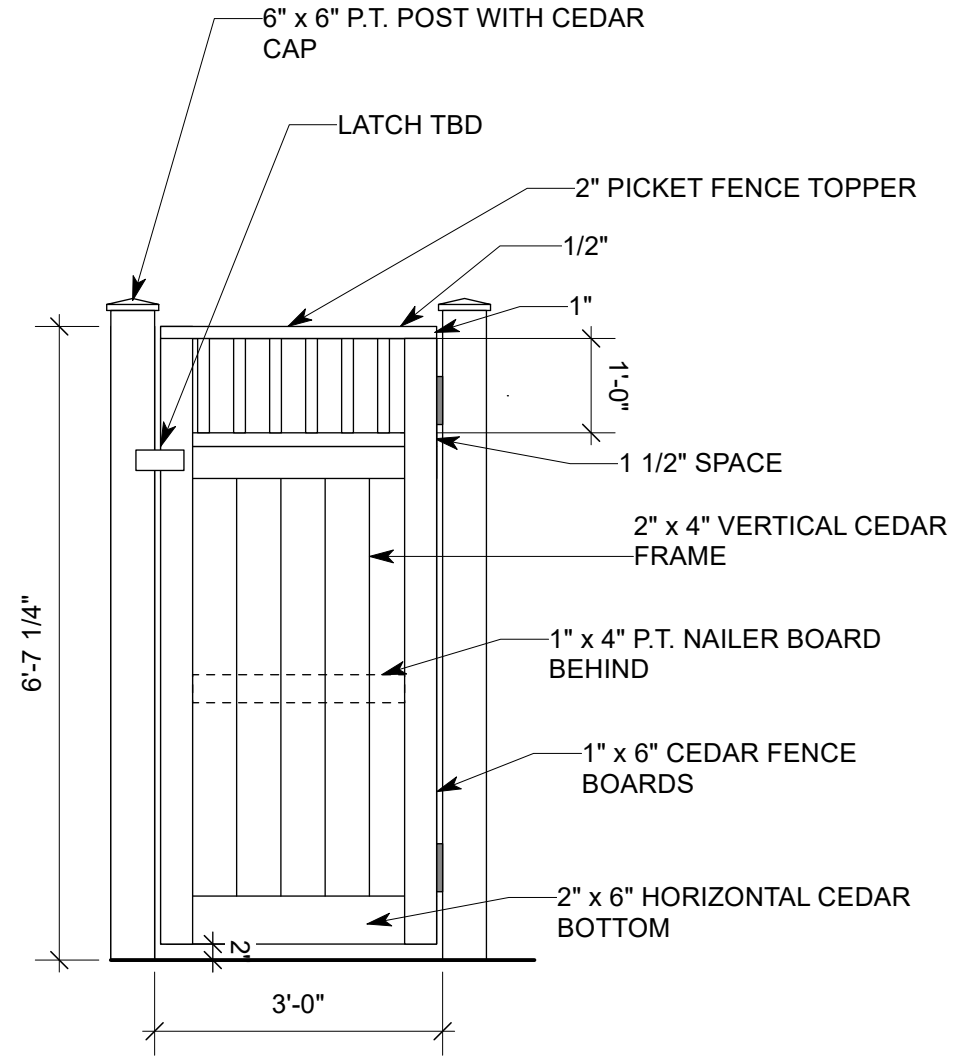




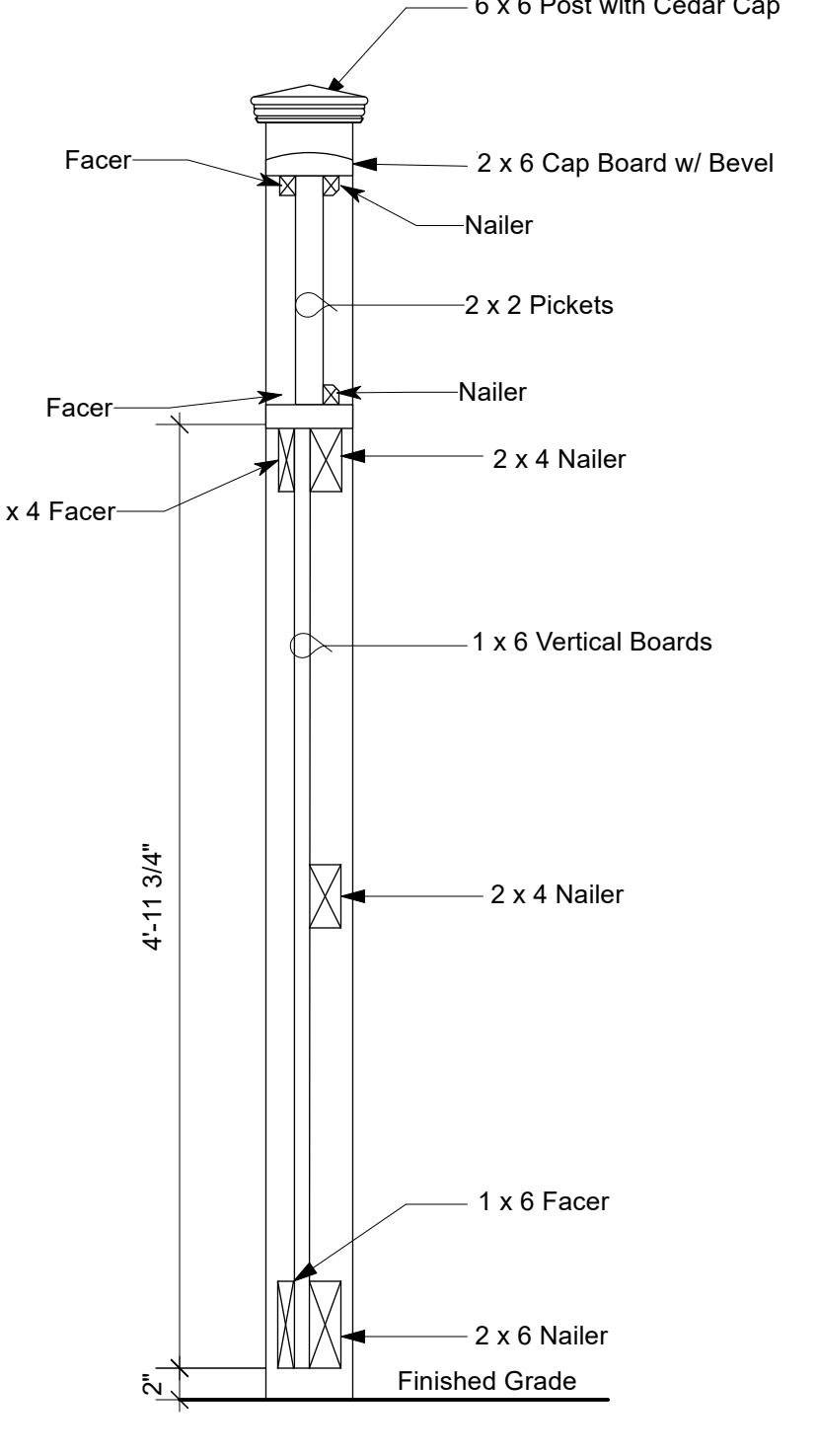
1 QUATTRO POST FOOTING ON BRICK RETAINING WALL
Scale: 1/2" = 1'-0"



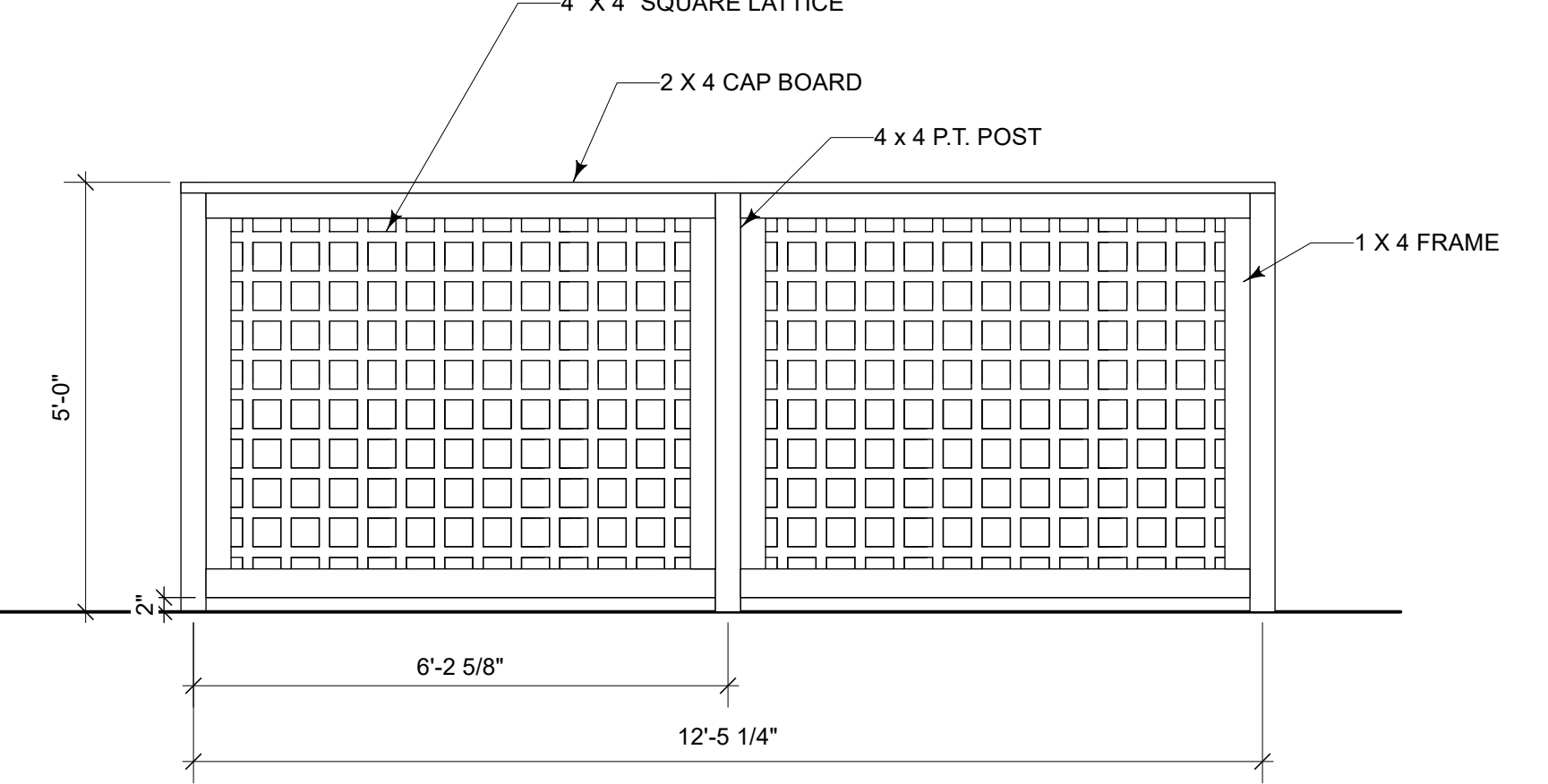
2 TYP. POST FOOTING
Scale: 1" = 1'-0"



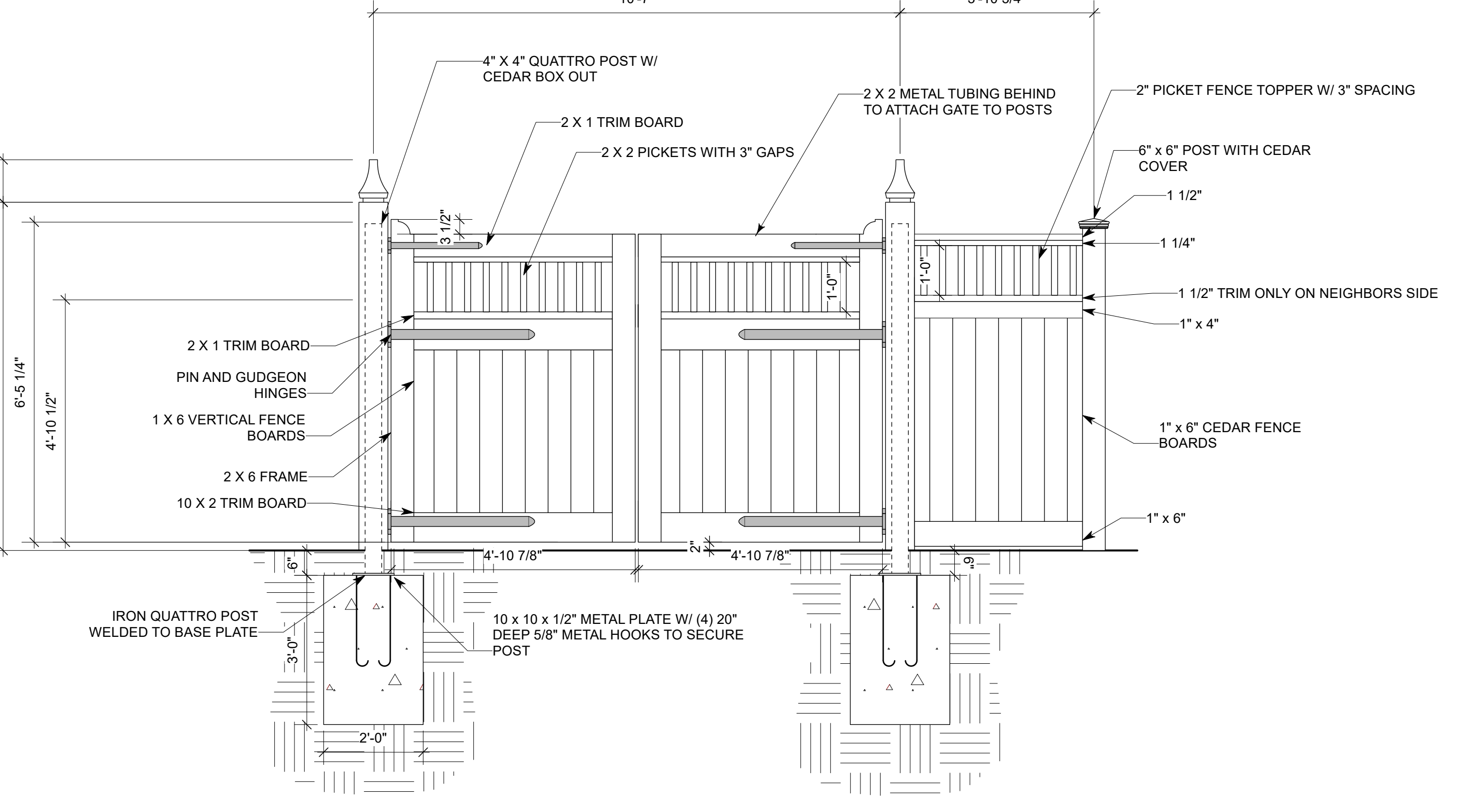
3 GATE WITH PICKET TOPPER DETAIL
Scale: 1/2" = 1'-0"



4 WOOD FENCE WITH PICKET TOPPER SECTION
Scale: 1" = 1'-0"



5 HVAC SCREENING DETAIL
Scale: 1/2" = 1'-0"



6 DOUBLE GATE DETAIL
Scale: 1/2" = 1'-0"

L010
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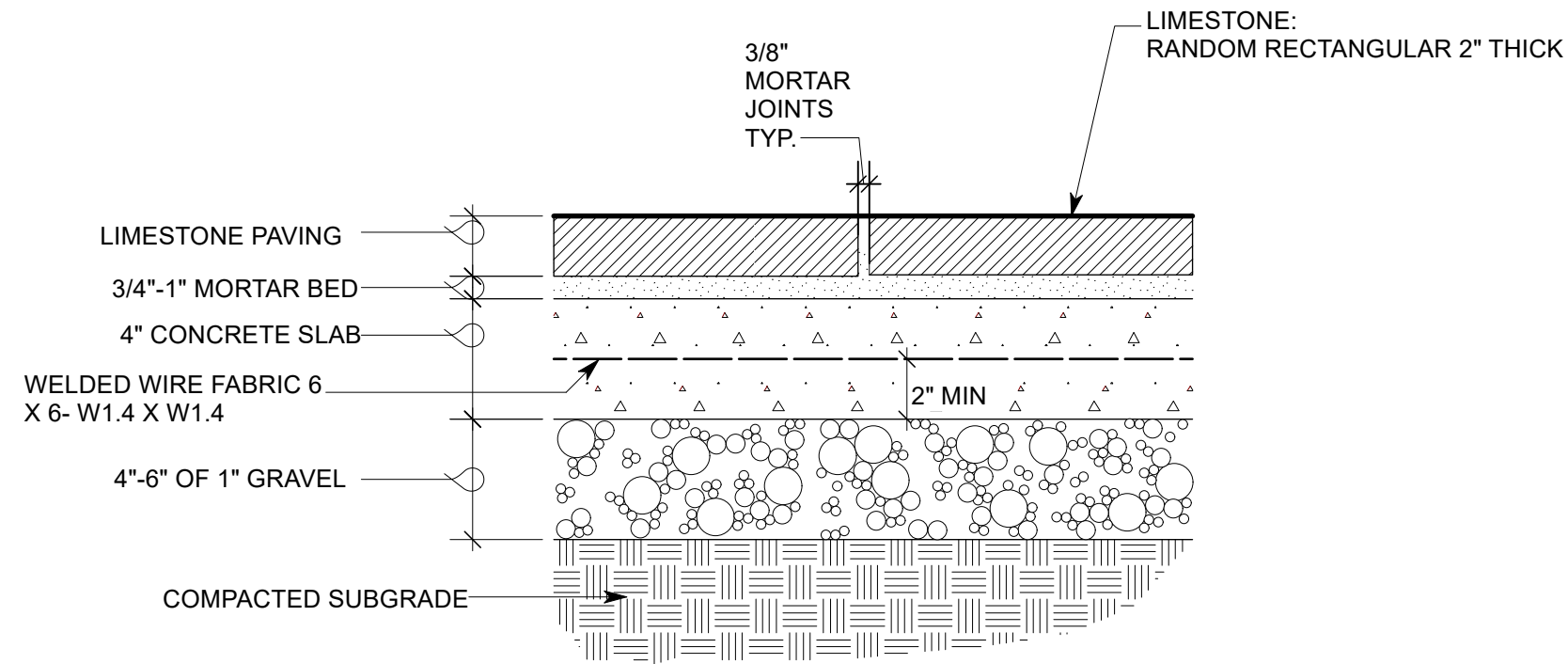
Residence at
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Wood Details

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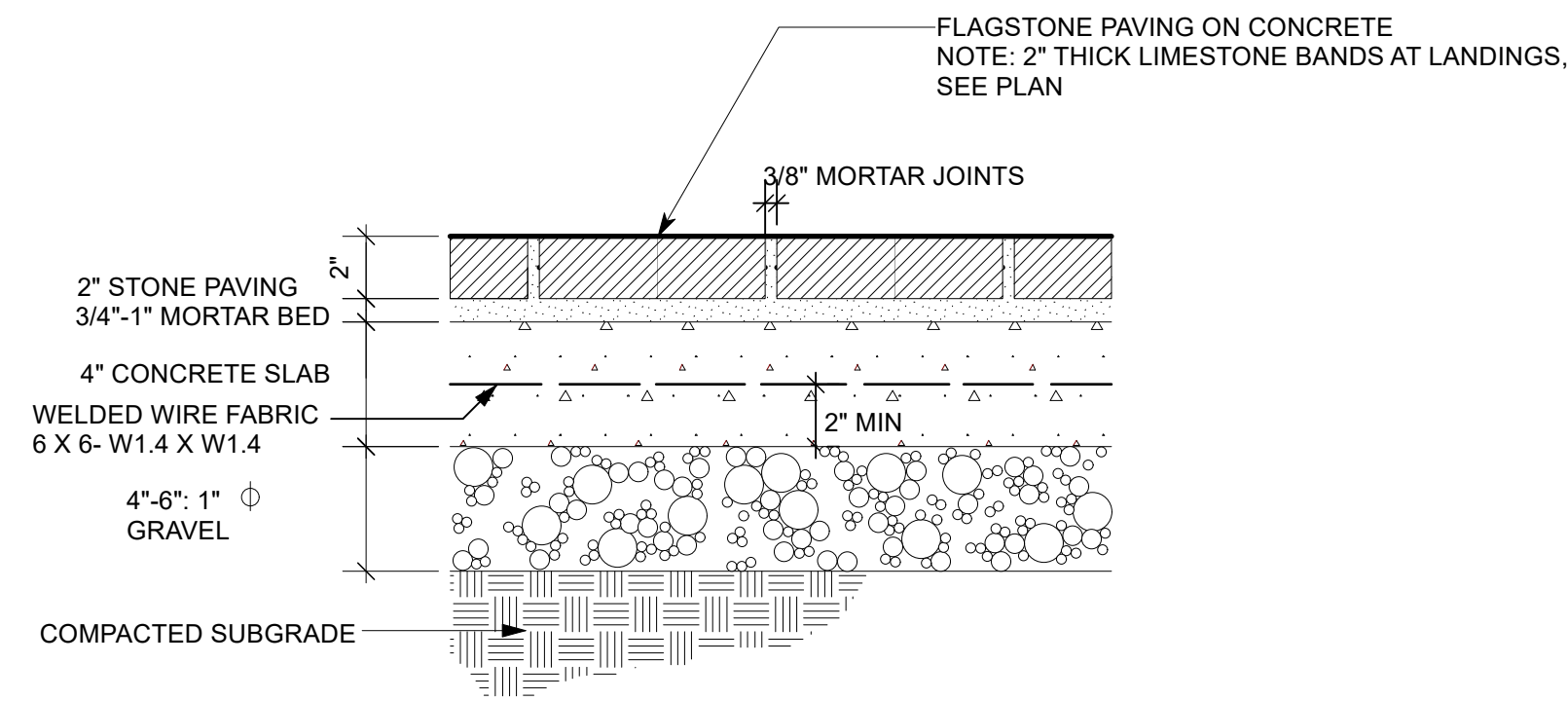
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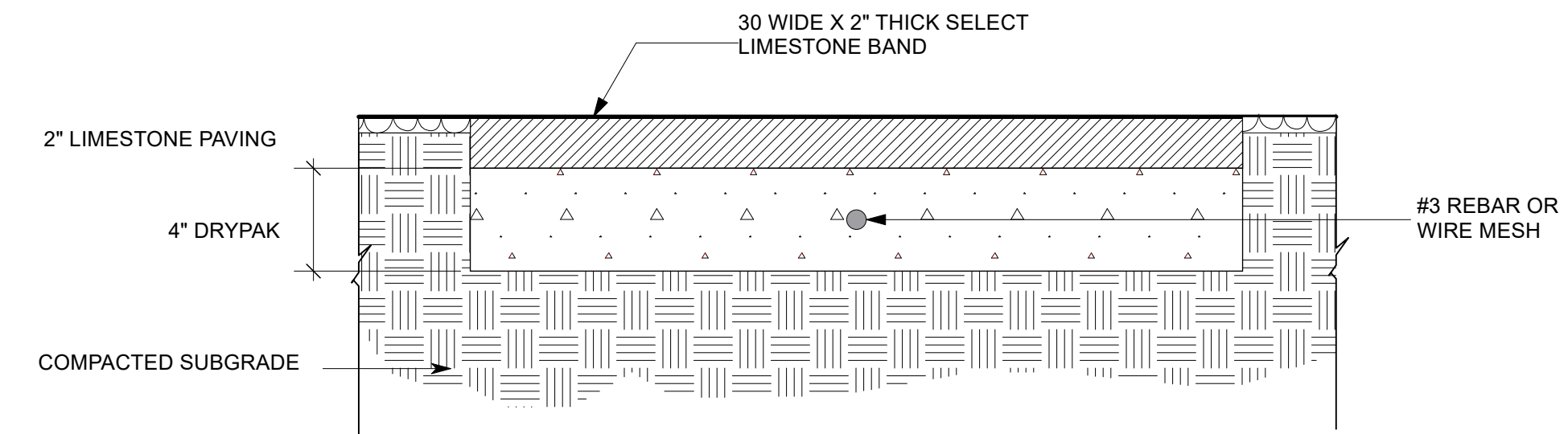
NOTES:
1. EXPANSION JOINTS NEEDED WHERE PAVING MEETS FACE OF WALL



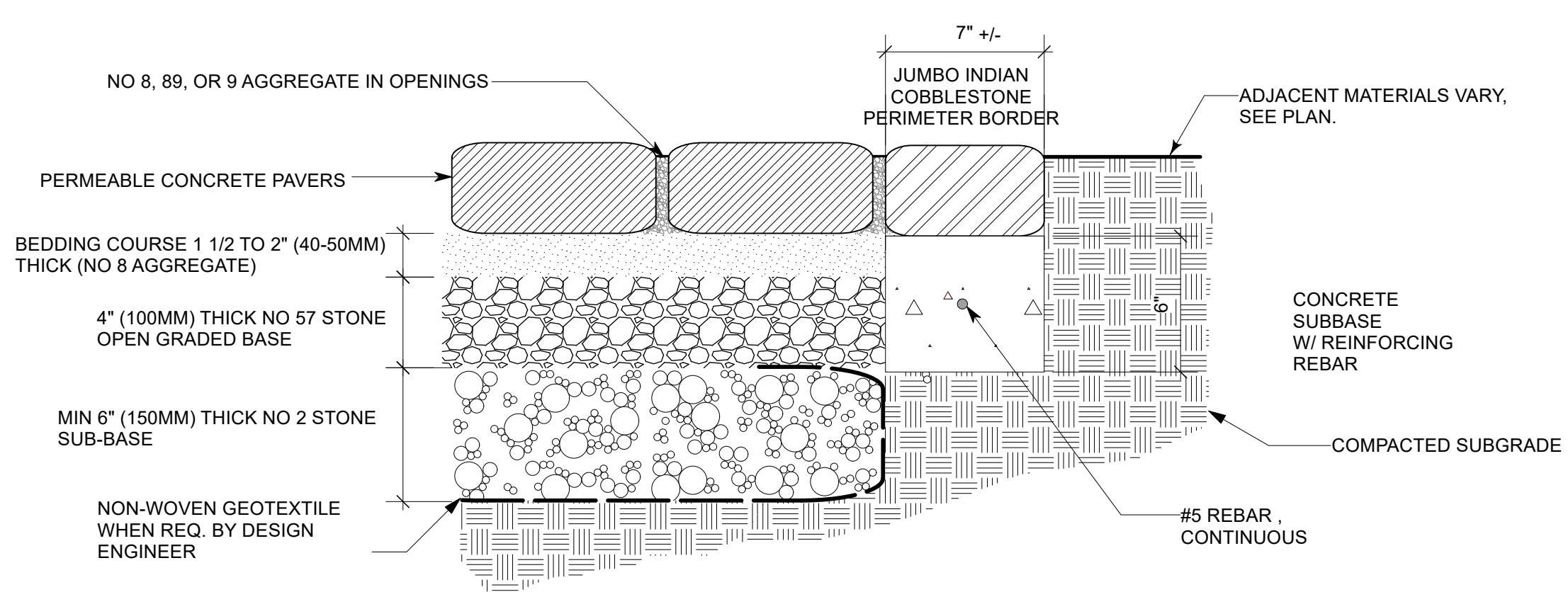
1 LIMESTONE ON CONCRETE - PATIO
Scale: 2" = 1'-0"



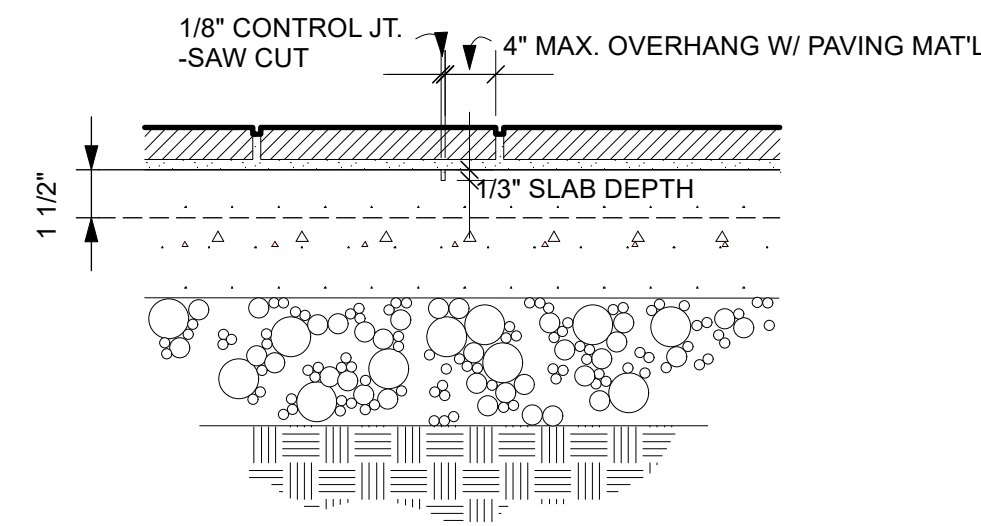
2 FLAGSTONE ON CONCRETE - WALKWAY
Scale: 2" = 1'-0"



3 LIMESTONE BAND ON LAWN
Scale: 2" = 1'-0"

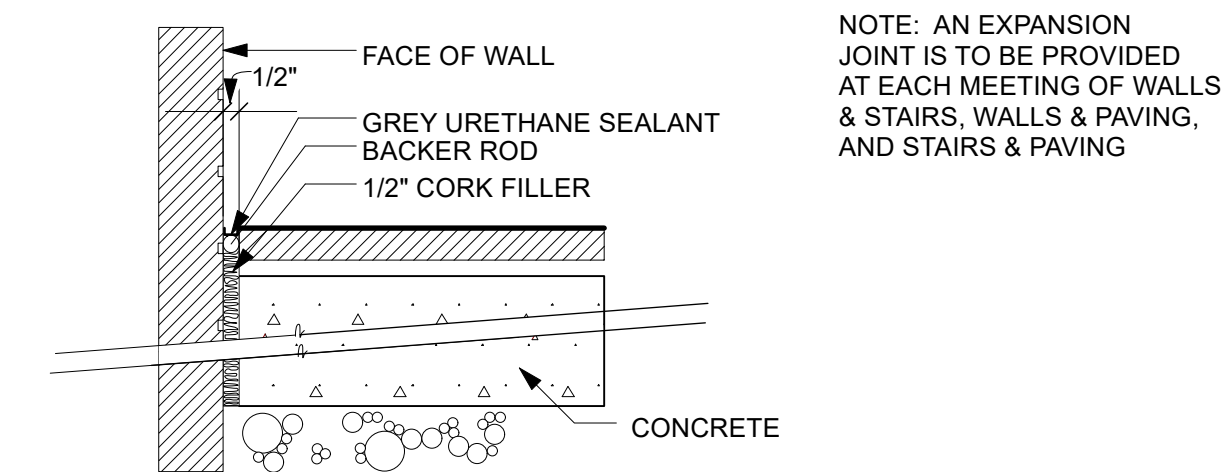


4 PERMEABLE CONCRETE PAVERS W/ COBBLESTONE BAND
Scale: 2" = 1'-0"



NOTES:
1. SPACE JOINTS NO MORE THAN 12 FEET APART
2. ARRANGE JOINTS WITH AREAS OF MAXIMUM SIDE RATIO OF 1.5:1

5 TYPICAL CONTROL JOINT
Scale: 2" = 1'-0"



NOTE: AN EXPANSION JOINT IS TO BE PROVIDED AT EACH MEETING OF WALLS & STAIRS, WALLS & PAVING, AND STAIRS & PAVING

6 TYPICAL EXPANSION JOINT AT WALL/STEPS
Scale: 2" = 1'-0"

L011

SCALE: As Noted
DATE: 10/17/2024

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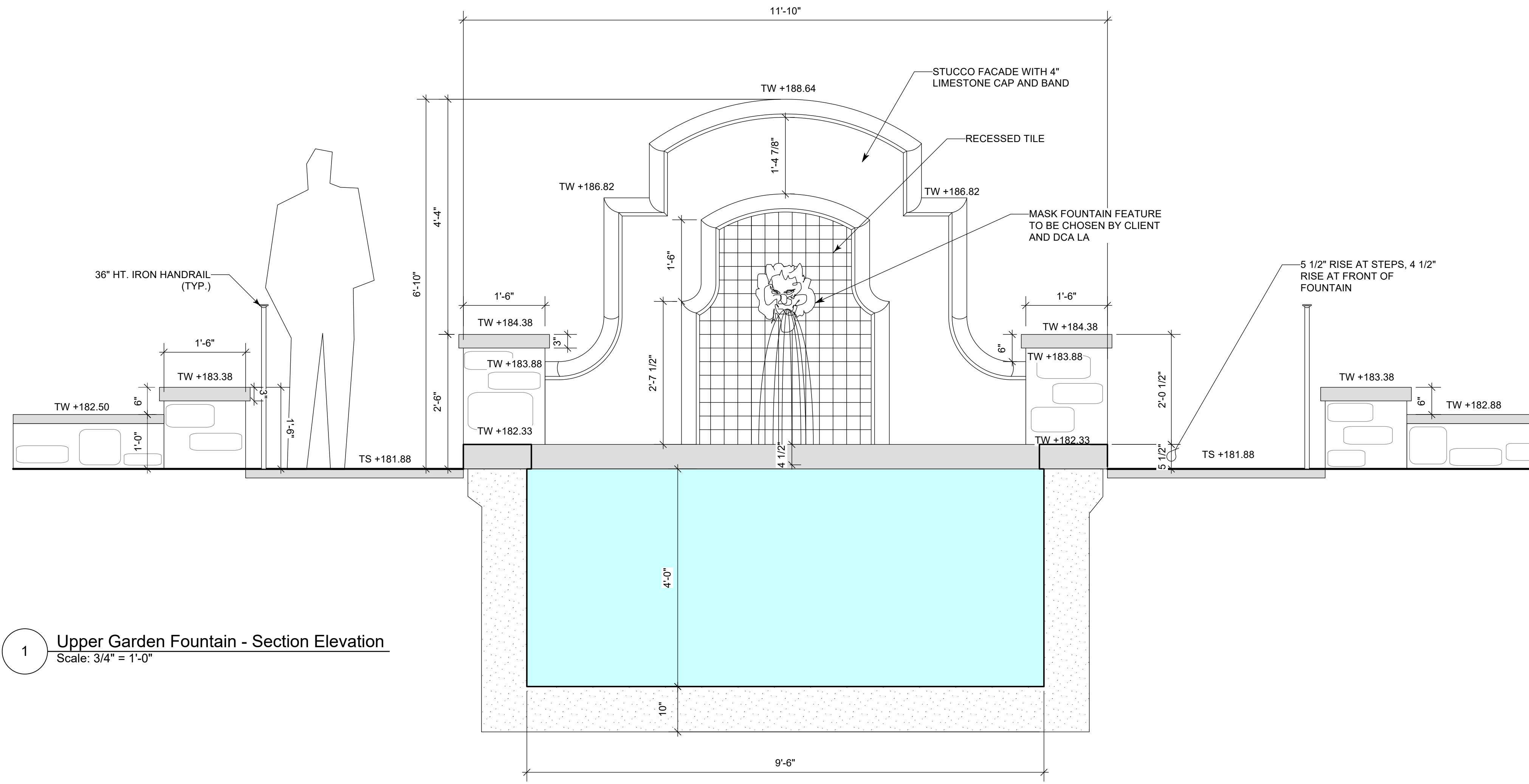
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Washington, DC, 20007

Paving Details

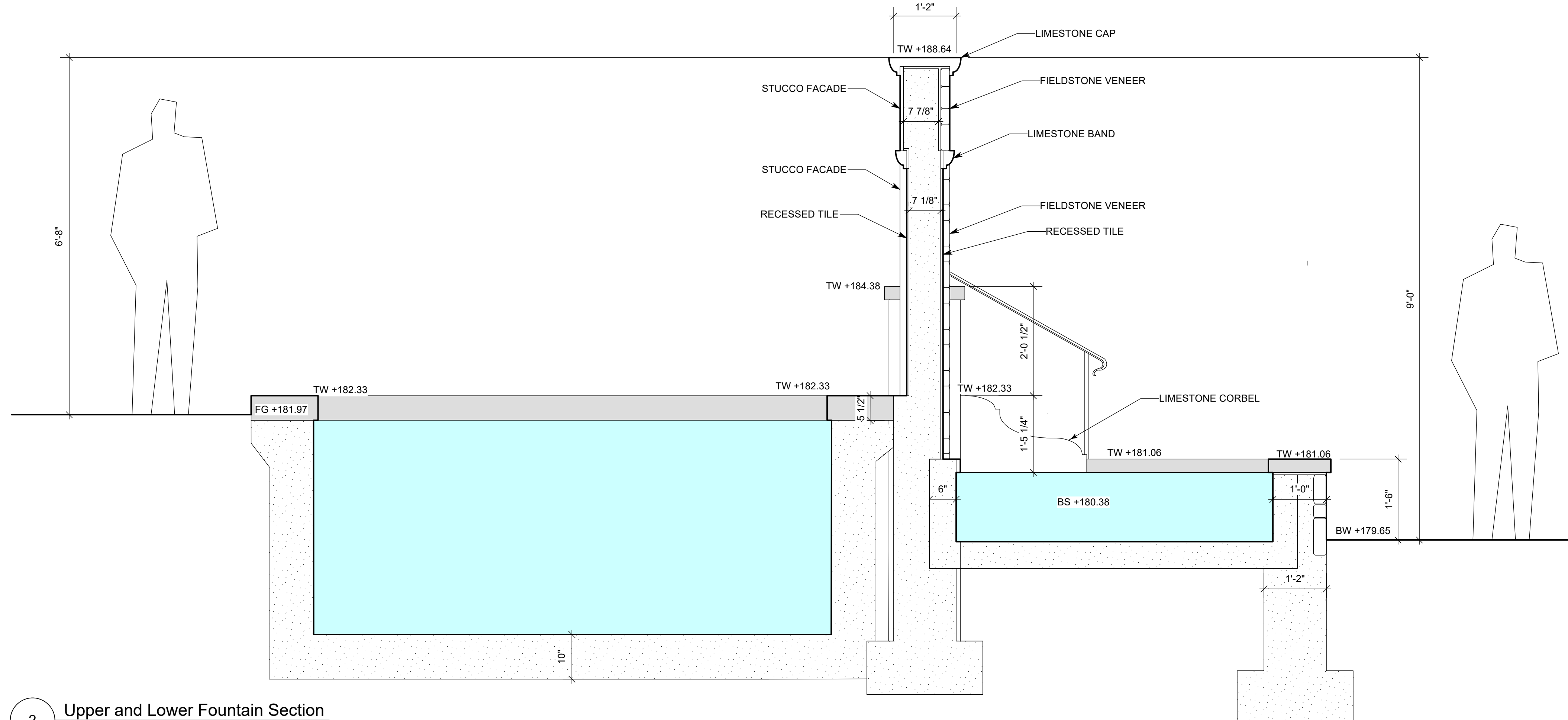
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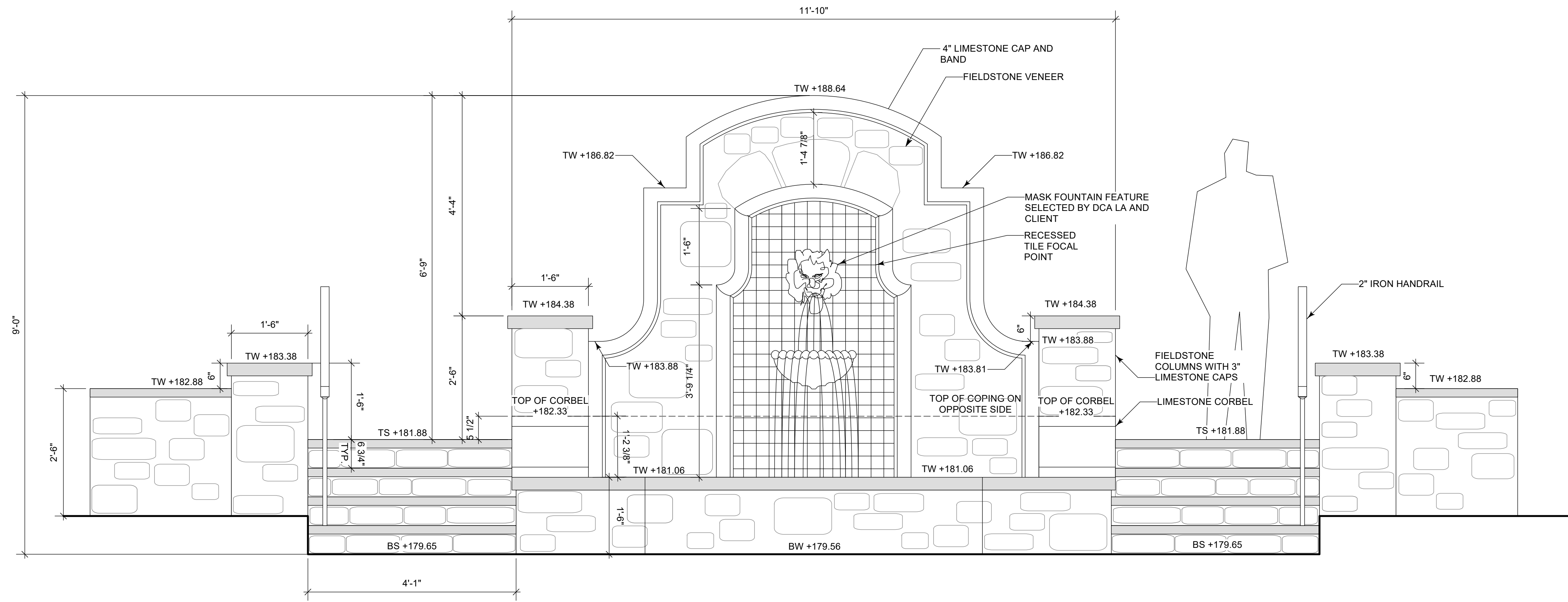


1 Upper Garden Fountain - Section Elevation
Scale: 3/4" = 1'-0"

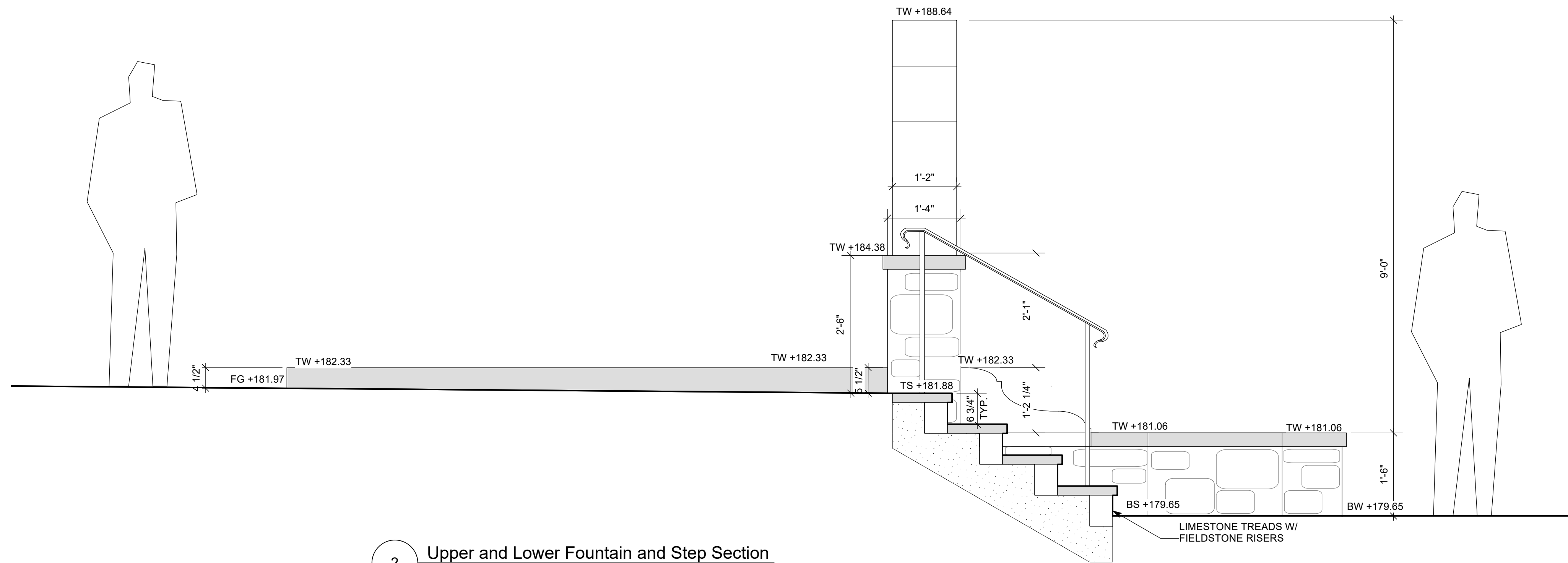


2 Upper and Lower Fountain Section
Scale: 3/4" = 1'-0"

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	<p>L012</p> <p>SCALE: 3/4" = 1'-0"</p> <p>DATE: 10/17/2024</p> <p>REVISED:</p> <p>DRAWN BY: DCA</p>
<p>Residence at 3114 R ST. NW Washington, DC, 20007</p> <p>Fountain Elevations and Sections - Upper Garden</p>	<p>THE ABOVE DRAWINGS AND SPECIFICATIONS AND THE IDEAS, DESIGN, AND CONCEPTS HEREIN ARE THE PROPERTY OF DCA LANDSCAPE ARCHITECTS, INC. AND SHALL REMAIN THE PROPERTY OF DCA LANDSCAPE ARCHITECTS, INC. UNLESS OTHERWISE AGREED TO IN WRITING BY DCA LANDSCAPE ARCHITECTS, INC. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF DCA LANDSCAPE ARCHITECTS, INC. IS STRICTLY PROHIBITED. ANY SUCH VIOLATION SHALL BE CONSIDERED A BREACH OF CONTRACT AND SHALL BE SUBJECT TO LEGAL ACTION. WRITTEN PERMISSION ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY ORAL STATEMENTS OR ACTIONS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS FOR THE JOB AND THIS OFFICE SHALL BE NOTIFIED OF ANY CHANGES TO THE DRAWINGS. THIS OFFICE SHALL BE NOTIFIED OF ANY CHANGES TO THE DRAWINGS BEFORE PROCEEDING WITH THE PROJECT.</p>



1 Lower Garden Fountain - Section Elevation
Scale: 3/4" = 1'-0"



2 Upper and Lower Fountain and Step Section
Scale: 3/4" = 1'-0"

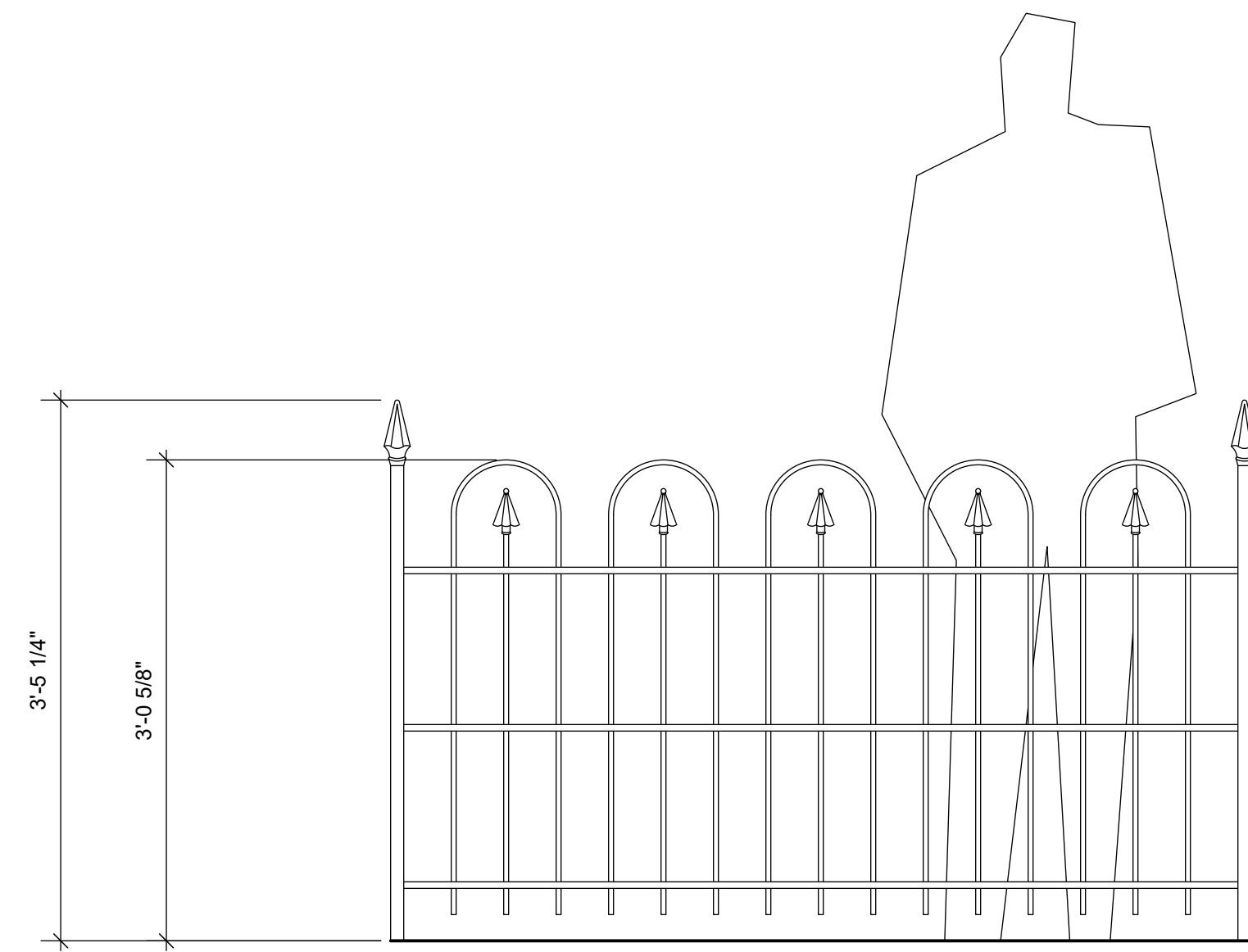
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Residence at
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Fountain Elevations and Sections - Lower Garden

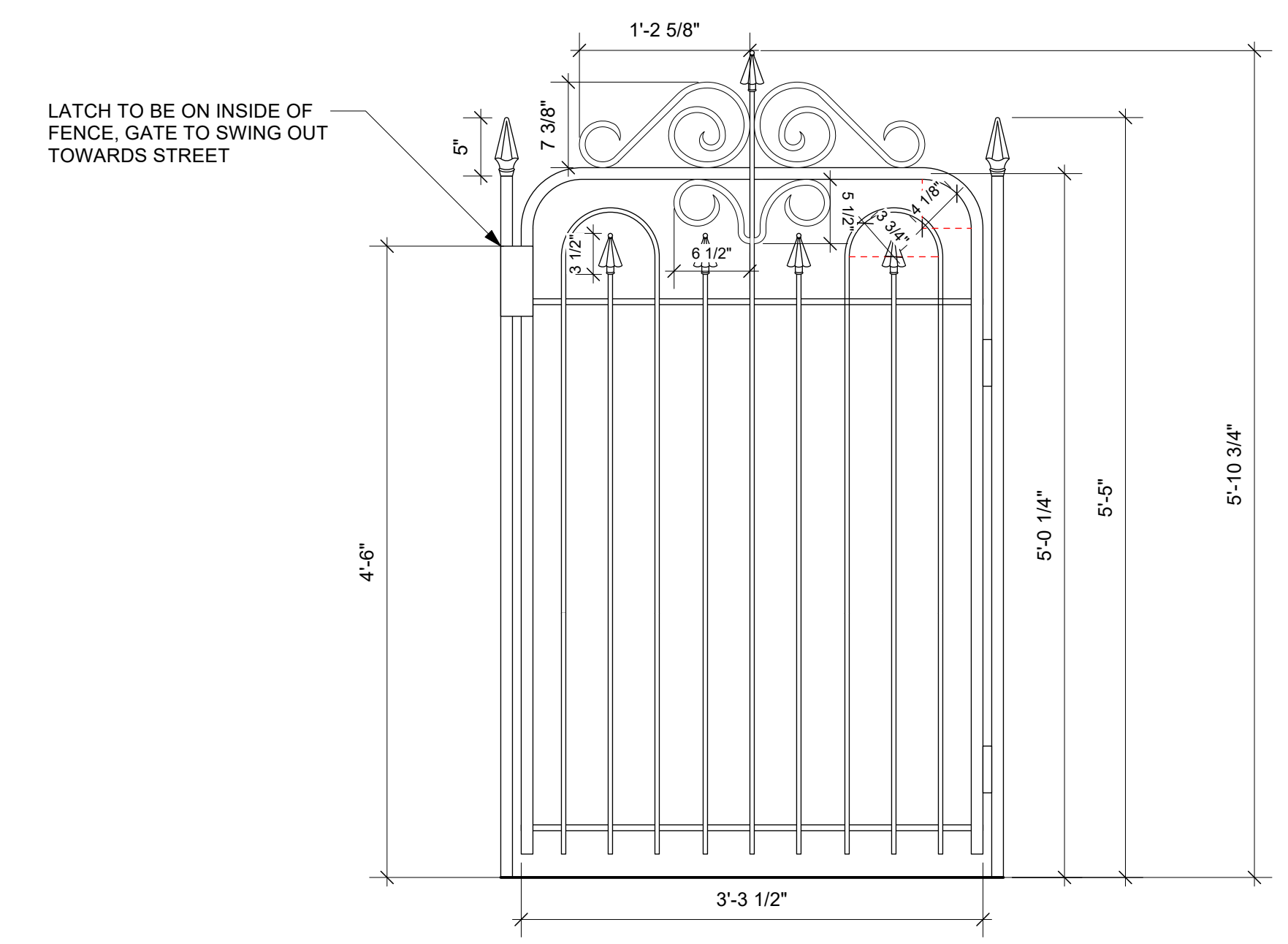
SCALE: 3/4" = 1'-0"
DATE: 10/17/2024
REVISED:
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L013

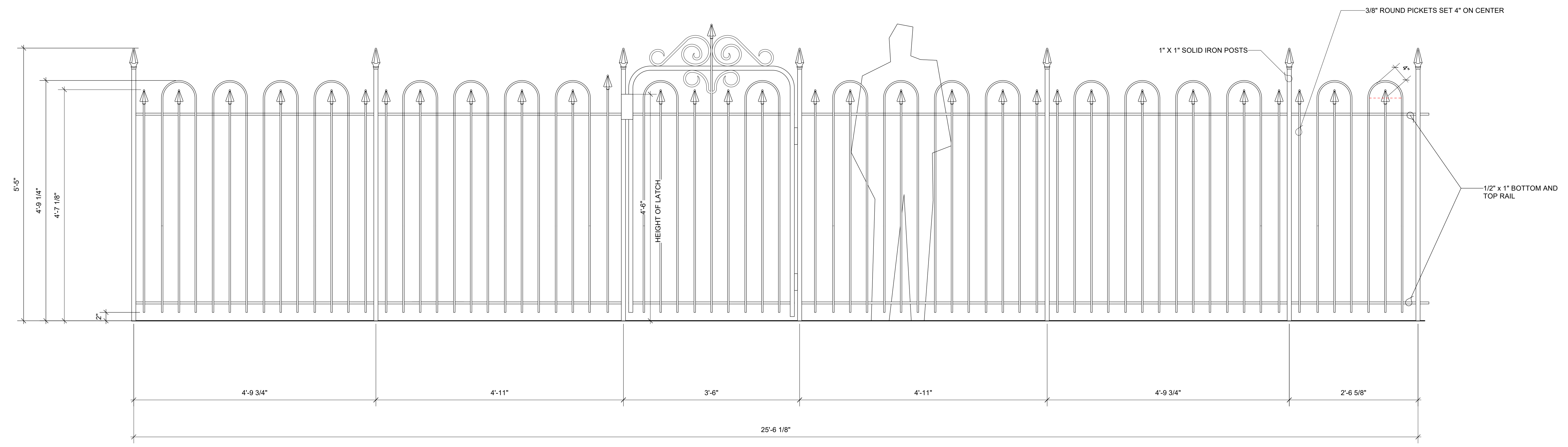
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1 EXISTING IRON FENCE - ELEVATION
Scale: 1" = 1'-0"



2 PROPOSED GATE DETAIL
Scale: 1" = 1'-0"



3 PROPOSED FENCE - GATE - ELEVATION
Scale: 1" = 1'-0"

NOTE: FENCE AND GATE TO BE PRIMED AND PAINTED BLACK

Residence at
3114 R ST. NW
Washington, DC, 20007
Iron Fence and Gate Elevations

SCALE: As Noted
DATE: 10/17/20
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L014

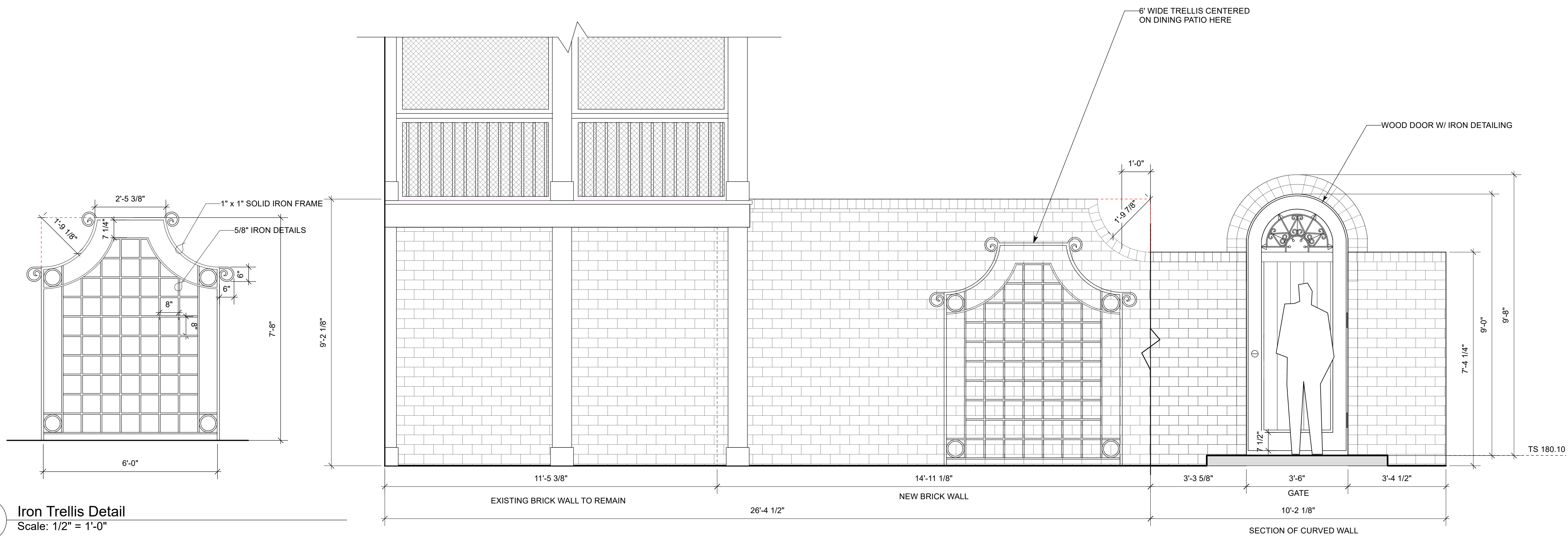
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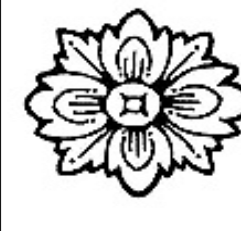


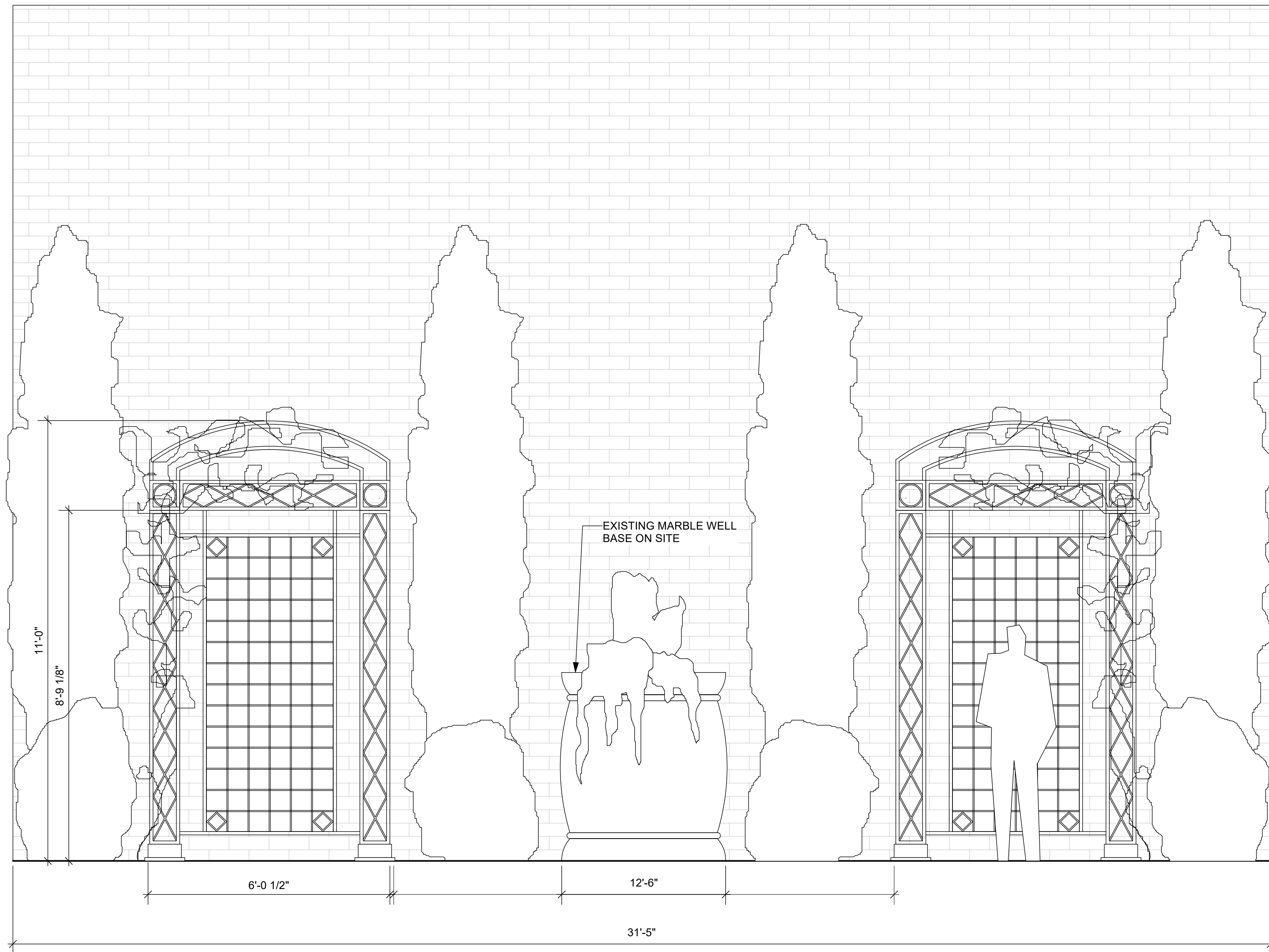
1 Garden Gate Elevation - View From Alley
Scale: 1/2" = 1'-0"



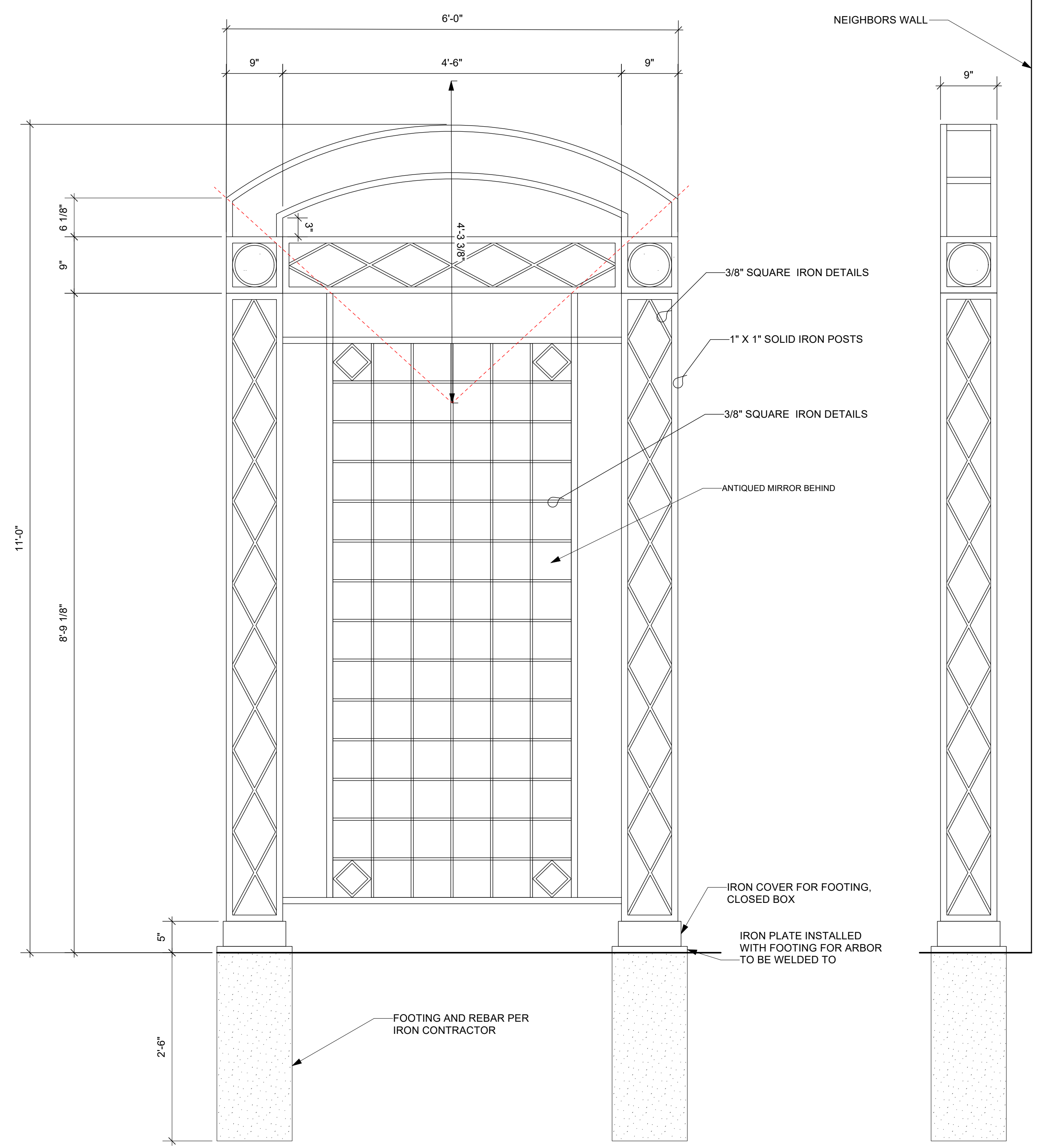
2 Iron Trellis Detail
Scale: 1/2" = 1'-0"

3 Garden Gate Elevation - View From Dining Terrace
Scale: 1/2" = 1'-0"

L015	
SCALE: As Noted	DATE: 10/17/2024
REVISED:	DRAWN BY: DCA
Clerc Residence 3114 R ST. NW Washington, DC, 20007 Garden Gate Elevations and Details	
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1 IRON ARBOR ELEVATION
Scale: 1/2" = 1'-0"



2 IRON ARBOR DETAIL
Scale: 1" = 1'-0"

3 IRON ARBOR SECTION
Scale: 1" = 1'-0"

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IronTrellis Elevations

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L016





View of Failing brick wall, as viewed from Condo side of the fence



View of Failing brick wall, as viewed from Condo side of the fence